



For More Information, Contact:

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PLANNING & ZONING BOARD AGENDA

BOARD MEMBERS: Chairman Will Hawthorne, Vice-Chairman Chris Lee, Steve Ambielli, Joseph Dunn, Jr., Henry Haddock, Mark Hide, and Gabriel Kotch

OTHER ATTENDEES: City Manager Mike Bollhoefer, City Attorney Kurt Ardaman, City Attorney Dan Langley, Planning Consultant Ed Williams, Community Development Director Stephen Pash, Urban Designer Kelly Carson, Senior Planner Shane Friedman, and Planner I Soraya Karimi

Agenda for August 3, 2020 at 6:30 PM

City Hall Commission Chambers – **VIRTUAL MEETING**
300 W. Plant Street, Winter Garden, Florida

1. CALL TO ORDER

Determination of Quorum, Moment of Silence and Pledge of Allegiance

2. APPROVAL OF MINUTES FROM THE JULY 6, 2020 MEETING

ANNEXATION / FUTURE LAND USE MAP AMENDMENT / REZONING (PUBLIC HEARING)

3. Magnolia Street 524 (Winter Garden Animal Hospital) ANNEX and FLU
26-22-27-8110-01-050

4. Winter Garden Vineland Road – 1441 (UCP Winter Garden) PUD Rezoning
26-22-27-0000-00-012

5. Colonial Drive W - 14120 thru 14230 (West Market PCD) PCD Amendment
27-22-27-000-00-060 & 27-22-27-000-00-123

SPECIAL EXCEPTION

6. Lakeview Avenue S – 543 (Robbi & Co) Special Exception Permit
23-22-27-2468-00-680

VARIANCE (PUBLIC HEARING)

7. Seminole Street - 543 (Seminole Interior Lot) Variance
23-22-27-7152-08-110

8. Seminole Street (Seminole Corner Lot) Variance
23-22-27-7152-08-111

9. Oakland Avenue E - 15155 (Ramos Residence) Variance
21-22-27-000-00-125

PRELIMINARY PLAT/ FINAL FLAT/ LOT SPLIT

10. Park Avenue N – 30 (30 North Park) Preliminary Plat
22-22-27-000-00-090

ADJOURN to the next regular Planning and Zoning Board meeting on Monday, **September 14, 2020** at **6:30 p.m.** in City Hall Commission Chambers, 300 W. Plant Street, Winter Garden, Florida

POSTED: JULY 24, 2020

PLEASE NOTE: IN ACCORDANCE WITH FLORIDA STATUTES 286.0105: ANY PERSON WHO DESIRES TO APPEAL ANY DECISION AT THIS MEETING WILL NEED A RECORD OF THE PROCEEDINGS AND FOR THIS PURPOSE MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE WHICH INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS BASED, WHICH SUCH WRITTEN RECORD IS NOT PROVIDED BY THE CITY OF WINTER GARDEN.

PLEASE NOTE: IN ACCORDANCE WITH FLORIDA STATUTE 286.26: PERSONS WITH DISABILITIES NEEDING ASSISTANCE TO PARTICIPATE IN ANY OF THESE PROCEEDINGS SHOULD CONTACT COLENE RIVERA, 300 WEST PLANT STREET, WINTER GARDEN, FL 34787, (407) 656-4111, EXT 2021 - 48 HOURS IN ADVANCE OF THE MEETING.



**PLANNING AND ZONING BOARD
REGULAR MEETING MINUTES
JULY 6, 2020**

1. CALL TO ORDER

Chairman Will Hawthorne called the meeting of the City of Winter Garden Planning and Zoning Board to order at 6:30 p.m. in the City Hall Commission Chambers. A moment of silence was followed by the Pledge of Allegiance.

Quorum was declared present.

Explanation of GoTo Webinar instruction due to virtual meeting was given.

Present: Chairman Will Hawthorne in person and Board Members: Steve Ambielli, Joseph Dunn, Jr., Henry Haddock, Mark Hide and Gabriel Kotch via remote GoTo Webinar.

Absent: Vice-Chairman Chris Lee (Excused)

Staff Present: City Attorney Dan Langley, Community Development Director Steve Pash and Recording Secretary Edlyn Gonzalez.

Residents/ Applicants Present: Charlie Roper of 1011 W Bay Street via GoTo Webinar and Maury Alexander of 325 S Boyd Street in person.

2. APPROVAL OF MINUTES

**Motion by Gabriel Kotch to approve the regular meeting minutes of June 1, 2020.
Seconded by Mark Hide and carried unanimously 6 – 0.**

ANNEXATION / FUTURE LAND USE MAP AMENDMENT / REZONING (PUBLIC HEARING)

3. 543 S Lakeview Avenue - (Robbi & Co) Rezoning (Public Hearing)

Community Development Director Pash presented a request for approval to amend Future Land Use from Low Density Residential to Residential Neighborhood Commercial and to rezone property at 593 S Lakeview Avenue from R-2 to R-NC. Staff recommends approval of Ordinance 20-27 and Ordinance 20-28 subject to conditions outlined in the ordinance.

Board members inquired about the parking. Mr. Pash stated this will be separate process during site plan review.

Motion by Chairman Will Hawthorne to approve. Seconded by Board Member, Joseph Dunn and carried unanimously 6 – 0.

PRELIMINARY PLAT / FINAL PLAT / LOT SPLIT

4. 340 & 370 Lakeview Road – (Jane Lee Property) Lot Split

Community Development Director Pash presented a request for a lot split/ reconfiguration for the property located at 340 & 370 Lakeview Road. Staff recommends approval of the lot split subject to the conditions outlined in the Staff Report.

Various inquiries were made by the board members including request to view site plan, confirmation of two homes being proposed on site and discussed set back along the West Orange Trail buffer area and the flag lot entrance width. Mr. Pash responded with affirmative of two homes proposed, buffer will not be lost along the trail as there are many trees outside of this property along the trail and confirmed the flag lot entrance is sufficient.

Motion by Board Member Mark Hide to approve the lot split on 340 & 370 Lakeview Road. Seconded by Board Member, Gabe Kotch and carried unanimously 6 – 0.

5. 1288 N West Crown Point Road - (Medina Residences) Lot Split

Community Development Director Pash presented a request for a lot split for property located at 1288 N West Crown Point Road. If approved, this lot split will create two parcels, Parcel “1” which will be 0.50 ± acres and Parcel “2” which will be 0.50 ± acres, in an R-1 (Residential District) zoning district. Staff recommends approval of the lot split subject to the condition(s) outlined in the Staff Report.

Motion by Board Member Steve Ambielli to approve lot split with staff recommendations. Seconded by Board Member, Joseph Dunn, Jr. and carried unanimously 6 – 0.

[Note due to Items 6 & 8 and Items 7&9 being for the same properties these items were combined in presentation to the Board]:

SPECIAL EXCEPTION PERMIT (PUBLIC HEARING) & VARIANCE (PUBLIC HEARING)

6. & 8. 14955 Sunridge Blvd - (OCPS Signage) Special Exception Permit & Variance

Community Development Director Pash presented a request for a Special Exception Permit in order to allow an electronic message center (EMC) sign for the property located at 14955 Sunridge Blvd and a request for a variance in order to allow a greater square footage for an electronic message center (EMC) sign for the property located at 14955 Sunridge Blvd and a variance request to the Winter Garden Code of Ordinances Section 102-161(c)(1)(iv.) (e), is to allow an EMC that is 24 square feet in area in lieu of the required 10’-9” square feet maximum for the Sunridge Middle School monument sign. Staff recommends approval of the variance subject to the condition(s) outlined in the Staff Report. Staff recommends approval of the Special Exception Permit and variance subject to the condition(s) outlined in the Staff Report.

Motion by Board Chairman Will Hawthorne to approve with staff conditions this sign board be turned off from 8:00 pm – 7:00 am. Seconded by Board Member, Mark Hide and carried unanimously 6 – 0.

7. & 9. 1200 W Bay Street - (OCPS Signage) Special Exception Permit & Variance

Community Development Director Pash presented a request for a Special Exception Permit for an electronic message center (EMC) sign for the property located at 1200 W Bay Street and a variance in order to allow a greater square footage for an electronic message center

(EMC) sign for the property located at 1200 W Bay Street. The variance request to the Winter Garden Code of Ordinances Section 102-161(c)(1)(iv.)(e), is to allow an EMC that is 24 square feet in area in lieu of the required 10'-9" square feet maximum for the Lakeview Middle School monument sign (See Staff Report). Staff recommends approval of the variance subject to the condition(s) outlined in the Staff Report. Staff recommends approval of the Special Exception Permit and variance subject to the condition(s) outlined in the Staff Report.

Motion by Board Member Steve Hide to approve with staff conditions this sign board be turned off from 8:00 pm – 7:00 am. Seconded by Board Member, Steve Ambielli and carried unanimously 6 – 0.

10. 14146 Jomatt Loop - (Samuel Property) Variance

Community Development Director Pash presented a request for a variance to Ordinance 14-06 for a 0.22 acre property located at 14146 Jomatt Loop. If approved, this variance will allow a screen enclosure with a composite roof to be constructed with a 16 foot rear setback in lieu of the required 20 foot rear setback. Staff recommends approval of the variance subject to the conditions outlined in the Staff Report.

Board members inquired about solid roof section and HOA approval for this variance? Mr. Pash confirmed the solid roof is just a section of the screen area and verified that the residents did have HOA approval.

Motion by Board Member, Joe Dunn, Jr. to approve variance for 14146 Jomatt Loop with staff conditions. Seconded by Board Chairman Will Hawthorne and carried unanimously 6 – 0.

11. 14230 Sunridge Blvd - (Hollingsworth Addition) Variance

Community Development Director Pash presented a request for a variance, to Ordinance 14-06 Section 1(c)(5) for the property located at 14230 Sunridge Blvd, to allow the expansion of the applicant's covered porch by 8' x 22'. This is an addition to the existing 8' x 22' square foot porch, to create a porch with a total dimension of 16' x 22'. Staff recommends approval subject to conditions of staff report.

Board members inquired about HOA approval for this addition, any neighbors opposing and if the landscaping buffer would remain? It was verified that the resident did have HOA approval, no neighbors opposed and yes the landscaping buffer would remain. Steve Hollingsworth of 632 Lake Cove Point spoke in favor of this variance.

Motion by Board Member, Joe Dunn, Jr to approve the variance at 14230 Sunridge Blvd with staff conditions and no A/C space. Seconded by Board member Joe Dunn, Jr. and carried unanimously 6 – 0.

12. 403 S Lakeview Avenue - (Carl Jacobs Builders, LLC) Variance

Community Development Director Pash presented a request for a variance, to Winter Garden Code of Ordinances Section 118-398(1)(a)&(c) for the property located at 403 S Lakeview Ave with a front yard setback of 24' in lieu of the required 30' and allow a rear yard setback of 9' in lieu of the required 29' in order to build a new single-family home with a detached

garage. Staff recommends approval of the variance subject to the condition(s) outlined in the Staff Report.

Board members expressed concern about saving the large tree in the front yard and inquired about another tree in the side yard. Applicant representative Carl Jacobs spoke that owners intend to save the front tree and other tree is not on this lot.

Maury Alexander of 325 S Boyd Street expressed concerns if the impervious area requirement had been met? Mr. Pash responded applicant has a maximum impervious area allowed of 50%. Applicant Carl Jacobs affirmed that this project did not exceed this requirement.

Tony Farese of 361 N Boyd Street, spoke in favor of this project.

Motion by Board Member, Joe Dunn, Jr to approve the variance for 403 S Lakeview Avenue. Seconded by Board member Mark Hide and carried unanimously 6 – 0.

13. 361 N Boyd Street - (Tree House) Variance

Community Development Director Pash presented a request for a variance, to the Winter Garden Code of Ordinances Section 118-398(1)(c) and Section 118-1310(b) for the property located at 361 N Boyd Street, to allow a rear yard setback of 18'-5" in lieu of the required 24'-6", and a height of 22'-5" in lieu of the required 12', in order to build accessory structure greater than 160 square feet. Staff recommends approval of the variance subject to the condition(s) outlined in the Staff Report.

The board expressed concerns about the following topics: will there be utilities to this treehouse, does this meet hurricane code, any neighbor complaints, health of the tree, will this set a precedence for future tree houses and entrance to treehouse as a rope ladder? Mr. Pash responded that the applicant had provided petition from community in favor of save of tree house, just one neighbor complaint is how the city was made aware of this construction, staff requirement of building to code and providing a signed and sealed letter from Engineer to certify that het treehouse meets hurricane requirements. .

Chairman Hawthorne asked if anyone not in favor of this variance, to speak. There was no one at the meeting that spoke in opposition of this project. Chairman mentioned that they had a comprehensive list of those in favor of this variance and there were two individuals present at the meeting in favor of this project. Applicant Tony Farese spoke in regards to this project and addressed various board member concerns. He is a state licensed contractor and will adhere to building code and hurricane code requirements. He explained that a licensed arborist had not been consulted but said he used a four-point attachment technique known as Garney limb. It was designed by an arborist and designed to support 1,000 lbs. at each point. The magnitude of this construction probably won't be built often in the community and he understood concerns of size and magnitude of this project. He explained that he had posted an on-line petition and people were also coming to his property to sign the petition. This is the reason for so many names and from various areas around the community and central Florida area.

Motion by Board Member, Gabe Kotch to approve with staff conditions and an additional condition that no utilities can be installed to the treehouse. Seconded by Board Member Joseph Dunn, Jr. and carried unanimously 6 – 0.

14. 1288 N West Crown Point Road - (Medina Residence) Variance

Community Development Director Pash presented a request for a variance, to Winter Garden Code of Ordinances Section 118-308(1)(a)&(c) for the property located at 1288 N West Crown Point Road (Parcel 2 of the Lot Split). If approved, this variance will allow a rear yard setback of 18'-5" in lieu of the required 24', and a front yard setback of 21' in lieu of the required 30', in order to build a single-family home. Staff recommends approval of the variance subject to the condition(s) outlined in the Staff Report.

The Board expressed concerns about the following topics: West Orange bike trail doesn't have a buffer in this area could this be a condition of approval for this variance? Mr. Pash stated this could be condition if the board wanted to require it.

Motion by Board Member Joseph Dunn, Jr. to approve variance for the address of 1288 N West Crown Point Road with the condition to add a landscaping buffer (reviewed and approved by Urban Designer) or a fence with landscaping buffer between homes and trail. Seconded by Board Member Mark Hide and carried unanimously 6 – 0.

ADJOURNMENT

There being no further business, the meeting was adjourned at 7:34 p.m. to the next meeting scheduled for August 3, 2020 at 6:30 p.m.

ATTEST:

APPROVED:

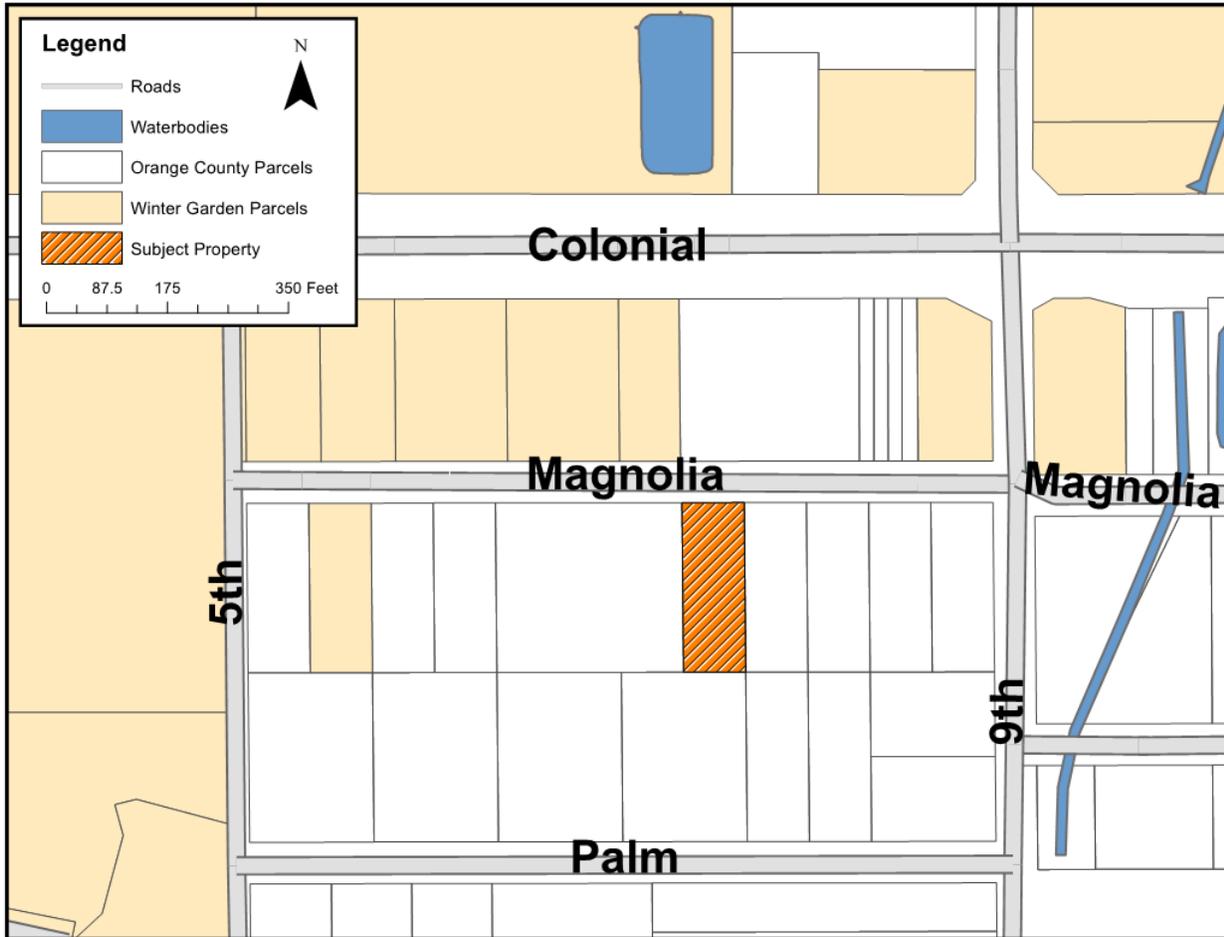
Recording Secretary Colene Rivera

Chairman Will Hawthorne

LOCATION MAP

524 Magnolia Street

Annexation and FLU



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

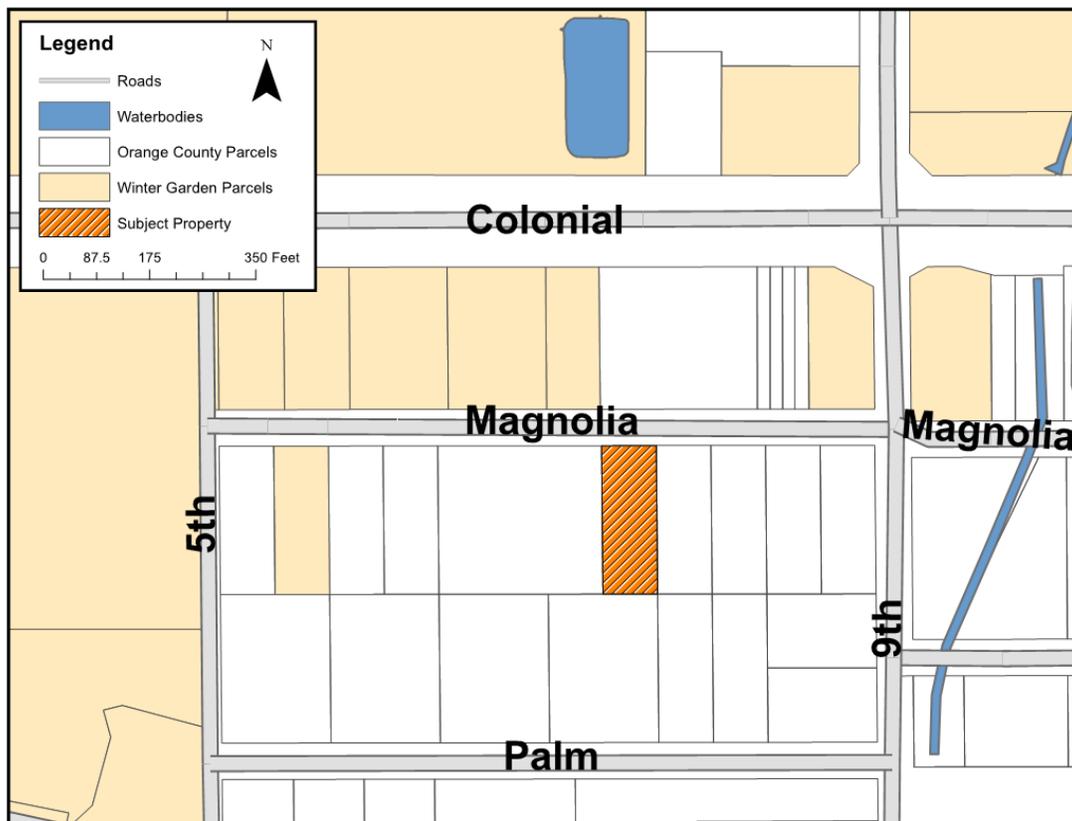
TO: PLANNING AND ZONING BOARD
PREPARED BY: Shane Friedman, Senior Planner
DATE: July 27, 2020
SUBJECT: ANNEXATION – FLU
524 Magnolia Street (0.51 +/- ACRES)
PARCEL ID # 26-22-27-8110-01-050

APPLICANT: WGAH PROPERTY, LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property, located on 524 Magnolia Street, is an approximately 0.51 ± acre lot. The map below depicts the proximity of the subject property to the City of Winter Garden municipal limits:



The applicant has requested annexation into the City, amendment to the Future Land Use Map (FLUM) of the City's Comprehensive Plan to designate the property as Low Density Residential. At this time the property will have a No Zoning designation which is allowed per City of Winter Garden Comprehensive Plan.

In accordance with the City's Comprehensive Plan, Policy 1-1.2.3, properties designated with the Low Density Residential land use category are required to be developed at a gross residential density between 2 to 6 dwelling units per gross acre and up to 9 units per gross acre for workforce/low income housing with a maximum of 10 acres and will be identified on the Future Land Use Map only in areas that have the urban services and public facilities that can accommodate a higher density of residential housing. Factors in determining the location of this land use category included proximity to natural resources and urban services, availability of public facilities and the characteristics of nearby existing and future neighborhoods. Churches and schools are allowable uses in the Low Density areas that are zoned R-2 and in specified areas of PUDs and via a Special Exception Permit in all other allowable zoning classifications. The zoning classifications that are consistent with the Low Density Residential classification are PUD, R-1A, R-1, R-2, R-1B, and INT.

Sec. 118-209. – Voluntary annexation.

(2) No zoning. Upon annexation of a parcel of land into the city, the city may choose not to initially assign a zoning district classification to such parcel. In such event, the city may identify such parcel of land as having no zoning (NZ) on the city's zoning map. The only permitted uses for a parcel of land with no zoning (NZ) shall be those legally conforming uses that were operating and existing on the date of annexation of the parcel into the city. If a parcel of land has no zoning (NZ) and the owner desires to take advantage of the densities, intensities and uses that may be allowed under the comprehensive plan, the owner shall seek and obtain a rezoning of the parcel to a zoning district that is consistent with the comprehensive plan, including the parcel's future land use map designation. This provision shall not restrict the city from initiating a rezoning of a parcel that has no zoning (NZ).

The City endorses infill of its jurisdictional limits through voluntary annexation of enclaves. The elimination of enclaves through voluntary annexation furthers the goals, objectives, and policies of the City's Comprehensive Plan.

EXISTING USE

The property currently is not developed and has been used as overflow parking for the applicant's veterinary practice since 2013 when the veterinarian purchased the property. The veterinary clinic is across the street, north of Magnolia Street, located at 13092 W Colonial Drive.

ADJACENT LAND USE AND ZONING

The property to the northwest, on the corner of the subject property is zoned C-2, is developed with a veterinary office, and is within City's municipal boundary. The property to the north is zoned C-3, is developed with an automotive service center, and is unincorporated Orange

County. The property to the west and east is zoned A-1, is undeveloped, and is in unincorporated Orange County. The property to the south is zoned A-1, is developed with a single-family home, and is within unincorporated Orange County.

PROPOSED USE

The applicant intends to annex the subject property in order to continue its use as an overflow parking area.

PUBLIC FACILITY ANALYSIS

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

SUMMARY

Off-street overflow parking is an allowed use within Orange County, and the City of Winter Garden, so long as the entrance of the lot with the principal use is within three hundred (300) feet (Sec.118-1387, City Code of Ordinances). The subject property's entrance is approximately forty (40) feet from the primary lot's entrance.

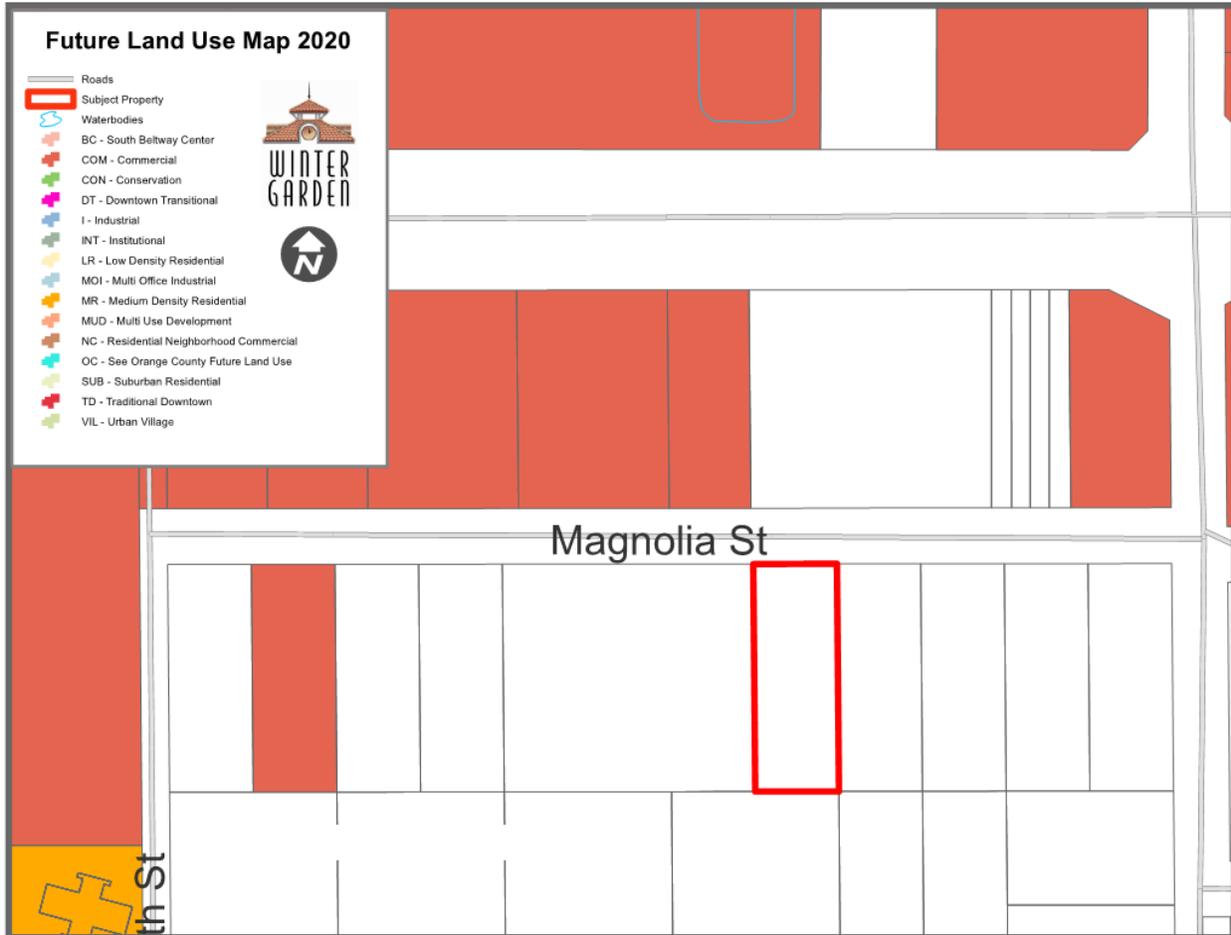
In order to allow the applicant to continue using the lot as overflow parking staff recommends annexation with a no zoning category designation. This will allow the applicant to continue the use that was existing on the property for years which is allowed under City code.

Annexation will provide a more efficient delivery of services to the property and further the goals and objectives of the City of Winter Garden's Comprehensive Plan to eliminate enclaves. City Staff recommends approval of Ordinances 20-31 and 20-32.

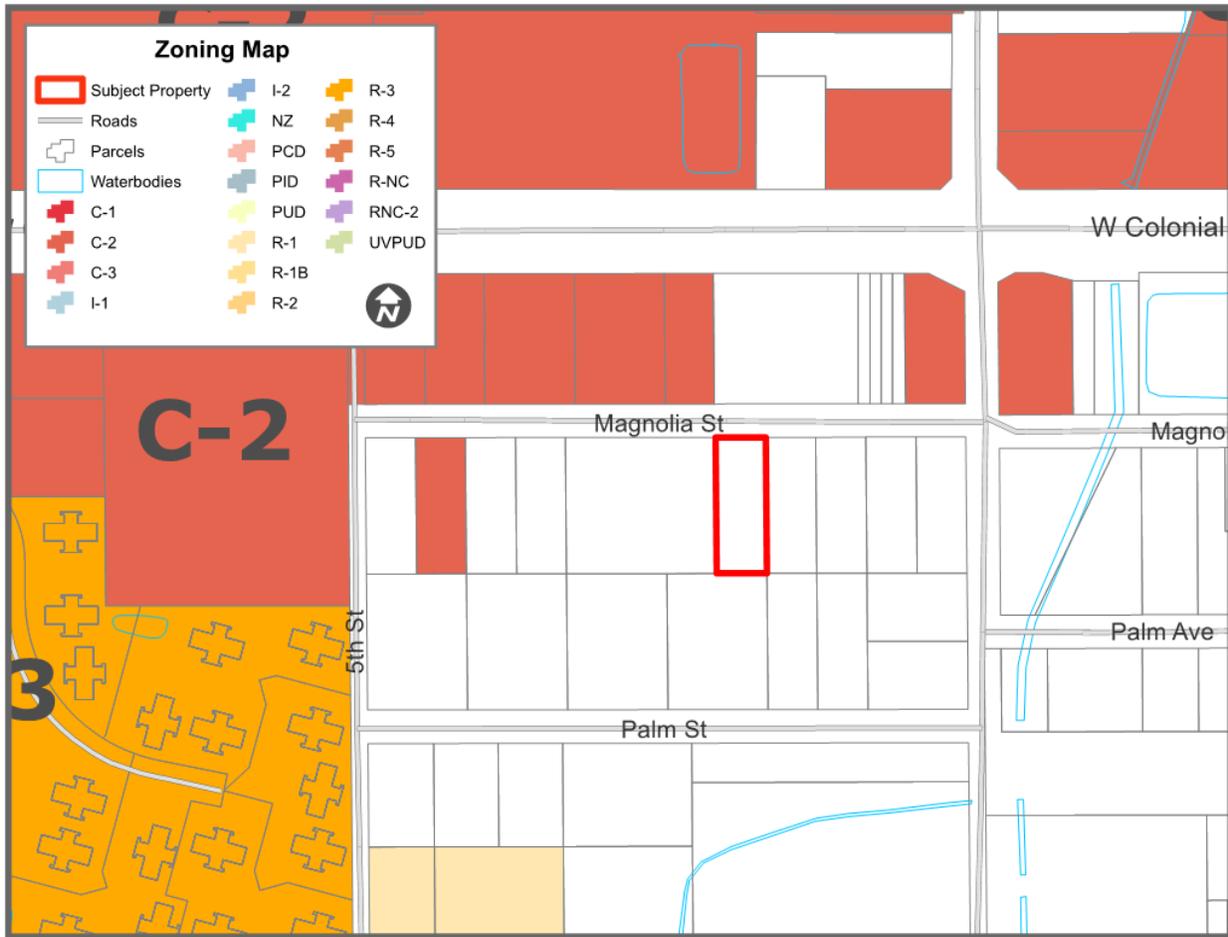
AERIAL PHOTO
524 Magnolia Street



Future Land Use Map 524 Magnolia Street



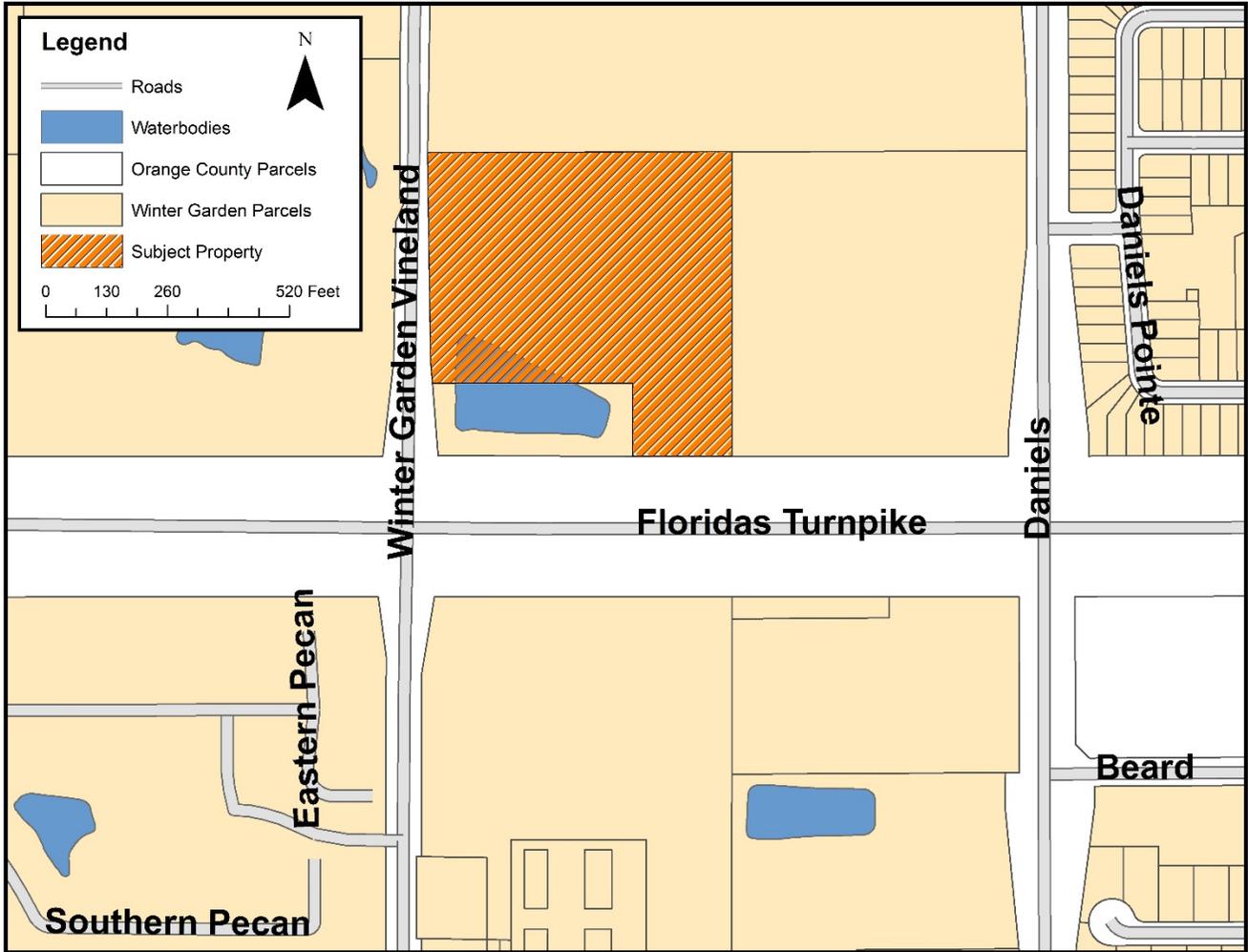
Zoning Map
524 Magnolia Street



END OF STAFF REPORT

LOCATION MAP

1441 Winter Garden Vineland Road
UCP Winter Garden – PUD Rezoning



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

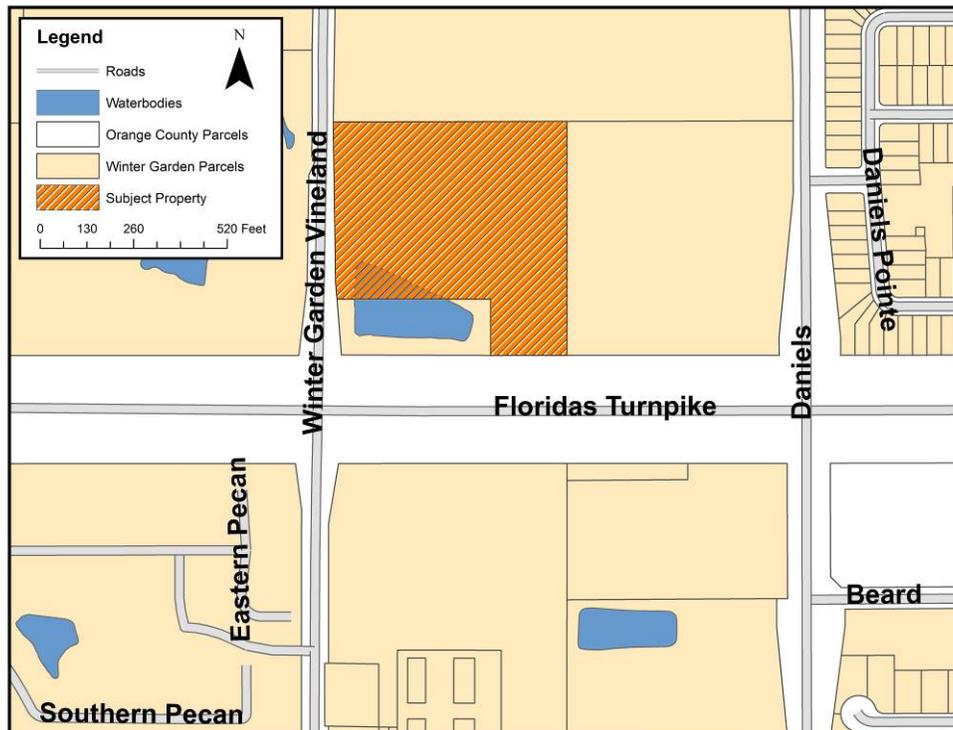
TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: JULY 23, 2020
SUBJECT: PUD REZONING
1441 Winter Garden Vineland Rd (7.99 +/- ACRES)
UCP Winter Garden
PARCEL ID # 26-22-27-0000-00-012 (ORD 20-26)

APPLICANT: United Cerebral Palsy of Central Florida, Inc.

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 1441 Winter Garden Vineland Road on the east side of Winter Garden Vineland Road (SR 535), south of West Colonial Drive (SR 50), west of Daniels Road, and north of Florida's Turnpike, and is approximately 7.99 ± acres in size. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to rezone the 7.99 ± acre subject property to Planned Unit Development (PUD). The subject property is located within the City of Winter Garden's municipal limits and carries the zoning designation R-2 (Residential District). The subject property is designated Medium Density Residential on the Future Land Use Map of the Comprehensive Plan.

EXISTING USE

The subject property is mostly undeveloped, with scattered trees and other vegetation. An access road/drive runs along the north side of the property, connecting it with the adjacent Church of Christ of West Orange property to the east. Also, a portion of a City-owned drainage pond is located at the southern end of the property.

ADJACENT LAND USE AND ZONING

The property to the north of the subject property is developed with the Resurrection Catholic Church of Orlando, is zoned C-2, and is located within the City of Winter Garden's jurisdictional limits. The property to the east is developed with another church: the Church of Christ of West Orange. This property is zoned R-2 and is located in Winter Garden. The property to the west is a multi-family residential development with 200 apartment units. This property is zoned R-3 and is located in Winter Garden. The property to the south of the subject property includes a segment of Florida's Turnpike.

PROPOSED USE

The proposed development includes rezoning the property to PUD in order to develop a new single story 37,712 +/- square foot building that will become the new campus for local charter school United Cerebral Palsy (UCP) Winter Garden. UCP Winter Garden has been operating for a number of years within a multi-tenant commercial development located less than a mile south of the subject property (1297 Winter Garden Vineland Road in the West Orange Business Center), but has reached the student capacity limit of the facilities. The new school building will accommodate 325 students and will also offer educational therapy services. In addition to the building, the project also includes associated site development such as parking areas, play areas, sports courts, landscaping, and an expansion to an existing pond that extends into the parcel to the south.

APPROVAL CRITERIA

In accordance with the City's Comprehensive Plan and Land Development Regulations, a proposed planned unit development and its associated preliminary development plan may be approved only after competent, substantial evidence has been presented which allows the following determinations to be made: (staff conclusions/findings are underlined)

- (1) The proposed PUD is consistent with the land development regulations, comprehensive plan and the future land use map;

The proposed PUD is consistent with the City's land development regulations, comprehensive plan, and the future land use map. See other portions of this report concerning consistency with the land development regulations. PUD Zoning is

permitted with a Medium Density Residential (MR) Future Land Use Designation. According to the Medium Density Residential Future Land Use Designation, schools and churches are allowed in Medium Density areas.

- (2) The proposed PUD will not substantially devalue or prevent reasonable use and enjoyment of the adjacent properties;

The proposed PUD project will not deprive or prevent adjacent property owners of any rights or abilities to enjoy or continue existing uses of their property or to develop their property in accordance with the city's land development regulations and comprehensive plan goals, objectives, and policies. Further, in accordance with land development regulations and the comprehensive plan, where appropriate, the proposed PUD will provide for adequate buffering against adjoining properties and rights-of-way in the form of either landscaping to create a visual screen and/or perimeter walls/fencing. The majority of the adjacent properties would be subject to little to no impacts from the school use: the adjacent churches experience the heaviest use times on Sundays (when school is not in session) and the property to the south is Florida's Turnpike. The adjacent apartment complex is located across Winter Garden Vineland Road from the subject property, and the multi-family buildings are further buffered by landscaping, drive aisles, parking areas, and other site elements.

- (3) Adequate public infrastructure facilities and water and sewer service to support the development of the proposed PUD are available or an agreement or binding conditions have been established that will provide these facilities, improvements and services in a reasonable time frame;

The existing potable water flow pressure of the City's utility system within the surrounding area is sufficient to support the development of the subject property. The property is not currently a water or sewer customer of the City of Winter Garden. At such time that the property is developed, the required utility connections will be made to serve the new building. All extension and connection costs shall be borne by the property owner.

Prior to any board approvals, a Developer's Agreement detailing the obligations of the developer associated with the proposed PUD may be required. The requirement for a Developer's Agreement will be determined during the Final Engineering review.

- (4) The proposed PUD will not allow a type or intensity of development that is premature or presently out of character in relationship to the surrounding area;

The proposed PUD project is consistent with the comprehensive plan's goals, objectives and policies for the Medium Density Residential future land use designation; the PUD zoning criteria; and the City's land development regulations. The proposed PUD project features no new dwelling units, and has a floor area ratio of 0.1 FAR (adjacent commercial properties are permit a max FAR of 0.35).

The proposed PUD is not premature or presently out of character in relationship to the surrounding area. As mentioned previously, the subject property is surrounded by two institutional uses (churches) to the north and east, as well as a major State highway to the south (Florida's Turnpike). The existing church to the east – Church of Christ of West Orange - received a Special Exception Permit in July of 2014 to allow a small

private special needs school (Applied Behavior Center for Autism) with a maximum of 20-30 students to operate within the existing church building. The original operator of this is school has since vacated the premises, but another similar special needs school may move into the space pending Staff approval and consistency with the previously-approved Special Exception Permit.

- (5) The rezoning will not interfere with an adjacent property owner's reasonable expectation of use or enjoyment; and

In accordance with the City's comprehensive plan, the zoning designations permitted within the Medium Density Residential future land use designation include Planned Unit Development. Further, in accordance with land development regulations and the comprehensive plan, where appropriate, the proposed PUD will provide for adequate buffering against adjoining properties and rights-of-way in the form of either landscaping to create a visual screen and/or perimeter walls/fencing. The new development should not interfere with the adjacent property owner's reasonable expectation of use or enjoyment.

- (6) There is availability and adequacy of primary streets and thoroughfares to support traffic to be generated within the proposed PUD and the surrounding area, or an agreement or binding conditions have been established that will provide such transportation facilities to support said traffic in a reasonable time frame.

The adjacent street, Winter Garden Vineland Road, has sufficient capacity to support the traffic generated by a charter school with 325 students. The main access point will be via a right in / right out driveway on Winter Garden Vineland Road, and the site is designed to support internal vehicular stacking during pick-up and drop-off times. In addition, the existing internal driveway will maintain its cross-access connection to the Church of Christ of West Orange's property, which provides vehicular access to Daniels Road to the east.

- (7) The degree of departure or conformity of the proposed PUD with surrounding areas in terms of character and density.

The proposed PUD project is consistent with the comprehensive plan's goals, objectives and policies for the Medium Density Residential future land use designation, the PUD zoning criteria, and land development regulations. As stated above, the proposed PUD features a Floor Area Ratio of 0.1, which is lower than the maximum FAR permitted for adjacent commercial properties (0.35 FAR).

- (8) Compatibility of uses and improvements within the PUD and the relationship with surrounding existing or proposed developments.

The proposed PUD project integrates several elements that provide for cohesion between existing and proposed uses surrounding the property. The project includes construction of a sidewalk along Winter Garden Vineland Road to fill in the a portion of an existing sidewalk gap. In addition, an internal sidewalk connection to Winter Garden Vineland road will be provided, as well as a sidewalk constructed along the internal drive aisle to ensure pedestrian safety. Landscaping will be installed along the property lines to create adequate buffering from surrounding development. Cross

access will be maintained between the subject property and the West Orange Church of Christ property to the east, including maintaining the drive aisle so vehicular access is available from both Winter Garden Vineland Road and Daniels Road.

- (9) Prevention of erosion and degrading or enhancement of the surrounding areas.

The proposed PUD project will not erode or degrade the environmental quality of the surrounding area. To the greatest extent possible, stormwater management features will be designed as landscape amenities. Proper erosion and sedimentation control measures will be taken during the construction process.

- (10) Provision for recreation facilities, surface drainage, flood control and soil conservation as shown in the preliminary development plan.

The PUD must comply with the open space and impervious surface maximum requirements of City Code and the Saint Johns River Water Management District. The projects does not include any residential units, so it is not required to provide recreational facilities per the City's residential development sections of Code. However, being a school, a number of outdoor recreation areas are proposed including play areas, sports courts, paved tracks, and open recreation spaces.

Stormwater management for the proposed PUD project will be provided in on-site stormwater management areas to satisfy the City of Winter Garden, and the Saint John's River Water Management District.

- (11) The nature, intent and compatibility of any common open space, including the proposed method for the maintenance and conservation of the common open space.

The proposed PUD project will comply with the City's requirements for open space and will meet the City's Impervious Surface Ratio requirements as well as the stormwater management requirements of the Saint John's River Water Management District. The open spaces will be owned and maintained by the property owner.

- (12) The feasibility and compatibility of the specified stage(s) or phase(s) contained in the preliminary development plan to exist as an independent development.

The PUD is anticipated to be built in one phase. However, if the developer decides to phase the project, each phase of development of the proposed PUD project must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.

- (13) The availability of existing or planned reclaimed water service to support the proposed PUD.

Reclaimed water capacity is not currently available to serve the property on which the PUD is proposed to be developed. The project must make provisions for easily connecting to reclaimed lines in the future when those lines are installed adjacent to the property. All required utility lines will be connected to serve the development, and all connection costs shall be borne by the property owner.

- (14) The benefits within the proposed PUD development and to the general public to justify the requested departure from standard land use requirements inherent in a PUD classification.

The proposed PUD includes the requirement that the architecture meet a certain level of design and material quality, and exhibit aesthetic harmony with surrounding properties. The project will provide much-needed additional capacity for the UCP Winter Garden organization, which has received an increased volume of applications in recent years. This new facility will allow the school to serve more special-needs and other kids within the Winter Garden Community.

- (15) The conformity and compatibility of the proposed common open space, residential and/or nonresidential uses within the proposed PUD.

As stated previously, the proposed PUD project will comply with the City's requirements for open space and impervious surface maximums. The proposed institutional use of a charter school with 325 students is consistent surrounding development, which includes a number of churches and a major state highway (Florida's Turnpike).

- (16) Architectural characteristics of proposed residential and/or nonresidential development.

A variety of architectural requirements have been incorporated into the building standards in the proposed PUD project including requirements for architectural character, color variation, varying building massing, building projections and recesses, entryways and arcades, building articulation and theming, walls, and signage. The architecture was required to be consistent and compatible with the building styles found in adjacent developments.

- (17) A listing of the specific types of nonresidential uses to be allowed.

The proposed PUD proposes only a school and educational therapy uses as permitted, along with customary secondary uses clearly subordinate and ancillary to the permitted primary uses.

PUBLIC FACILITY ANALYSIS

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

All concurrency requirements identified by the City of Winter Garden Code of Ordinances and Comprehensive Plan will be met by the proposed development.

COMMUNITY MEETING

A Virtual Community Meeting was held on July 13, 2020 online, at which time the applicant presented the proposal to develop a new 37,712 square foot charter school on the subject property. A brief question and answer session ensued, with two adjacent property owners and managers in virtual attendance inquiring about the project's impacts on local taxes and potential traffic issues. The response was largely positive and no opposition to the proposed project was given at the meeting.

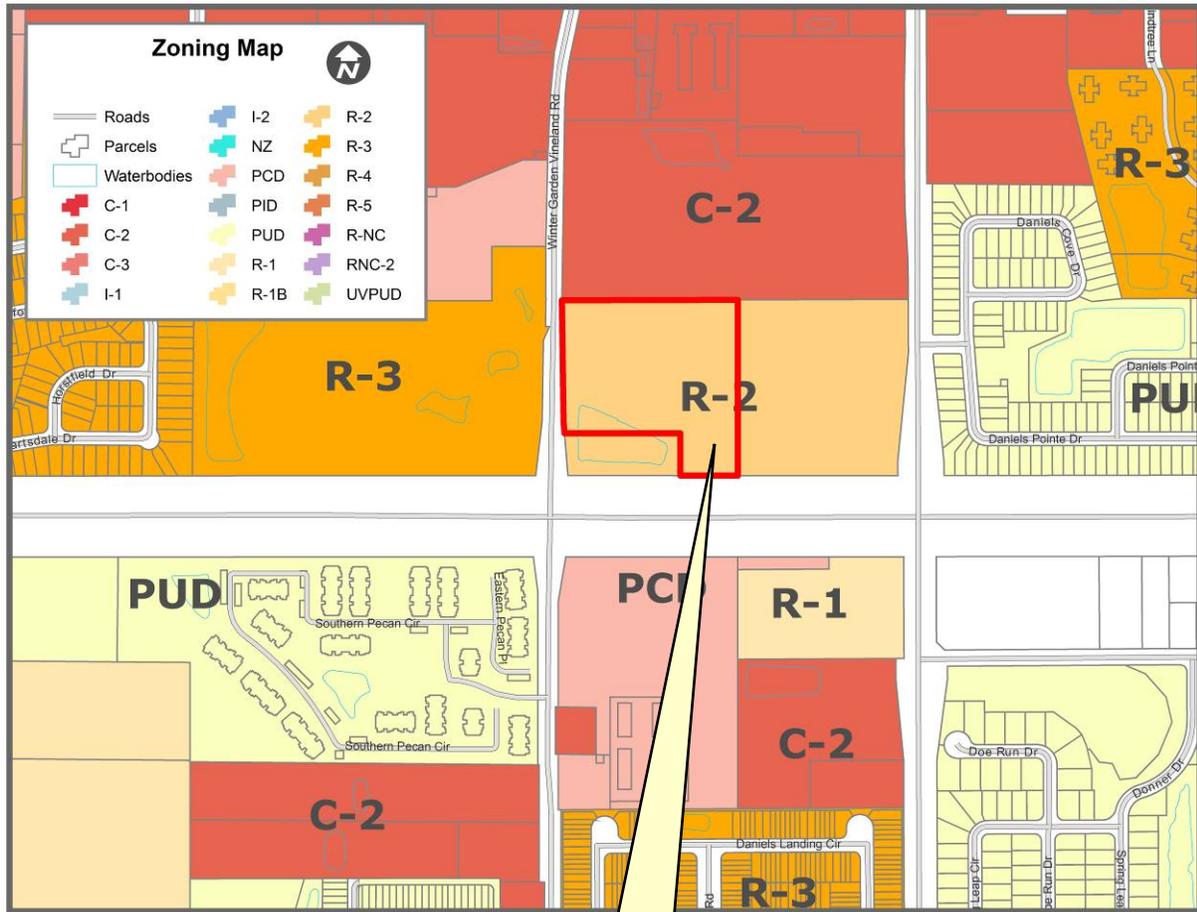
SUMMARY

City Staff recommends approval of the proposed Ordinance 20-26. Rezoning the subject property from R-2 to PUD is consistent with the City's Comprehensive Plan, Future Land Use Map, and land development regulations, and is consistent with the surrounding development in the area.

AERIAL PHOTO
1441 Winter Garden Vineland Road

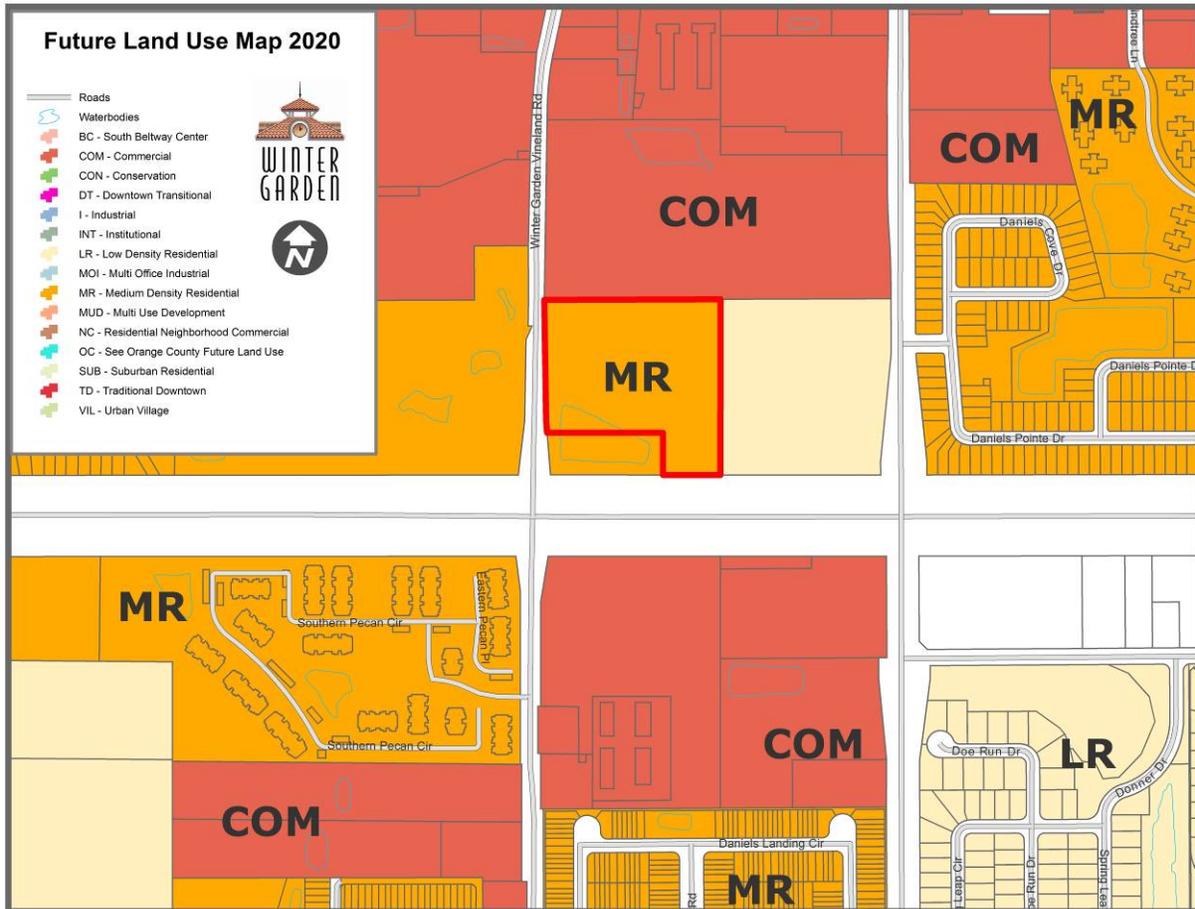


ZONING MAP
1441 Winter Garden Vineland Road



Subject Property
Rezoned R-2 to PUD

FUTURE LAND USE MAP
1441 Winter Garden Vineland Road



END OF STAFF REPORT

ORDINANCE 20-26

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 7.99 ± ACRES OF CERTAIN REAL PROPERTY GENERALLY LOCATED ON THE EAST SIDE OF WINTER GARDEN VINELAND ROAD (SR 535), SOUTH OF WEST COLONIAL DRIVE (SR 50), WEST OF DANIELS ROAD, AND NORTH OF FLORIDA'S TURNPIKE, AT 1441 WINTER GARDEN VINELAND ROAD, FROM R-2 (RESIDENTIAL) TO PUD (PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE UCP WINTER GARDEN PUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner(s) of real property generally described as approximately 7.99 ± acres of certain real property generally located on the east side of Winter Garden Vineland Road (SR 535), south of West Colonial Drive (SR 50), west of Daniels Road, and north of Florida's Turnpike in Winter Garden, Florida, being more particularly described on Exhibit "A" attached hereto and incorporated herein by this reference (the "Property"), desire to rezone their property from R-2 (Residential) to PUD (Planned Unit Development"), and

WHEREAS, recently adopted Ordinance 16-25 amended Chapter 118, Article V, Division 2 of the City of Winter Garden Code to allow Planned Unit Developments with primary institutional uses and secondary commercial and residential uses; and

WHEREAS, the Planning and Zoning Board has considered this Ordinance and made a recommendation to the City Commission concerning its adoption; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the land development regulations set forth in the City of Winter Garden Code of Ordinances; and

WHEREAS, based on competent substantial evidence in the record, the requested rezoning set forth in this Ordinance meets all applicable criteria specified in the City of Winter Garden Comprehensive Plan and the Code of Ordinances; Now therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Rezoning.* The above "Whereas" clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of real

property legally described on Exhibit "A," is hereby rezoned from (R-2) Residential District to (PUD) Planned Unit Development in the City of Winter Garden, Florida subject to the following conditions provisions and restrictions:

- a. **Applicability/Conflict.** All development of or within the Property shall comply with and is subject to the requirements set forth in this Ordinance. Unless specifically identified in this Ordinance, all development on the Property identified in Exhibit "A" must comply with the general development standards of the PUD (Planned Unit Development) Zoning district as they pertain to properties that have primary institutional uses. These requirements include any approval procedures of the Planned Unit Development zoning district. Notwithstanding anything to the contrary herein, all development of or within the Property shall comply with and is subject to all requirements in the City Code, and ordinances, resolutions, and policies of the City. To the extent of any express conflicts between the express provisions of this Ordinance pertaining to permitted uses, special exception uses, prohibited uses, architectural design criteria, and other development criteria and the City Code and ordinances, resolutions, and policies of the City, the requirements set forth herein shall control to the extent of the conflict.

- b. **Intent.** This Ordinance is intended to provide flexibility in the development of the Property in order to provide for proper growth and to guide development and construction in an integrated approach in order to promote an institutional development that is aesthetically pleasing and meets the needs of students, faculty, staff, and visitors. Permitted and special exception uses will be established to maintain a safe, well developed project that enhances and supports the City and its citizens without causing distress on the nearby residents, local businesses, and roads.

- c. **Development Plans.** The Property shall be developed in substantial conformance with the Preliminary Development Plans attached hereto as Exhibit "B". Should any conflict exist between this Ordinance and the Preliminary Development Plans attached hereto as Exhibit "B", then the standards and conditions established by this Ordinance shall control to the extent of the conflict.

- d. **Permitted Uses-** The permitted uses for the subject property are as follows:
 - School and other educational uses.
 - Educational Therapy services.
 - Customary accessory uses and structures clearly incidental and subordinate to a principal use.

- e. **Special Exception Uses-** The special exception uses for the subject

property are as follows:

- Other uses which the Planning and Zoning board determines are of the type and intensity of activity similar to and compatible with the permitted uses.

f. Prohibited Uses- Any use not specifically set forth in this Ordinance as a Permitted or Special Exception Use is prohibited. Without limiting the foregoing, the following are expressly prohibited:

- Automobile, motorcycle, recreational vehicle or boat sales, rental, storage, painting, service or repair or any combination thereof.
- Nursing homes or assisted living facilities.
- Dry cleaners.
- Pawn Shops.
- Manufacturing and heavy industrial uses, transportation terminals, large-scale storage warehousing and other activities of a similar nature.
- Fuel sales.
- Buildings with drive-thru lanes.
- Billboard.
- Crematories/Funeral Homes.
- Adult entertainment.
- Adult or pornographic book, magazine, video, novelty stores / sales.
- All uses prohibited by Sec. 118-858(5), City of Winter Garden Code of Ordinances.
- Any use not in keeping with a neighborhood-scale institutional character.

g. Design Criteria/Architectural Standards-

- **Architectural Standards-** All buildings and site elements within the area depicted in Exhibit "B" shall adhere to the architectural character exhibited by the UCP Winter Garden Building Elevations and Perspectives, attached hereto as Exhibit "C".
- **Maximum Building Height-** The maximum building height shall not exceed 35 feet.
- **Landscape Design-** Unless specifically identified or allowed in Exhibit "B", all areas shall be required to adhere to the landscape

design standards for specified commercial corridors in accordance with Chapter 118, Article X, Division 3 of the City of Winter Garden Code of Ordinances.

- **Site Furnishings** – Bicycle parking spaces shall be provided in a quantity commensurate with the proposed uses. Benches and trash receptacles shall be provided near the main building entrances.
- **Dark Skies**- all exterior lighting shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles. Exterior lighting shall be designed as dark skies lighting in a consistent and coordinated manner for the entire project in compliance with the requirements of Chapter 118, Article X, Division 4 of the City Code of Ordinances.
- **Minimum Building Setbacks**-
 - i. Front: 40'
 - ii. Side: 20'
 - iii. Rear: 20'
- **Outdoor Storage**- Outdoor storage of materials or equipment is prohibited.
- **Signage**- All signage proposed for the Property shall comply with the City of Winter Garden's sign standards in accordance with the "Permitted Nonresidential Uses in Residential Districts" regulations of Chapter 102, Article III, Division 2, with the exception of the monument sign called out in Exhibit 'B'. This monument sign shall not exceed the size and copy area exhibited by the UCP Monument Sign Standards, attached hereto as Exhibit 'D'. The signage shall be reviewed at time of Site Plan Review.
- **Impervious Surface Area Ratio**- The maximum impervious surface area ratio for the Property shall be consistent with the overall maximum impervious surface area ratio that the Planned Unit Development is permitted by Saint John's River Water Management District.

SECTION 2: Staff Conditions.

- The Applicant shall submit plans and documentation showing adherence to Section 118-68, requirements for site plans, as required by the City Code.
- General Requirements:

- All gravity sanitary pipe and fittings shall be SDR 26.
 - All compaction shall be 98% of the modified proctor maximum density (AASHTO T-180).
 - As-built record drawings shall comply with City of Winter Garden requirements available on-line (note on final construction plans).
 - All Storm (>12") and Sanitary lines (>6") shall be inspected by CCTV prior to completion.
- All utilities shall conform to Chapter 78 of the City Code. Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all required water, irrigation and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits. Final plans shall detail all connections including fire protection, lift station, reuse water and domestic water supply. A sanitary lift station will be required as shown (privately owned and maintained).
 - Sanitary lines for commercial buildings shall be 6" minimum.
 - Minimum 5' wide concrete sidewalks shall be constructed along all street frontages pursuant to Code. Any damaged, broken or cracked sections (including existing curbs and pavement) shall be replaced prior to issuance of certificate of occupancy.
 - The use of Thermoplastic pipe shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe, laser profiling, installation per ASTM D2321, etc.
 - Landscaping shall not encroach on required sight lines at intersections or driveways. Design Engineer shall provide certification that sight distance requirements are being met. All irrigation on the site shall be designed to be supplied by reclaimed water when available and shall be served by a jumper to potable water until that time.
 - A separate tree removal permit is required to remove any trees.
 - Permit from SJRWMD is required as well as permits or exemptions from FDEP for water, wastewater and NPDES.
 - Streetlighting, both internally and on all street frontages, is required pursuant to City Code – dark skies lighting is required.
 - Use City Standard Detail Sheets for utilities and public works. All on-site utilities shall be privately owned and maintained.

- Fire sprinkler systems will be required on all buildings over 6,000 s.f. with Point of Service (POS), backflow prevention, etc. shown. All work downstream of the POS shall be performed by a licensed fire sprinkler contractor.
- All dumpsters shall be enclosed and shall provide 12' minimum inside clearance (each way inside of bollards), and access by solid waste vehicles. Coordinate additional requirements with Public Services Department, Solid Waste Division.
- Any screen walls or retaining walls shall require a separate permit from the Building Department.
- All underdrain pipe shall be double wall HDPE pipe or PVC pipe.
- Internal sidewalks shall connect to the public sidewalks in the right-of-way per ADA.
- A Traffic Impact Analysis is required to be submitted and reviewed by the City's Traffic Reviewer.
- The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
- All work shall conform to City of Winter Garden standards and specifications.
- The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
- No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others, including by way of any development order or permit issued. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City shall not be responsible and any corrective measures required will be the responsibility of the Owner/Developer. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
- After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of **2.25%** of the cost of all site improvements shall be paid prior to issuance of the building permit.

SECTION 3: *General Requirements.*

- a. **Development Agreement-** If deemed necessary by City Staff, a Development Agreement shall be drafted, approval obtained and recorded prior to approval of any site or building permits for the Property.
- b. **Stand Alone Clause-** Each phase of development of the Property must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.
- c. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- d. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- e. **Expiration/Extension-** Expiration of this PUD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION 4: *Zoning Map.* The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 5: *Non-Severability.* Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 6: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

Exhibit "A"

Parcel ID: 26-22-27-0000-00-012

LEGAL DESCRIPTION:

(AS FURNISHED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY)

THE NW 1/4 OF THE SE 1/4 OF THE NW 1/4 LYING IN SECTION 26, TOWNSHIP 22 SOUTH, RANGE 27 EAST, LESS TURN PIKE RIGHT OF WAY AND ALSO LESS THAT PORTION CONVEYED TO THE CITY OF WINTER GARDEN, A FLORIDA MUNICIPAL CORPORATION FOR RIGHT-OF-WAY AND WATER RETENTION AREA DESCRIBED IN O.R. BOOK 7345, PAGE 4420, ORANGE COUNTY, FLORIDA.

(DESCRIPTION BY SURVEYOR FROM A FIELD SURVEY)

A PARCEL OF LAND SITUATE IN THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 26, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA. LESS AND EXCEPT THE TURNPIKE RIGHT-OF-WAY AS WELL AS THE PORTION TAKEN FOR RIGHT-OF-WAY AND WATER RETENTION AREA PER OFFICIAL RECORDS BOOK 7345, PAGE 4420 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH 1/4 CORNER OF SECTION 26, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA; THENCE, SOUTH 00°09'25" EAST, ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 26, 1328.52 FEET, TO A POINT ON THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 26; THENCE, DEPARTING SAID EAST LINE, SOUTH 89°48'47" WEST, ALONG SAID NORTH LINE, 39.87 FEET, TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF DANIELS ROAD (R/W WIDTH VARIES); THENCE, DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 89°48'47" WEST, ALONG SAID NORTH LINE, 629.39 FEET, TO THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 26 ALSO BEING THE **POINT OF BEGINNING**; THENCE, DEPARTING SAID NORTH LINE, SOUTH 00°15'10" WEST, ALONG SAID EAST LINE, 648.24 FEET, TO A POINT ON THE NORTH LIMITED ACCESS RIGHT-OF-WAY LINE OF FLORIDA'S TURNPIKE (a.k.a S.R. 91) (300' R/W WIDTH); THENCE, DEPARTING SAID EAST LINE, NORTH 89°52'56" WEST, ALONG SAID NORTH LIMITED ACCESS RIGHT-OF-WAY LINE, 211.75 FEET, TO A POINT ON THE EAST LINE OF THE RIGHT-OF-WAY AND WATER RETENTION AREA AS DESCRIBED IN OFFICIAL RECORDS BOOK 7345, PAGE 4420 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE, DEPARTING SAID NORTH LIMITED ACCESS RIGHT-OF-WAY LINE, NORTH 00°16'25" EAST, ALONG SAID EAST LINE OF THE RIGHT-OF-WAY AND WATER RETENTION AREA, 154.92 FEET, TO THE NORTH LINE OF SAID RIGHT-OF-WAY AND WATER RETENTION AREA; THENCE, NORTH 89°52'56" WEST, ALONG SAID NORTH LINE OF THE RIGHT-OF-WAY AND WATER RETENTION AREA, 427.77 FEET, TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF WINTER GARDEN-VINELAND ROAD (a.k.a. COUNTY ROAD 535) (R/W WIDTH VARIES); THENCE, DEPARTING SAID NORTH LINE OF THE RIGHT-OF-WAY AND WATER RETENTION AREA AND ALONG SAID EASTERLY RIGHT-OF-WAY LINE THE FOLLOWING FOUR (4) COURSES AND DISTANCES: NORTH 04°47'03" WEST, 43.56 FEET; NORTH 01°03'42" EAST, 299.06 FEET; NORTH 19°50'45" WEST, 6.73 FEET; NORTH 01°04'02" EAST, 141.18 FEET, TO A POINT ON THE AFORESAID NORTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 26; THENCE, DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE, NORTH 89°48'47" EAST, ALONG SAID NORTH LINE, 639.39 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 7.99 ACRES MORE OF LESS.

Exhibit "B"

COVER PAGE

UCP WINTER GARDEN

PUD Plan

(41 PAGES - ATTACHED)

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF WINTER GARDEN STANDARDS AND SPECIFICATIONS AND THE FOOT STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION WHICH EVER IS MORE STRINGENT.
2. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES FOUND BETWEEN THESE PLANS, THE ARCHITECTURAL PLANS AND/OR FIELD CONDITIONS.
3. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE VARIOUS UTILITIES TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WHICH MAY INTERFERE WITH THE PROPOSED WORK. RELOCATION OR EXTENSION OF EXISTING UTILITIES SHALL BE COORDINATED BY THE CONTRACTOR.
4. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY REQUIRED ORANGE COUNTY AND UNDERGROUND UTILITY RIGHT-OF-WAY PERMITS.
5. ALL PRIVATE AND PUBLIC PROPERTY DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING.
6. CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROL DEVICES TO PROTECT AND FACILITATE TRAFFIC MOVEMENT DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER, REVIEW AND MAINTAIN A COPY OF ALL REQUIRED PERMITS FOR THE PROJECT, COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION ON THE CONSTRUCTION SITE.
8. THE CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL REPORT PREPARED BY UNIVERSAL ENGINEERING SCIENCES FOR THE PROJECT SITE DATED JANUARY 26, 20187. CONTRACTOR SHALL REVIEW & FAMILIARIZE HIMSELF WITH, AND ADHERE TO THE RECOMMENDATIONS INCLUDED THERE IN.
9. THE CONTRACTOR SHALL NOT INITIATE ANY ASPECT OF THE WORK DEPICTED ON THESE DRAWINGS UNTIL HE HAS RECEIVED WRITTEN ACKNOWLEDGMENT FROM THE OWNER OR ENGINEER THAT ALL APPLICABLE PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL REVIEW, FAMILIARIZE HIMSELF WITH, AND MAINTAIN COPIES OF APPLICABLE PERMITS AT THE CONSTRUCTION SITE, COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS AND MODIFICATIONS.
10. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CLEARLY DESIGNATE THE LIMITS OF CONSTRUCTION ON SITE. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE THE LIMITS OF CONSTRUCTION.
11. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN ALL BARRICADES, WARNING SIGNS, MARKINGS, ETC. FOR HAZARDS AND THE CONTROL OF TRAFFIC, IN CONFORMITY WITH FOOT STANDARDS, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, OR AS DIRECTED BY FDOT, WHERE THE WORK CAUSES OBSTRUCTION TO THE NORMAL TRAFFIC OR CONSTITUTES IN ANY WAY A HAZARD TO THE PUBLIC.
12. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANS FOR ALL GROUND COVER (SODDING) LIMITS.
13. ALL CONSTRUCTION SHALL CONFORM WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY LOCAL, STATE AND FEDERAL REGULATIONS, WHICHEVER IS MORE STRINGENT SHALL APPLY.
14. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACQUIRE THE NECESSARY RIGHT-OF-WAY PERMITS(S) AND PROVIDE FOR THE SAFETY AND CONTROL OF TRAFFIC DURING CONSTRUCTION.
15. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND IN-HAND BEFORE BEGINNING ANY CONSTRUCTION.
16. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED UNLESS OTHERWISE NOTED.
17. THE CONTRACTOR SHALL NOT EXCAVATE, REMOVE OR OTHERWISE DISTURB ANY MATERIAL, STRUCTURE OR PART OF A STRUCTURE WHICH IS LOCATED OUTSIDE THE LINES, GRADES OR GRADING SECTION, ESTABLISHED FOR THIS PROJECT, EXCEPT WHERE SUCH EXCAVATIONS OR REMOVAL IS PROVIDED OR IN THE CONTRACT, PLANS, OR SPECIFICATIONS.
18. ALL WORK AND ALL MATERIALS FURNISHED SHALL BE IN CONFORMITY WITH THE LINES, GRADES, GRADING SECTIONS, CROSS SECTIONS, DIMENSIONS, MATERIAL REQUIREMENTS, AND TESTING REQUIREMENTS THAT ARE SPECIFIED IN THE CONTRACT, PLANS OR SPECIFICATIONS.
19. THE SPECIFICATIONS, NOTES AND PLANS CALL ATTENTION TO CERTAIN REQUIRED FEATURES OF THE CONSTRUCTION BUT DO NOT PURPORT TO COVER ALL DETAILS OF DESIGN AND CONSTRUCTION. HOWEVER, THE CONTRACTOR SHALL FURNISH AND INSTALL THE WORKS IN ALL DETAILS AND READY FOR OPERATION.
20. ALL EQUIPMENT SHALL BE HANDLED, STORED, INSTALLED, TESTED AND OPERATED IN STRICT ACCORDANCE WITH THE APPLICABLE MANUFACTURERS WRITTEN INSTRUCTIONS.

- 21. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK COMPETENTLY AND EFFICIENTLY, DEVOTING SUCH ATTENTION THERETO AND APPLYING SUCH SKILLS AND EXPERTISE AS MAY BE NECESSARY TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
22. ALL WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES ORDINANCES REGULATIONS.
23. APPARENT ERRORS, DISCREPANCIES OR OMISSIONS ON THE DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION BEFORE BIDDING.
24. NO EXTRA PAYMENTS SHALL BE ALLOWED FOR ANY WORK REQUIRED DUE TO MISUNDERSTANDING OF JOB OR SITE CONDITIONS AFFECTING THE WORK AS DESCRIBED IN THE SPECIFICATIONS OR SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL NOT TAKE ADVANTAGE OF ANY APPARENT ERROR OR OMISSION IN THE DRAWINGS OR SPECIFICATIONS, AND THE ENGINEER SHALL BE PERMITTED TO MAKE CORRECTIONS AND INTERPRETATION AS MAY BE DEEMED NECESSARY FOR THE FULFILLMENT OF THE INTENT OF THE CONTRACTS DOCUMENTS. THE TENDERING OF A PROPOSAL WILL ACKNOWLEDGE ACCEPTANCE OF THESE CONDITIONS BY THE BIDDER.

- 25. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL MAJOR ITEMS PROPOSED FOR THIS PROJECT TO THE ENGINEER AND THE CITY OF WINTER GARDEN PRIOR TO ORDERING ANY OF THE EQUIPMENT. UPON THE CONTRACTOR'S RECEIPT OF APPROVED SHOP DRAWINGS FROM THE ENGINEER AND THE CITY OF WINTER GARDEN, THE CONTRACTOR MAY PROCEED WITH THE WORK.

- 26. THE CONTRACTOR SHALL COMPLY WITH THE LEGAL LOAD RESTRICTIONS IN HAULING OF MATERIALS IN PUBLIC ROADS BEYOND THE LIMITS OF WORK. A SPECIAL PERMIT WILL NOT RELIEVE THE CONTRACTOR OF LIABILITY FOR DAMAGE WHICH MAY RESULT FROM THE MOVING OF MATERIAL AND EQUIPMENT.

- 27. DURING CONSTRUCTION, NO DIRECT DISCHARGE OF WATER TO DOWNSTREAM RECEIVING WATERS WILL BE ALLOWED. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WATER QUALITY, AND ROUTE DISCHARGE WATER IN SUCH A MANNER AS TO ADEQUATELY REMOVE SILT PRIOR TO RUNOFF FROM THE SITE.

- 28. ALL STORM GREATER THAN 12" AND SANITARY LINES GREATER THAN 6" SHALL BE INSPECTED BY CCTV PRIOR TO COMPLETION.

- 29. ALL ON SITE UTILITIES TO BE PRIVATELY OWNED AND MAINTAINED.

- 30. THE USE OF THERMOPLASTIC PIPE SHALL MEET ALL CITY OF WINTER GARDEN MATERIAL AND INSTALLATION REQUIREMENTS AS SPECIFIED IN THE CITY OF WINTER GARDEN STANDARDS AND SPECIFICATIONS MANUAL.

- 31. FIRE SPRINKLER SYSTEMS WILL BE REQUIRED ON ALL BUILDINGS OVER 6,000 S.F. WITH POINT OF SERVICE (POS). ALL WORK DOWNSTREAM OF POS SHALL BE PERFORMED BY A LICENSED FIRE SPRINKLER CONTRACTOR.

- 32. THE CITY OF WINTER GARDEN WILL INSPECT PRIVATE SITE IMPROVEMENTS ONLY TO THE EXTENT THAT THEY CONNECT TO CITY OWNED/MAINTAINED SYSTEMS (ROADWAYS, DRAINAGE, UTILITIES, ETC.). IT IS THE RESPONSIBILITY OF THE OWNER AND DESIGN ENGINEER TO ENSURE THAT PRIVATELY OWNED AND MAINTAINED SYSTEMS ARE CONSTRUCTED TO THE INTENDED SPECIFICATIONS. THE CITY IS NOT RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF PRIVATELY OWNED SYSTEMS, TO INCLUDE, BUT NOT BE LIMITED TO, ROADWAYS, PARKING LOTS, DRAINAGE, STORMWATER PONDS OR ON-SITE UTILITIES.

- 33. THE CONTRACTOR IS RESPONSIBLE FOR THE NOTIFICATION, LOCATION AND PROTECTION OF ALL UTILITIES THAT MAY EXIST WITHIN THE PROJECT LIMITS.

AS-BUILT NOTES

- 1. AS-BUILT DRAWINGS SHALL BE PREPARED BY AND CERTIFIED BY A REGISTERED SURVEYOR AND SHALL BE PROVIDED TO THE PROJECT ENGINEER UPON COMPLETION OF THE PROJECT SITE IMPROVEMENTS IN BOTH HARD COPY AND ELECTRONIC FILE (AutoCAD 2015). THE CERTIFIED DRAWINGS SHALL CONTAIN A STATEMENT OF COMPLIANCE WITH THE CITY OF WINTER GARDEN REQUIREMENTS, SECTION 21 HH-6 MIN. TECHNICAL STANDARDS, RULES OF THE DEPARTMENT OF PROFESSIONAL REGULATION, BOARD OF PROFESSIONAL LAND SURVEYORS, SECTION 21 H-6.003, SEC. 6, PART A, AS-BUILT SURVEY. AS-BUILT DRAWINGS SHALL REFLECT ANY CHANGES TO THE IMPROVEMENTS MADE DURING CONSTRUCTION. BOTH THE ORIGINAL DESIGN AND REVISED AS-BUILT DATA, AS APPLICABLE, MUST BE CLEARLY SHOWN. THE AS-BUILT DRAWINGS MUST BE CLEARLY LABELED AS "AS-BUILT" OR "RECORD DRAWING". THE FOLLOWING INFORMATION, AT A MINIMUM AND AS APPLICABLE TO THIS PROJECT, SHALL BE CERTIFIED ON THE AS-BUILT DRAWINGS:

WATER DISTRIBUTION SYSTEM:

- I. LOCATION AND DIMENSIONS OF PIPES, VALVES, FITTINGS, AND OTHER ASSOCIATED FACILITIES.

WASTEWATER COLLECTION/TRANSMISSION SYSTEM:

- II. LOCATION, DIMENSION, AND INVERT ELEVATIONS OF

PIPES, MANHOLES (INCLUDING RIM ELEVATION), AND OTHER ASSOCIATED FACILITIES.

PAVING AND DRAINAGE SYSTEM:

- II. DIMENSIONS AND ELEVATIONS OF ALL DISCHARGE STRUCTURES INCLUDING ALL WEIRS, SLOTS, GATES, PIPES, AND SKIMMERS.

- IV. LOCATIONS, DIMENSIONS, AND ELEVATIONS OF ALL FILTER, EXFILTRATION, OR UNDERDRAIN SYSTEMS INCLUDING CLEANOUTS, PIPES, CONNECTIONS TO CONTROL STRUCTURES, AND POINTS OF DISCHARGE TO THE RECEIVING WATERS.

- V. DIMENSIONS, ELEVATIONS, CONTOURS, OR CROSS-SECTIONS OF ALL STORMWATER TREATMENT POND STORAGE AREAS SUFFICIENT TO DETERMINE STAGE-STORAGE RELATIONSHIPS OF THE STORAGE AREA, AND THE POND DEPTH AND VOLUME BELOW THE CONTROL WATER ELEVATION FOR NORMALLY WET SYSTEMS.

- VI. DIMENSIONS, ELEVATIONS, CONTOURS, FINAL GRADES, OR CROSS-SECTIONS OF THE DRAINAGE SYSTEM IMPROVEMENTS TO DETERMINE FLOW DIRECTIONS AND CONVEYANCE OF RUNOFF TO THE TREATMENT SYSTEM.

- VII. DIMENSIONS, ELEVATIONS, CONTOURS, FINAL GRADES, OR CROSS-SECTIONS OF ALL CONVEYANCE SYSTEMS UTILIZED TO CONVEY OFF-SITE RUNOFF AROUND THE SYSTEM.

- VIII. EXISTING WATER ELEVATION OF SURFACE WATERS AND THE DATE DETERMINED.

- IX. ELEVATION AND LOCATION OF BENCHMARK (S) FOR THE SURVEY.

EROSION CONTROL NOTES

- 1. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO SOIL DISTURBANCE OR AS THE FIRST STEP IN CONSTRUCTION. THESE MEASURES MUST REMAIN IN PLACE AND MAINTAINED IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETE, SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.

- 2. EROSION CONTROL IS PERFORMANCE BASED, SO MEASURES ADDITIONAL TO WHAT IS INDICATED ON THE APPROVED PLANS MAY BE NEEDED TO PREVENT OFF-SITE IMPACTS.

- 3. PERIMETER CONTROL. PROPERLY TRENCHED SILT FENCE OR OTHER APPROVED PERIMETER CONTROLS SHALL BE PLACED ALONG ALL PERIMETERS OF THE PROJECT SITE, WHICH IS DOWN GRADIENT OF ANY DISTURBED SOIL.

- 4. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL MUD, DIRT, OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC ROADS AND FACILITIES, DUE TO CONSTRUCTION.

- 5. DEWATERING ACTIVITIES WILL NOT RESULT IN ANY DISCHARGE OF TURBID WATER FROM THE PROJECT SITE.

- 6. STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

- 7. THE LOCATION AND TYPE OF THE EROSION CONTROL MEASURES SHOWN ON THIS DRAWING ARE PROVIDED FOR GENERAL GUIDANCE TO THE CONTRACTOR. THE METHODS AND SEQUENCING OF CONSTRUCTION EMPLOYED BY THE CONTRACTOR MAY REQUIRE MORE OR LESS EROSION CONTROL MEASURES THAN THAT DEPICTED TO MAINTAIN ADEQUATE EROSION AND SEDIMENT CONTROL FOR THE CONSTRUCTION ACTIVITIES.

- 8. EROSION/TURBIDITY BARRIERS MUST BE INSTALLED AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SEDIMENT OR SUSPENDED SOLIDS TO ADJACENT PROPERTIES, JURISDICTIONAL WETLANDS AND/OR RECEIVING WATERBODIES EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST REMAIN IN PLACE AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED. THEREAFTER THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF THE BARRIERS. THE CONTRACTOR SHALL MAINTAIN THE EROSION/TURBIDITY CONTROL BARRIERS DAILY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE NECESSARY EROSION/TURBIDITY CONTROL FOR THIS PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY PENALTIES IMPOSED BY THE PERMITTING AGENCY FOR ANY EROSION, SHOALING, OR WATER QUALITY PROBLEMS RESULTANT TO CONSTRUCTION ACTIVITIES.

- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY EROSION, SHOALING OR WATER QUALITY PROBLEMS THAT RESULT FROM THE CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL USE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL AS DESCRIBED IN THE FLORIDA LAND DEVELOPMENT MANUAL; A GUIDE TO SOUND LAND AND

WATER MANAGEMENT AND/OR ACCORDING TO F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS FOR EROSION CONTROL APPLICATIONS.

- 10. MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO ENSURE THAT SEDIMENTATION AND/OR TURBIDITY PROBLEMS ARE NOT CREATED IN THE RECEIVING WATERBODIES. THE CONTRACTOR MUST IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ON-SITE AND TO PREVENT VIOLATIONS OF THE WATER QUALITY CRITERIA AND STANDARDS IN CHAPTERS 17-4, 17-302, F.A.C. ALL EROSION/SEDIMENT CONTROL PRACTICES MUST BE IN ACCORDANCE WITH THE GUIDELINES AND SPECIFICATIONS IN SECTION 6 OF THE FLORIDA LAND DEVELOPMENT MANUAL: A GUIDE TO SOUND LAND AND WATER MANAGEMENT (FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION 1988), UNLESS A PROJECT-SPECIFIC EROSION AND SEDIMENT CONTROL PLAN IS APPROVED BY THE WATER MANAGEMENT DISTRICT IN WHICH CASE THE PRACTICES MUST BE IN ACCORDANCE WITH THE PLAN. IF SITE SPECIFIC CONDITIONS REQUIRE ADDITIONAL MEASURES DURING ANY PHASE OF CONSTRUCTION OR OPERATION TO PREVENT EROSION OR CONTROL SEDIMENT, THE CONTRACTOR MUST IMPLEMENT THE NECESSARY ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES.

- 11. TEMPORARY SEEDING AREAS OPENED BY CONSTRUCTION OPERATIONS THAT ARE NOT ANTICIPATED TO BE DRESSED OR RECEIVE FINAL GRASSING TREATMENT WITHIN THIRTY DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER, DURING THE SEASON IN WHICH IT IS PLANTED. TEMPORARY SEEDING SHALL BE CONTROLLED SO AS TO NOT ALTER OR COMPETE WITH PERMANENT GRASSING. THE RATE OF SEEDING SHALL BE 30 POUNDS PER ACRE.

- 12. TEMPORARY GRASSING THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED AS REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY REGRASSING IF, AFTER 14 DAYS, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75% GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED TO ESTABLISH THE DESIRED VEGETATION COVER.

DEMOLITION NOTES

- 1. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES FOUND BETWEEN THESE PLANS AND EXISTING FIELD CONDITIONS.

- 2. EXISTING PAVEMENT AREAS TO REMAIN UNDISTURBED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION ACTIVITIES.

- 3. CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING LOCATION TO STOCKPILE ANY REUSABLE STRUCTURES, PAVEMENT BASE MATERIAL, FIXTURES, ETC.

- 4. DEMOLITION MATERIALS, FACILITIES, ETC., AS DEPICTED AND/OR NOTED BY THESE DRAWINGS, SHALL BE REMOVED FROM PROPERTY SHALL BE LEGALLY DISPOSED IN CONFORMANCE WITH APPLICABLE REGULATIONS.

PAVING AND GRADING NOTES

- 1. TEMPORARY CONSTRUCTION DEWATERING MAY BE NECESSARY, PARTICULARLY IF CONSTRUCTION PROCEEDS DURING THE WET SEASON. TEMPORARY CONSTRUCTION DEWATERING SHOULD BE ABLE TO MAINTAIN THE WATER LEVEL AT LEAST 2 FEET BELOW ALL COMPACTION SURFACES. STARTING TEMPORARY CONSTRUCTION DEWATERING PRIOR TO CLEARING AND GRUBBING MAY TEND TO LESSEN OFF-HAUL WEIGHTS AND COSTS. ALTHOUGH WELL POINT SYSTEMS ARE COMMONLY USED FOR RELATIVELY CLEAN SANDS, SUCH AS IDENTIFIED AT THIS SITE, HORIZONTAL DEWATERING MAY BE MORE EFFECTIVE FOR LARGER AREAS. THE SELECTION AND DESIGN OF A TEMPORARY CONSTRUCTION DEWATERING SYSTEM SHOULD BE PERFORMED BY A CONTRACTOR EXPERIENCED IN CONSTRUCTION DEWATERING.

- 2. PRIOR TO PLACING FILL, EXISTING VEGETATION AND ROOT MAT SHOULD BE REMOVED. COMPLETE STRIPPING OF THE TOP SOIL SHOULD BE PERFORMED IN ANY OF THE PROPOSED BUILDING AND PARKING/DRIVEWAY AREAS.

- 3. THE SUBGRADE SHOULD BE PROOF-ROLLED. PROOF-ROLLING CAN BE PERFORMED WITH APPROPRIATE HEAVY EQUIPMENT TO OBTAIN A MINIMUM COMPACTION AS SPECIFIED. THE PROOF-ROLLING SHOULD BE PERFORMED UNDER THE DIRECTION OF A LICENSED GEOTECHNICAL ENGINEER. EXCESSIVELY WET OR DRY MATERIAL SHOULD EITHER BE REMOVED OR MOISTURE CONDITIONED AND RECOMPACTED. UNSTABLE SOIL (PUMPING) SHOULD BE REMOVED OR MOISTURE CONDITIONED AND COMPACTED IN PLACE PRIOR TO PLACING FILL.

- 4. ANY WATER THAT COLLECTS OVER, OR ADJACENT TO, CONSTRUCTION AREAS SHOULD BE PROMPTLY REMOVED. IF THE SUBGRADE DESICCATES, SATURATES, OR IS DISTURBED, THE AFFECTED MATERIAL SHOULD BE REMOVED, OR THESE MATERIALS SHOULD BE SACRIFICED, MOISTURE CONDITIONED, AND RECOMPACTED, PRIOR TO FLOOR SLAB AND PAVEMENT CONSTRUCTION. ALL THESE PROCESSES SHOULD BE OBSERVED BY A LICENSED GEOTECHNICAL ENGINEER.

- 5. AS A MINIMUM, ALL TEMPORARY EXCAVATIONS SHOULD BE SLOPED OR BRACED AS REQUIRED BY THE OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) REGULATIONS TO PROVIDE STABILITY AND SAFE WORKING CONDITIONS. ALL EXCAVATIONS SHOULD COMPLY WITH LOCAL, STATE AND FEDERAL REGULATIONS, INCLUDING THE CURRENT OSHA EXCAVATION AND TRENCH SAFETY STANDARDS.

- 6. THE EARTHWORK EFFORTS SHOULD BE MONITORED UNDER THE DIRECTION OF A LICENSED GEOTECHNICAL ENGINEER. THIS MONITORING SHOULD INCLUDE DOCUMENTATION OF ADEQUATE REMOVAL OF VEGETATION AND TOP SOIL, PROOF-ROLLING AND MITIGATION OF AREAS DELINEATED BY THE PROOF-ROLL TO REQUIRE MITIGATION.

- 7. EACH LIFT OF COMPACTED FILL SHOULD BE TESTED, EVALUATED, AND REWORKED AS NECESSARY UNTIL APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF ADDITIONAL LIFTS. EACH LIFT OF FILL SHOULD BE TESTED FOR DENSITY AND WATER CONTENT AT A FREQUENCY OF AT LEAST ONE TEST FOR EVERY 2,500 SQUARE FEET OF COMPACTED FILL IN THE BUILDING AREAS AND 5,000 SQUARE FEET IN PAVEMENT AREAS. ONE DENSITY AND WATER CONTENT TEST FOR EVERY 50 LINEAR FEET OF COMPACTED UTILITY TRENCH BACKFILL.

- 8. MOISTURE CONTENT AND DENSITY OF THE TOP 12 INCHES OF THE SUBGRADE BE EVALUATED AND THE PAVEMENT SUBGRADES BE PROOF-ROLLED AND TESTED WITHIN TWO DAYS PRIOR TO COMMENCEMENT OF ACTUAL PAVING OPERATIONS. COMPACTION TESTS SHOULD BE PERFORMED AT A FREQUENCY OF 1 TEST PER 10,000 SQUARE FEET OR FRACTION THEREOF. AREAS NOT IN COMPLIANCE WITH THE REQUIRED RANGES OF MOISTURE OR DENSITY SHOULD BE MOISTURE CONDITIONED AND RECOMPACTED. PARTICULAR ATTENTION SHOULD BE PAID TO HIGH TRAFFIC AREAS THAT WERE RUTTED AND DISTURBED EARLIER AND TO AREAS WHERE BACKFILLED TRENCHES ARE LOCATED. AREAS WHERE UNSUITABLE CONDITIONS ARE FOUND SHOULD BE REPAIRED BY REMOVING AND REPLACING THE MATERIALS WITH PROPERLY COMPACTED FILLS.

- 9. IF A SIGNIFICANT PRECIPITATION EVENT OCCURS AFTER THE EVALUATION OR IF THE SURFACE BECOMES DISTURBED, THE SUBGRADE SHOULD BE REVIEWED BY QUALIFIED PERSONNEL IMMEDIATELY PRIOR TO PAVING. THE SUBGRADE SHOULD BE IN ITS FINISHED FORM AT THE TIME OF THE FINAL REVIEW.

- 10. TO VERIFY THICKNESSES, AFTER PLACEMENT AND COMPACTION OF THE PAVEMENT COURSES, CORE THE WEARING SURFACE TO EVALUATE MATERIAL THICKNESS AND COMPOSITION AT A MINIMUM FREQUENCY OF 5,000 SQUARE FEET OR TWO LOCATIONS PER DAY'S PRODUCTION.

- 11. ALL CURBING SHOULD BE FULL DEPTH. USE OF EXTRUDED CURB SECTIONS WHICH LIE ON TOP OF ASPHALT SURFACE COURSES CAN ALLOW MIGRATION OF WATER BETWEEN THE SURFACE AND BASE COURSES, LEADING TO RIPPLING AND PAVEMENT DETERIORATION.

- 12. AN ADEQUATE NUMBER OF LONGITUDINAL AND TRANSVERSE CONTROL JOINTS SHOULD BE PLACED IN THE RIGID PAVEMENT IN ACCORDANCE WITH ACI AND/OR AASHTO REQUIREMENTS. EXPANSION (ISOLATION) JOINTS MUST BE FULL DEPTH AND SHOULD ONLY BE USED TO ISOLATE FIXED OBJECTS ABUTTING OR WITHIN THE PAVED AREA.



KPM Franklin

ENGINEERS - PLANNERS - SURVEYORS

Table with 12 columns and 12 rows, likely a schedule or index table.

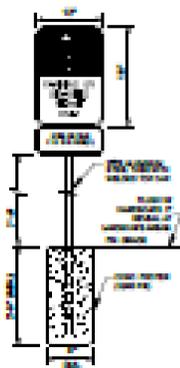
Table with 12 columns and 12 rows, likely a schedule or index table.

GENERAL NOTES
UCP WINTER GARDEN

CAUTION
IF THIS SCALE BAR DOES NOT MEASURE 1" THE DOCUMENT IS NOT TO SCALE

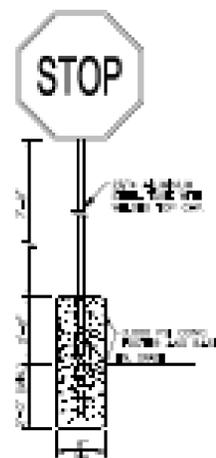


C001



1 HANDICAP PARKING SIGN

SCALE: 1/8" = 1'-0"

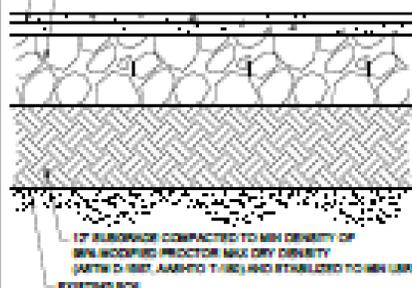


2 STOP SIGN

SCALE: 1/8" = 1'-0"

1" OF TYPE SP-8 ASPHALT
PRIME AND SAND PER FOOT SPECIFICATIONS

IF LIME ROCK BASE COMPACTED TO MIN DENSITY OF 95% MODIFIED PROCTOR MAX DRY DENSITY (ASTM D-1557, AASHTO T-193) AND STABILIZED TO LSR 100. REFER TO GEOTECHNICAL REPORT FOR ALTERNATE

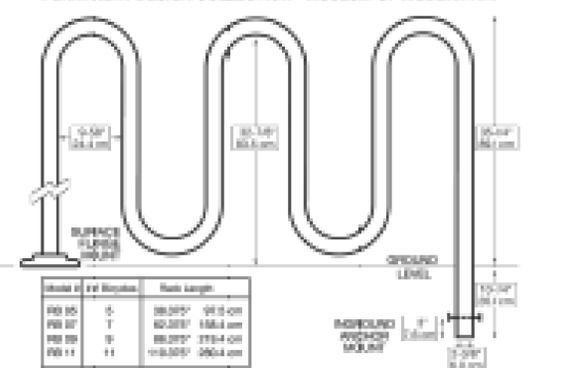


3 STANDARD ASPHALT

SCALE: 1/8" = 1'-0"

1" OF SUBGRADE COMPACTED TO MIN DENSITY OF 95% MODIFIED PROCTOR MAX DRY DENSITY (ASTM D-1557, AASHTO T-193) AND STABILIZED TO LSR 100 EXCEPT FOR SOIL

The Original Ribbon® Rack—IDSA National Design Award Winner



Specifications
All standard units made from ASTM A36/A594 SCHEDULE 40 steel pipe (1.315" O.D. x 1.315 wall, hydraulically bent with a mandrel, hot dipped galvanized after fabrication).
The RIBBON® RACK is available in ASTM A513 SCHEDULE 40 1" O.D. stainless steel, 304 or 316—optional and extra.

Installation Methods
In-ground Anchor Mount—standard
Surface Flange Mount—optional and extra

General Information
RIBBON and the Ribbon International, Inc. logo are trademarks of Ribbon International, Inc., used exclusively by A.A.A. RIBBON RACK CO. Delivery time: 30 weeks or sooner from receipt of order.

Important Considerations
Solvents, painting/coating—priming or coating the rack will result in a maintenance problem, some coating will withstand the abuse of the bicycles. Powder coating cannot be maintained, as it will scratch off. A.A.A. RIBBON RACK CO. has the best solution alternative in powder. Please contact us to find out how to achieve an appropriate color with a minimum of maintenance.

Materials Steel tubing/aluminum are not suitable materials for a bicycle rack. The optimal material is 1.315" O.D. and 1.315 wall thickness. A.A.A. RIBBON RACK CO. uses heavy-duty steel pipe, hot-dipped galvanized after fabrication to provide security and durability.

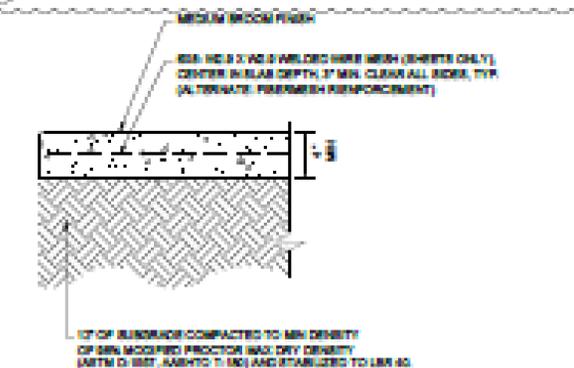
Manufacturers Hydraulic bending with a mandrel, as used by A.A.A. RIBBON RACK CO., insures smooth and accurate curves on the Ribbon® Rack. Press bending leaves an indentation; other methods fabricate outer curves and strip inner curves.

Specifying / Estimating / Ordering
Please use the following notation:
Quantity
RIBBON® (R) Model Number (# of Ribs)
1 — In-ground Anchor Mount
2 — Surface Flange Mount
3 — Stainless Steel

A.A.A. RIBBON RACK CO.
Division of
BROOKLYN INTERNATIONAL, INC.
521 Fifth Avenue, 11th Floor
New York, NY 10017-1199 USA
Phone: 800-848-0888
E-Mail: info@ribbонrack.com
Web: ribbонrack.com

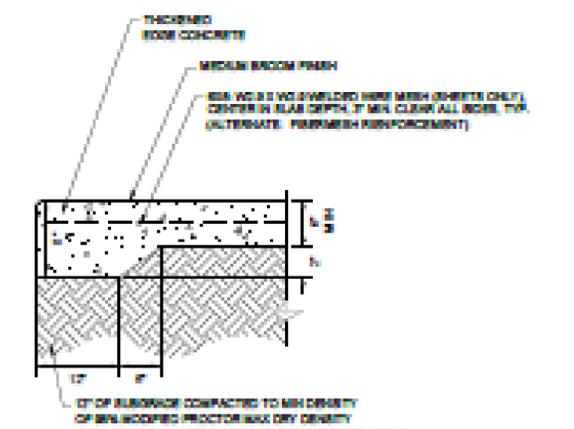
4 BIKE RACK

SCALE: 1/8" = 1'-0"



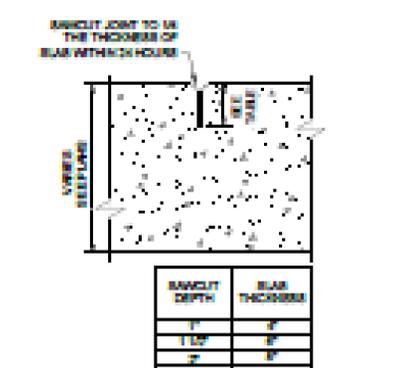
5 4" PEDESTRIAN CONCRETE

SCALE: 1/8" = 1'-0"



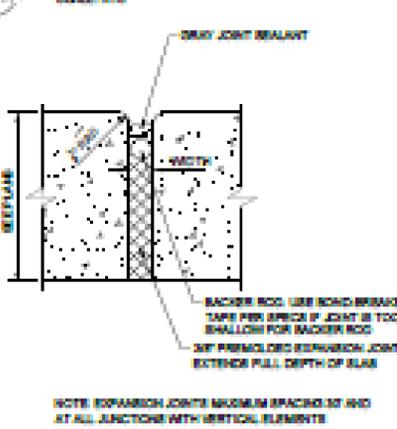
6 6" VEHICULAR CONCRETE

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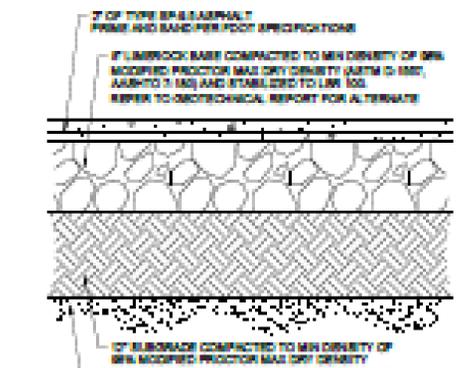
CONTROL JOINT

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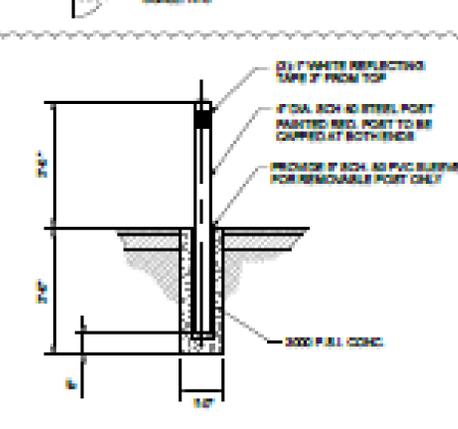
9 EXPANSION JOINT

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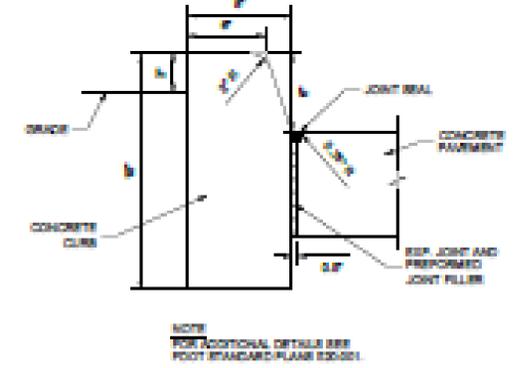
11 HEAVY DUTY ASPHALT

SCALE: 1/8" = 1'-0"



12 BOLLARD

SCALE: 1/8" = 1'-0"



7 TYPE D CURB

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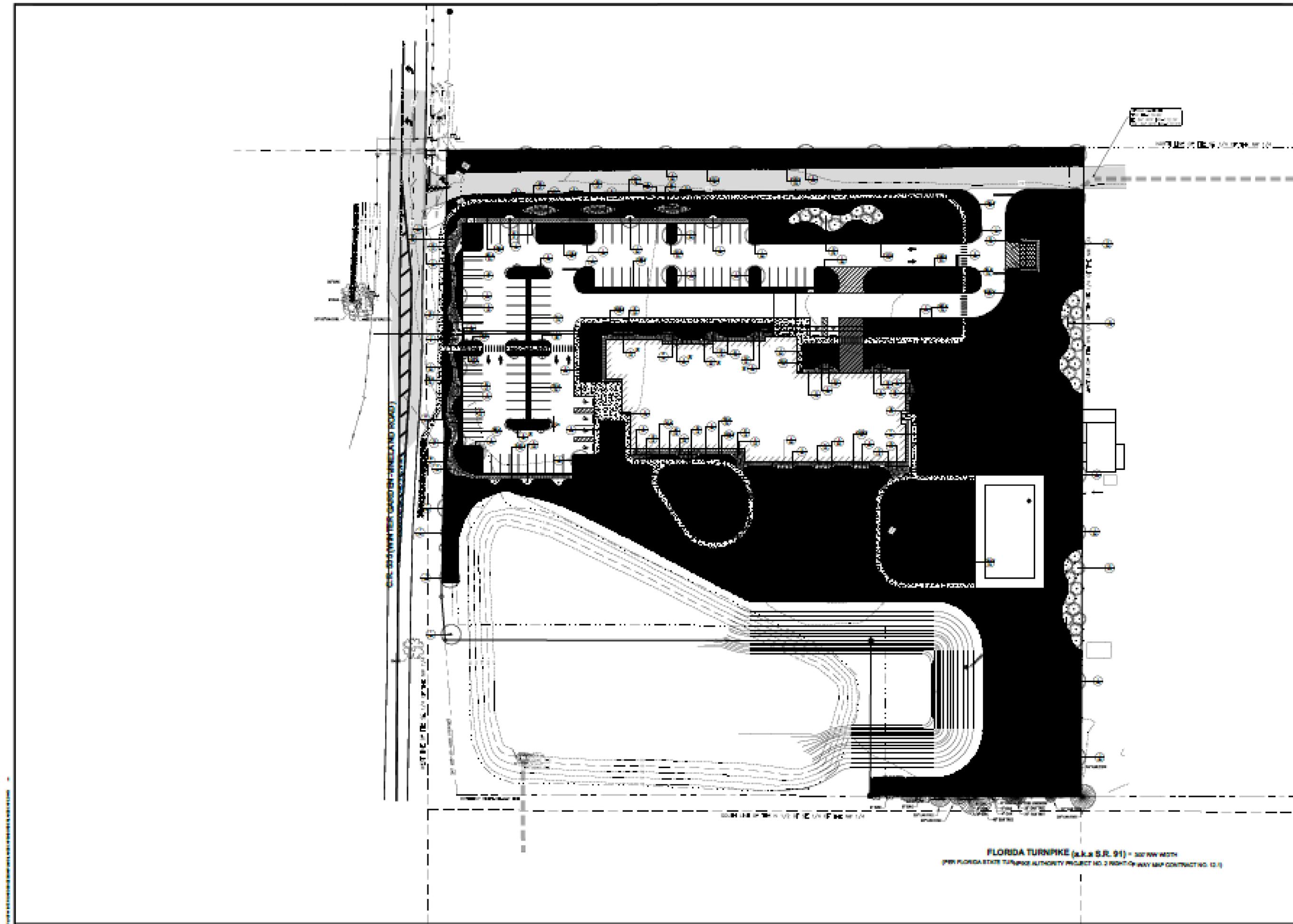


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SITE DETAILS
UCP WINTER GARDEN



C501



AC GENERAL	
SEE MANUFACTURER'S INSTRUCTIONS FOR THE FOLLOWING PRODUCTS: 1. IRRIGATION SYSTEMS 2. LIGHT FIXTURES 3. TREES AND SHRUBS	
NO.	DATE
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ALL OTHER INFORMATION SHOWN ON THIS DRAWING IS SUBJECT TO THE TERMS AND CONDITIONS OF THE CONTRACT AND THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN OF THE IRRIGATION SYSTEM ONLY. THE DESIGNER DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF ANY INFORMATION PROVIDED BY ANY OTHER PARTY.

FOR INFORMATION ONLY: THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

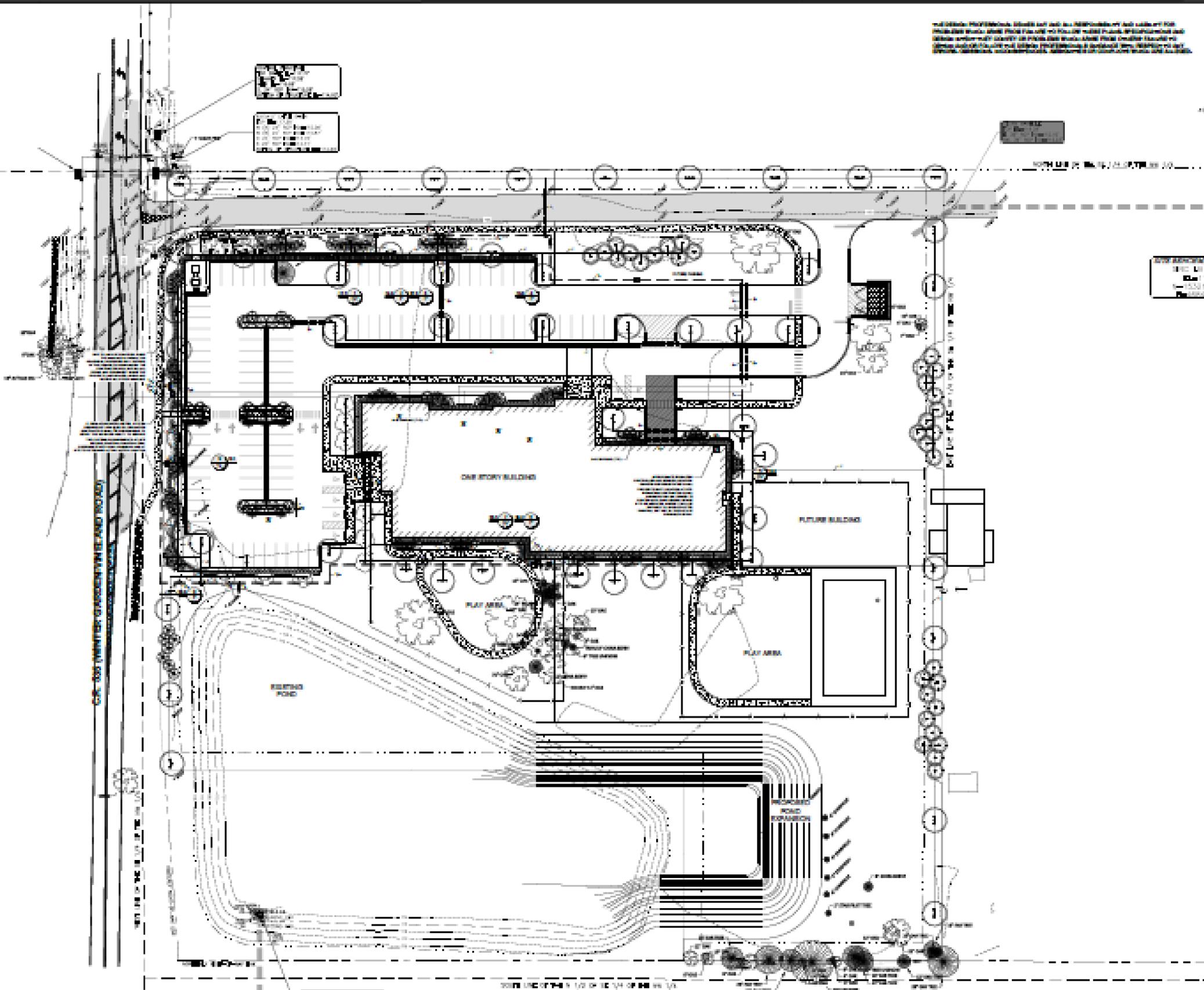
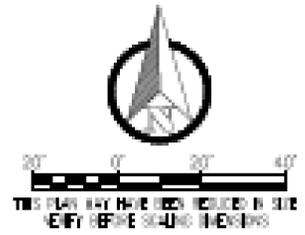
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1	10/20/14	100% BID & CONSTRUCTION

NO. 2	DATE	DESCRIPTION
2	10/20/14	100% BID & CONSTRUCTION

NO. 3	DATE	DESCRIPTION
3	10/20/14	100% BID & CONSTRUCTION

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DATE	10/20/14
DESIGNER	J. BROWN
CHECKED	J. BROWN
SCALE	R100



FLORIDA TURNPIKE (a.k.a. S.R. 91) - 300' RW WIDTH
(PER FLORIDA STATE TURNPIKE AUTHORITY PROJECT NO. 2 RIGHT OF WAY MAP CONTRACT NO. 121)

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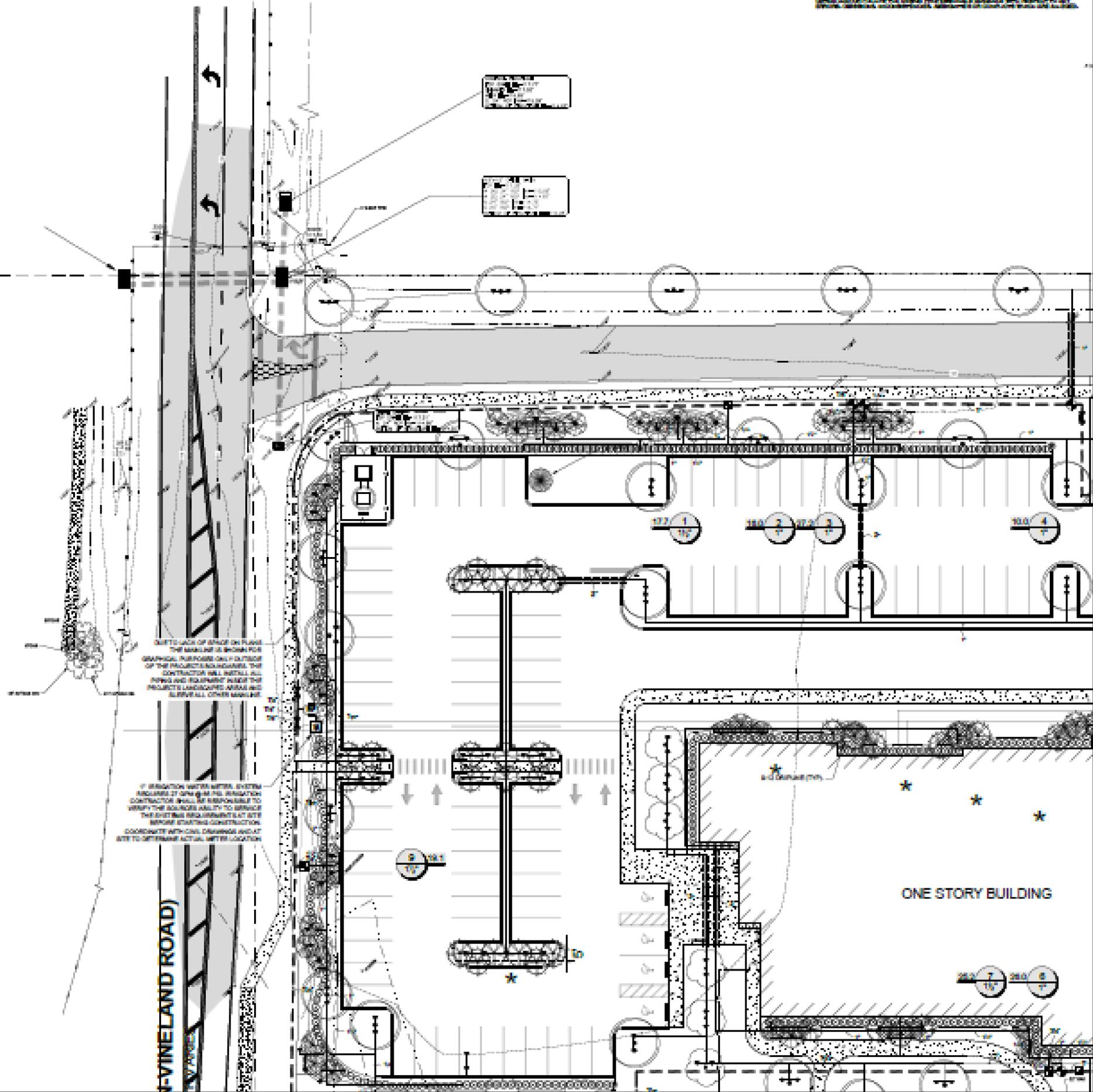
0' 20' 40'

THIS PLAN MAY HAVE BEEN REVISED IN THE FIELD. VERIFY BEFORE CONSTRUCTION.

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REVISED

SEE EXHIBIT A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ



DO NOT LOCK UP SPACE ON PLANS. THE MANAGER IS RESPONSIBLE FOR GRAPHICAL PURPOSES ONLY OUTSIDE OF THE PROJECT'S BOUNDARIES. THE CONTRACTOR SHALL INSTALL ALL PIPES AND EQUIPMENT INSIDE THE PROJECT'S LANDSCAPED AREAS AND SURVEILLOR COVER MANHOLE.

IF IRRIGATION SYSTEMS ARE NOT INSTALLED, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE SOURCE'S ABILITY TO SERVICE THE SYSTEM'S REQUIREMENTS AT SITE BEFORE STARTING CONSTRUCTION. COORDINATE WITH CIVIL DRAWINGS AND SITE TO DETERMINE ACTUAL WATER LOCATION.

WINELAND ROAD

ONE STORY BUILDING

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IRRIGATION PLAN
UCP WINTER GARDEN

CAUTION
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R101

IRRIGATION_SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	REV
	Number AFS Adjustable Flow Submitter, 1/2" FPT, stainless steel cover adjustment.	210	00
	Rain Bird 1000-100 LCR High Flow Control Zone IOL for Large Commercial City Zones, 1.107 PPM Older Valve with single 1.107 Pressure Regulating (100psi) Quick Check Relief Valve. Flow range: 15-60gpm.	3	
	Rain Bird 1000CAP Dryline Push Valve cap in compression fitting style.	3	
	Area in Dripline Dryline Rain Bird 1000-100 LCR 1.107 On Surface Pressure Compensating Landscape Dryline, 0.8 GPM and/or at 12" O.C. Dryline laterals spaced at 12" apart, with endline used for rectangular pattern. UV Resistant. Spacing of Inset Mils.	3,000.11	
	Rain Bird PEB 1", 1.107", 2" Peak In-Header Valve, Low Flow Operating Capacity, Older Configuration.	8	
	Rain Bird 1000-C 3/4" Brass Quick-Coupling Valve, with Common Resistor Stainless Steel Spring, Locking Thermoplastic Rubber Cover, Double Track Key Lug, and 2 Piece Body.	4	
	Brass Flange Tee Brass Flange Tee End Union, 1/2" to 1", Two Piece Body, Blow Out Proof Stem, Chrome Plated End Brass Nut, Threaded, with PTFE Seals. Same dimensions as flange pipe.	3	
	Valve 1/2" 1.107 Backflow reduced pressure zone - installation by a Licensed Florida Plumbing Contractor in accordance with Manufacturer's recommendations and all related state and local codes.	1	
	Rain Bird PC-400 with (2) PCM-200 Light Commercial & Residential Controller, 10 station expanded module controller, (2) VAC, Outdoor model.	1	
	Hunter Rain Bird 1000 Ball, 1/2" ball valve cover with outdoor interface, connects to Hunter 10-Cone and ACC Controller, Inset as noted. Includes gate mount bracket. Wheel. Module not included.	1	
	Water Meter 1" Water meter requires 27 CFM @ 80 PSI. Irrigation contractor shall be responsible to verify the accuracy and ability to service the systems requirements of the before starting construction.	1	
	Irrigation Lateral Line: PVC Class 200 RDR 21 Only lateral irrigation pipe above 12" and above are indicated on the plan. Install 12" below final grade.	0.00111	
	Irrigation Mainline: PVC Class 200 RDR 211 Pipe sizes 2" inch or smaller shall have bell and socket joints. Pipe sizes larger than 2" inch shall have snap connections or rubber gasket joints. Install 18" below grade.	0.00111	
	Pipe Sleeve: PVC Class 200 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and two lateral couplings to easily slide through existing material. Sleeve sleeves 18 inches beyond edges of paving or construction.	280.111	



WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	NUMBER	MINIMUM	MAXIMUM
1	Rain Bird 1000-100 LCR	Area for Dryline	1.107 gpm	3	3.32	3.32
2	Rain Bird PEB	Submitter	1.70 gpm	1	1.70	1.70
3	Rain Bird 1000-100 LCR	Area for Dryline	1.107 gpm	1	1.107	1.107
4	Rain Bird PEB	Submitter	1.70 gpm	1	1.70	1.70
5	Rain Bird 1000-100 LCR	Area for Dryline	1.107 gpm	1	1.107	1.107
6	Rain Bird PEB	Submitter	1.70 gpm	1	1.70	1.70
7	Rain Bird PEB	Submitter	1.70 gpm	1	1.70	1.70
TOTAL					17.6	17.6

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	QTY	ORIG	ORIG LT	ORIG LAC	ORIG LAC	ORIG LT	ORIG	PROPORTION LOSS	ORIG LOSS	ORIG	ORIG POC	PRECIP
1	Rain Bird 1000-100 LCR	1.107"	Area for Dryline	3	17.73	1,180.11	179.0	15.8	0.74	3.32	22.74	51.30	1.40	1.40	1.40
2	Rain Bird PEB	1"	Submitter	1	12.00	24	701.3	31.8	1.70	1.70	2.31	36.30	1.70	1.70	1.70
3	Rain Bird 1000-100 LCR	1.107"	Area for Dryline	1	27.18	882.71	827.2	4.84	0.84	1.107	22.02	48.82	1.40	1.40	1.40
4	Rain Bird PEB	1"	Submitter	1	12.00	24	879.0	42	1.70	1.70	23.02	38.27	1.70	1.70	1.70
5	Rain Bird 1000-100 LCR	1.107"	Area for Dryline	1	17.00	24	814.8	44.0	0.84	1.107	21.86	35.41	1.40	1.40	1.40
6	Rain Bird PEB	1"	Submitter	1	22.00	44	888.7	3.3	2.64	1.70	28.80	43.27	1.70	1.70	1.70
7	Rain Bird 1000-100 LCR	1.107"	Area for Dryline	1	22.22	1,480.11	717.8	82.4	0.2	2.813	3.37	3	38.27	37.21	1.40
8	Rain Bird PEB	1"	Submitter	1	28.00	80	794.0	50.8	4.8	1.70	28.20	44.82	1.70	1.70	1.70
9	Rain Bird 1000-100 LCR	1.107"	Area for Dryline	1	18.10	1,370.11	324.7	0.2	1.107	0.80	3	38.80	48.82	1.40	1.40

GENERAL IRRIGATION NOTES

1. ALL MATERIALS TO HAVE A MINIMUM OF 30' OF COVER, UNLESS OTHERWISE SPECIFIED.
2. ALL LATERAL AND SUBMITTER PIPES TO HAVE A MINIMUM OF 12" OF COVER UNLESS OTHERWISE SPECIFIED.
3. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES AND ORDINANCES.
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IRRIGATION SYSTEM PERFORMANCE NOTES

1. IRRIGATION SYSTEM IS DESIGNED TO OPERATE OFF A POTENTIAL WATER HEAD PROVIDED A MINIMUM FLOW OF 10 GPM AND A MINIMUM PRESSURE OF 10 PSI.
2. CONTRACTOR MUST CONTACT THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION IF THE AVAILABLE FLOW AND PRESSURE DOES NOT MEET THE MINIMUM FLOW AND PRESSURE OF THE SYSTEM.
3. MINIMUM PRESSURE REQUIREMENTS, AS NOTED AT THE POINT OF CONNECTION:
 - A. 10 PSI AT THE BASE OF THE DRIP IRRIGATION SYSTEM.
 - B. 10 PSI AT THE BASE OF THE TREE SUBMITTER.
4. HEAD LOSS IN BASED ON BASE INFORMATION PROVIDED. HEAD LOSS WILL BE ADJUSTED TO ACCOMMODATE FIELD CONDITIONS WHILE MAINTAINING MINIMUM HEAD LOSS AND MINIMUM COVER ABOVE DRIP IRRIGATION AREAS AND SUBMITTERS.
5. 10 PSI MINIMUM NOT BE USED FOR LATERAL PIPING.

WATER RESTRICTIONS

SECTION 101. LANDSCAPE IRRIGATION SCHEDULE:

1. LANDSCAPE IRRIGATION SHALL OCCUR ONLY IN ACCORDANCE WITH THE IRRIGATION SCHEDULE.
2. RESIDENTIAL LANDSCAPE IRRIGATION AT 1000 A.M. AND 4:00 P.M. ONLY ON WEDNESDAY AND SATURDAY AND SHALL NOT OCCUR BETWEEN 10:00 A.M. AND 4:00 P.M.
3. RESIDENTIAL LANDSCAPE IRRIGATION AT 1000 A.M. AND 4:00 P.M. ONLY ON THURSDAY AND SUNDAY AND SHALL NOT OCCUR BETWEEN 10:00 A.M. AND 4:00 P.M.
4. NO MORE THAN 1 INCH OF WATER MAY BE APPLIED PER IRRIGATION ZONE ON EACH DAY THAT IRRIGATION OCCURS, AND IN NO EVENT SHALL IRRIGATION OCCUR FOR MORE THAN 1 HOUR PER IRRIGATION ZONE ON EACH DAY THAT IRRIGATION OCCURS.
5. WHEN EXTERIOR STANDARD TIME IS IN EFFECT, LANDSCAPE IRRIGATION SHALL OCCUR ONLY IN ACCORDANCE WITH THE IRRIGATION SCHEDULE.
6. RESIDENTIAL LANDSCAPE IRRIGATION AT 1000 A.M. AND 4:00 P.M. ONLY ON SUNDAY AND SHALL NOT OCCUR BETWEEN 10:00 A.M. AND 4:00 P.M.
7. RESIDENTIAL LANDSCAPE IRRIGATION AT 1000 A.M. AND 4:00 P.M. ONLY ON THURSDAY AND SUNDAY AND SHALL NOT OCCUR BETWEEN 10:00 A.M. AND 4:00 P.M.
8. NO MORE THAN 1 INCH OF WATER MAY BE APPLIED PER IRRIGATION ZONE ON EACH DAY THAT IRRIGATION OCCURS, AND IN NO EVENT SHALL IRRIGATION OCCUR FOR MORE THAN 1 HOUR PER IRRIGATION ZONE ON EACH DAY THAT IRRIGATION OCCURS.

SECTION 102. EXCEPTIONS TO THE LANDSCAPE IRRIGATION SCHEDULE:

LANDSCAPE IRRIGATION SHALL BE SUBJECT TO THE FOLLOWING IRRIGATION SCHEDULE EXCEPTIONS:

1. IRRIGATION USING A MICRO-SPRAY, MICRO-PIST, DRIP OR SUBSURFACE IRRIGATION SYSTEM IS ALLOWED ANYTIME.
2. IRRIGATION OF NEW LANDSCAPE IS ALLOWED AT ANY TIME OF DAY ON ANY DAY FOR THE INITIAL 30 DAYS AND EVERY OTHER DAY FOR THE NEXT 90 DAYS FOR A TOTAL OF ONE (1) 90-DAY PERIOD, PROVIDED THAT THE IRRIGATION IS LIMITED TO THE MINIMUM AMOUNT NECESSARY FOR SUCH LANDSCAPE ESTABLISHMENT.
3. WATERING IN OF CHEMICALS, INCLUDING INSECTICIDES, FUNGICIDES, FERTILIZERS, FUNGICIDES, AND HERBICIDES, WHEN REQUIRED BY LAW, THE MANUFACTURER, OR BEST MANAGEMENT PRACTICE, IS ALLOWED AT ANY TIME OF DAY ON ANY DAY WITHIN 24 HOURS OF APPLICATION, IS LIMITED TO CHEMICALS THAT DO NOT EXCEED 1 INCH OF WATER PER APPLICATION EXCEPT AS OTHERWISE REQUIRED BY LAW, THE MANUFACTURER, OR BEST MANAGEMENT PRACTICE.
4. IRRIGATION SYSTEMS MAY BE OPERATED AT ANY TIME OF DAY ON ANY DAY FOR MAINTENANCE AND REPAIR PURPOSES NOT TO EXCEED 30 MINUTES PER HOUR PER ZONE.
5. IRRIGATION USING A HAND-HELD HOSE EQUIPPED WITH AN AUTOMATIC SHUT-OFF NOZZLE IS ALLOWED AT ANY TIME OF DAY ON ANY DAY.
6. DISCHARGE OF WATER FROM A WATER TO AIR AIR-CONDITIONING UNIT OR OTHER WATER-DEPENDENT COOLING SYSTEM IS NOT LIMITED.
7. THE USE OF RECYCLED WATER FROM WET DETENTION TREATMENT PONDS FOR IRRIGATION IS ALLOWED UNLESS PROHIBITED BY THE POLICE AND NOT SUPPLEMENTED FROM ANY GROUND OR OFF-SITE SURFACE WATER, OR PUBLIC SUPPLY SOURCE.

SLEEVING NOTES

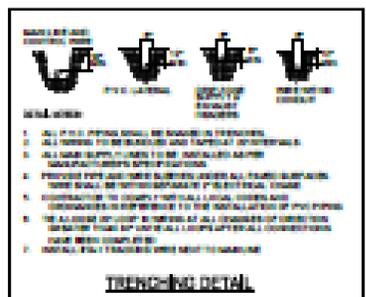
1. THE LOCATION OF SLEEVES AS SHOWN ON THE PLAN ARE APPROXIMATE. THE CONTRACTOR SHALL MAKE ANY ADJUSTMENTS NECESSARY TO ACCOMMODATE EXISTING UTILITIES, STRUCTURES, OR OTHER MAJOR OBSTRUCTIONS.
2. ANY SLEEVES TO BE INSTALLED UNDER EXISTING PAVEMENT OR OTHER EXISTING SURFACES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACTOR.
3. THERE IS A 12" MINIMUM COVER REQUIREMENT FOR ALL SLEEVES UNLESS OTHERWISE SPECIFIED.
4. ALL SLEEVES SHALL BE INSTALLED AT A MINIMUM OF AT LEAST 18" BELOW FINISHED GRADE, AND IN NO EVENT SHALL SLEEVES BE INSTALLED DEEPER THAN 36" BELOW FINISHED GRADE.
5. SLEEVES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACTOR.
6. ALL SLEEVES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACTOR.
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19. ALL SLEEVES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACTOR.
20. ALL SLEEVES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACTOR.

TREE IRRIGATION AFTER PLANTING DURING ESTABLISHMENT

AGE OF TREE (YEARS)	IRRIGATION SCHEDULE FOR FREQUENCY
1-2	ONLY FOR TWO WEEKS, EVERY OTHER DAY FOR TWO MONTHS, TWICE PER WEEK.
3-4	ONLY FOR ONE MONTH, EVERY OTHER DAY FOR THREE MONTHS, TWICE PER WEEK.
5-6	ONLY FOR ONE MONTH, EVERY OTHER DAY FOR FOUR MONTHS, TWICE PER WEEK.

1. AT EACH IRRIGATION, APPLY 10% TO 20% MORE WATER PER FOOT THAN CAL FOR AT THE ROOT BALL AND SURFACE. APPLY IT IN A SCHEDULED 15-MINUTE PERIOD TO THE ROOT BALL. DO NOT WATER AT THE ROOT BALL OR SURFACE OF THE IRRIGATION ZONE.

2. IRRIGATION SHALL BE STOPPED IMMEDIATELY IF THE SOIL IS SATURATED OR IF THE SOIL IS TOO MOIST.



DRIP TUBING NOTES

1. INSTALL DRIP TUBING AT GRADE AND COVER WITH BALLS. TYPICAL SPACING FOR DRIP TUBING IS 12" TO 18" ON CENTER, EXCEPT AS NOTED BY PLANTING NOTES. REFER TO LANDSCAPE PLAN AND/OR TUBING SCHEDULE FOR SPACING. TUBING SHALL BE INSTALLED AT GRADE AND COVER WITH BALLS. TYPICAL SPACING FOR DRIP TUBING IS 12" TO 18" ON CENTER, EXCEPT AS NOTED BY PLANTING NOTES. REFER TO LANDSCAPE PLAN AND/OR TUBING SCHEDULE FOR SPACING.
2. DRIP TUBING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES AND ORDINANCES.
3. DRIP TUBING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES AND ORDINANCES.
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20. DRIP TUBING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES AND ORDINANCES.

NOTES

1. ALL WORK SHALL BE ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES AND ORDINANCES.
2. ALL WORK SHALL BE ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES AND ORDINANCES.
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20. ALL WORK SHALL BE ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES AND ORDINANCES.



AC GENERAL

100% BID & CONSTRUCT

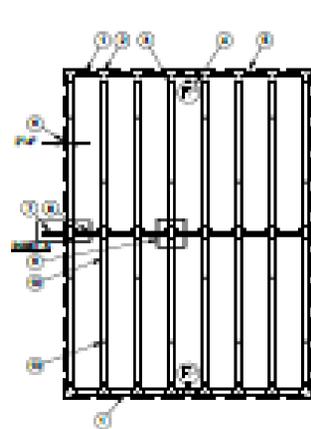
IRRIGATION DETAILS

UCP WINTER GARDEN

CAUTION

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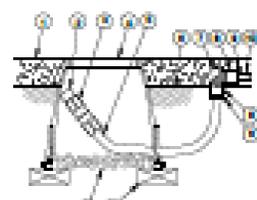
1. PVC DRINK WATER
2. PVC BOX AT TEES OR EL FITTINGS
3. BAIN BRID 1/2" (TYPICAL)
4. BAIN BRID 1/2" (TYPICAL)
5. FLUSH POINT (TYPICAL)
6. PERIMETER OF AREA
7. PERIMETER OF AREA
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10. PERIMETER OF AREA

1. PVC SUPPLY MAINFOLD
2. CONNECTION FROM SUPPLY MAINFOLD TO PERIMETER (TYPICAL) - SEE NOTE 1
3. OVERLAP SUPPLY MAINFOLD OF BAIN BRID (TYPICAL) - SEE NOTE 1
4. BAIN BRID 1/2" (TYPICAL)
5. BAIN BRID 1/2" (TYPICAL)
6. PERIMETER OF AREA
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PERIMETER OF AREA	XFD Drip Mainfold (Lateral Length) (Feet)			
	10' PERIMETER	15' PERIMETER	20' PERIMETER	25' PERIMETER
10'	10'	15'	20'	25'
15'	15'	20'	25'	30'
20'	20'	25'	30'	35'
25'	25'	30'	35'	40'
30'	30'	35'	40'	45'
35'	35'	40'	45'	50'
40'	40'	45'	50'	55'
45'	45'	50'	55'	60'
50'	50'	55'	60'	65'
55'	55'	60'	65'	70'
60'	60'	65'	70'	75'

NOTES:
1. SEE NOTE 10 FOR PERIMETER OF AREA REQUIREMENTS.
2. COVERED BY SUBSTITUTION.
3. LENGTH OF LATERAL LINES SHOULD NOT EXCEED THE MAXIMUM SPACING GIVEN IN THE SUBSTITUTION TABLE.
4. WHEN USING THIS METHOD, IT IS RECOMMENDED THAT A MINIMUM OF 10' PERIMETER OF AREA BE MAINTAINED ON EACH FITTING.

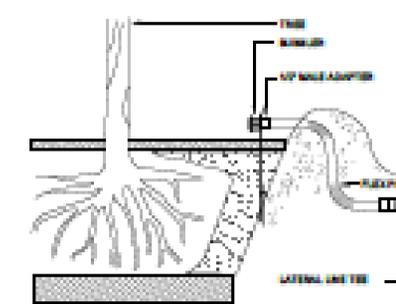
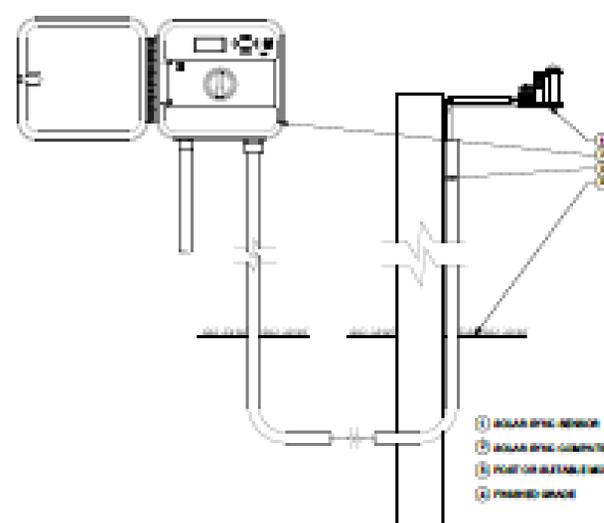
XFD ON-SURFACE DRIP LINE - CENTER FEED LAYOUT



NOTE:
1. ALLOWANCE OF 1/2" SHOULD BE MAINTAINED TO PERMIT PROPER INSTALLATION OF THE FLUSH POINT.

1. TOP OF MAIN LAYER
2. FLUSH CAP FOR 1/2" (TYPICAL) COMPRESSED FITTING
3. 1/2" (TYPICAL) COMPRESSED FITTING
4. 1/2" (TYPICAL) COMPRESSED FITTING
5. 1/2" (TYPICAL) COMPRESSED FITTING
6. 1/2" (TYPICAL) COMPRESSED FITTING
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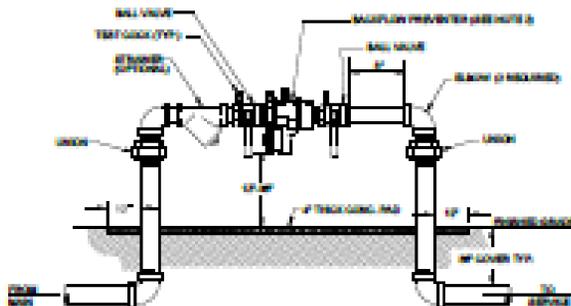
XFD ON-SURFACE DRIP LINE FLUSH POINT



TREE BUBBLER DETAIL

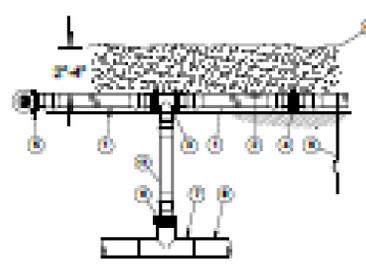
1. SOLAR SYNC SENSOR
2. SOLAR SYNC CONTROLLER
3. POINT OF INSTALLATION SURFACE
4. FINISHED GRADE

SOLAR SYNC WITH WALL MOUNT CONTROLLER



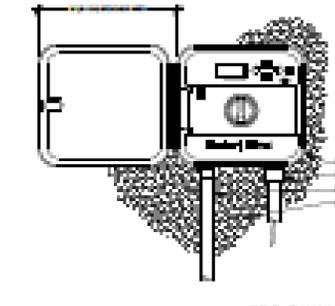
- NOTES:
1. ALL PIPE AND FITTINGS OF 1/2" AND SMALLER SHALL BE THREADED SCHEDULE 40 GALVANNEE STEEL OR BRASS.
2. ALL BACKFLOW PREVENTER DEVICES SHALL BE APPROVED BY THE CITY/STATE BACKFLOW PREVENTER TECHNICIAN. ALL REDUCED PRESSURE BACKFLOW PREVENTER SHALL BE USED APPROVED.
3. CONCRETE PAD IS REQUIRED FOR ALL INSTALLATIONS 1/2" OR LARGER.

REDUCED PRESSURE BACKFLOW PREVENTER



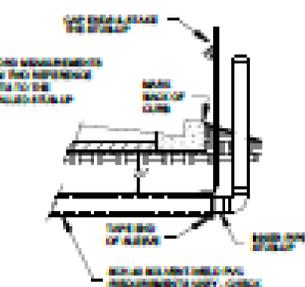
- NOTES:
1. PLACE THE DOWN COVER EVERY THREE FEET (MINIMUM) PAIR FEET IN LINE AND FIVE FEET IN CURVE.
2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION, SUCH AS TEES OR ELBOWS, USE THE DOWN COVER ON EACH END OF THE COVER OF CONNECTION.
3. MAKE YOUR OWN USE THE BAIN BRID FITTING TOOL OF BAIN BRID FOR FITTING ASSEMBLY.

XFD ON-SURFACE DRIP LINE BSNF ASSEMBLY

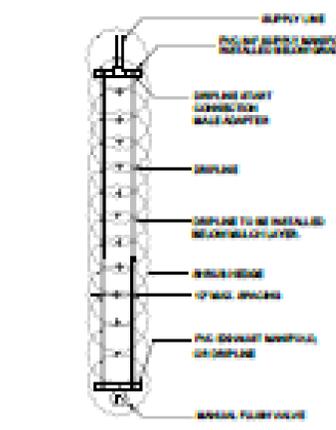


1. REMOTE CONTROL VALVE (PER PER PLAN)
2. REMOTE CONTROL VALVE IN CONTACT WITH THE PER PLAN
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4. REMOTE CONTROL VALVE IN CONTACT WITH THE PER PLAN
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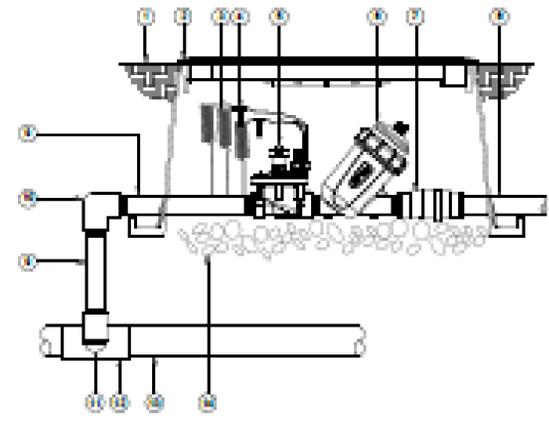
PRO-C WALL MOUNT



ROUGH-IN SLEEVE DETAIL



SHRUB DRIP LAYOUT

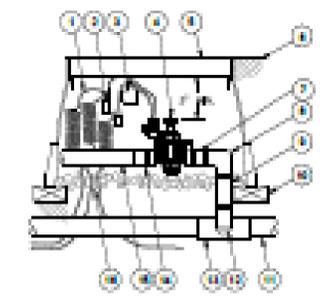


BAIN BRID X22-180-LS 1/2" COMMERCIAL CONTROL ZONE KIT IN JUMBO VALVE BOX

1. FINISH GRADE TOP OF MAINFOLD
2. APPROXIMATE 1/2" (TYPICAL) COVER BAIN BRID VALVE
3. 1/2" (TYPICAL) COVER BAIN BRID VALVE
4. WATERPROOF CONNECTION BAIN BRID OR SERIES
5. 1/2" (TYPICAL) COVER BAIN BRID VALVE
6. 1/2" (TYPICAL) COVER BAIN BRID VALVE
7. 1/2" (TYPICAL) COVER BAIN BRID VALVE
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20. 1/2" (TYPICAL) COVER BAIN BRID VALVE

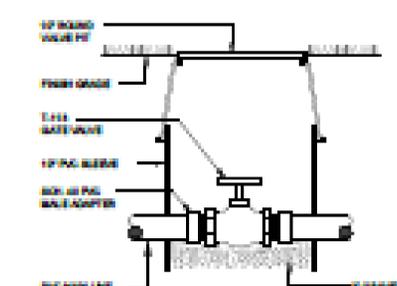


QUICK COUPLER TYPICAL DETAIL

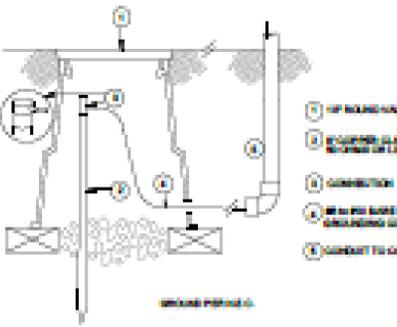


ELECTRIC REMOTE CONTROL VALVE - PER SERIES

1. 1/2" (TYPICAL) COVER BAIN BRID VALVE
2. WATERPROOF CONNECTION BAIN BRID (SERIES) (1 OF 2)
3. 1/2" (TYPICAL) COVER BAIN BRID VALVE
4. REMOTE CONTROL VALVE BAIN BRID PER
5. VALVE BOX WITH COVER BAIN BRID VALVE
6. FINISH GRADE TOP OF MAINFOLD
7. PVC BOX ASSEMBLY (COVER)
8. PVC BOX ASSEMBLY
9. PVC BOX ASSEMBLY (LENGTH AS REQUIRED)
10. BAIN BRID (1 OF 2)
11. PVC BOX ASSEMBLY
12. PVC BOX ASSEMBLY (LENGTH AS REQUIRED)
13. PVC BOX ASSEMBLY (LENGTH AS REQUIRED)
14. PVC BOX ASSEMBLY (LENGTH AS REQUIRED)
15. PVC BOX ASSEMBLY (LENGTH AS REQUIRED)
16. PVC BOX ASSEMBLY (LENGTH AS REQUIRED)
17. PVC BOX ASSEMBLY (LENGTH AS REQUIRED)
18. PVC BOX ASSEMBLY (LENGTH AS REQUIRED)
19. PVC BOX ASSEMBLY (LENGTH AS REQUIRED)
20. PVC BOX ASSEMBLY (LENGTH AS REQUIRED)



ISOLATION GATE VALVE



CONTROLLER GROUNDING

AC GENERAL

SEE REVISIONS NATIONAL, 100 N. BIRD, P.O. BOX 1008, CHICAGO, IL 60608

100 N. BIRD & CONSTRUCT

IR108

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DATE: 1/1/2010
DRAWN: J. BROWN
CHECKED: J. BROWN
DATE: 1/1/2010

Exhibit "C"

COVER PAGE

UCP WINTER GARDEN Building Elevations & Perspectives

(2 PAGES - ATTACHED)



SOUTH-WEST PERSPECTIVE



WEST PERSPECTIVE

NO.	DATE	DESCRIPTION	BY	CHKD.
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UCP WINTER GARDEN

CAUTION
 THIS SCALE BAR
 DOES NOT REPRESENT
 THE DOCUMENT IS
 NOT TO SCALE

SCHENKEL SHULTZ
 ARCHITECTURE

200 West 144th Street
 Suite 200
 Jensen, FL 33401
 Phone: 407.871.4200
 Fax: 407.871.4300
 schenkel@kpm.com

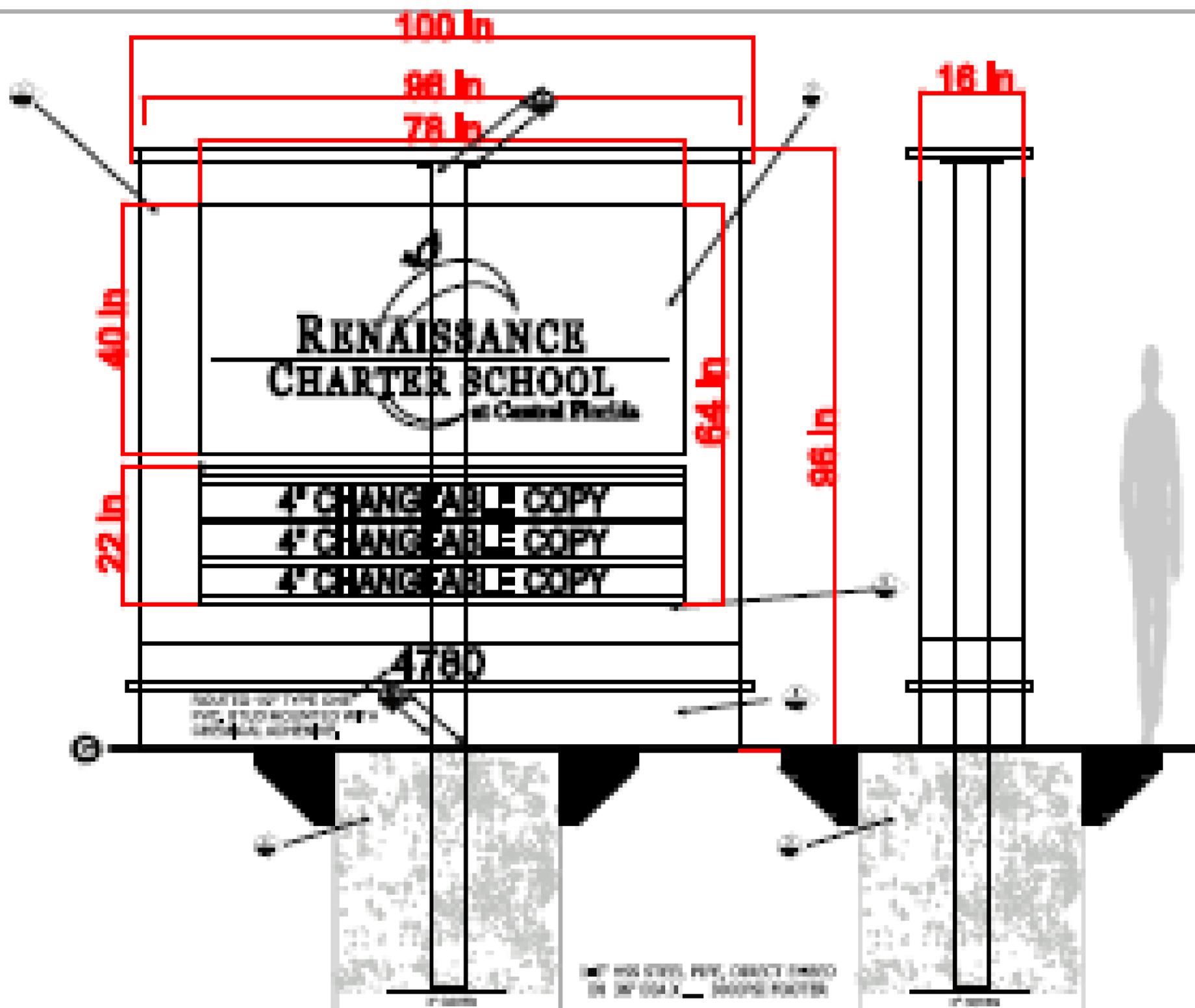
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Exhibit "D"

COVER PAGE

UCP WINTER GARDEN Monument Sign Standards

(1 PAGE - ATTACHED)



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- 1. STRUCTURE
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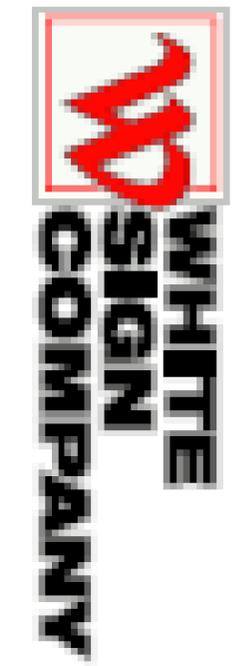


REV 3/27/2018

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THIS SIGN IS THE PROPERTY OF WHITE SIGNS COMPANY AND IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFIED HEREON. IT IS NOT TO BE REUSED OR RELOCATED WITHOUT THE WRITTEN PERMISSION OF WHITE SIGNS COMPANY.

COMPANY APPROVED SIGN APPROVED



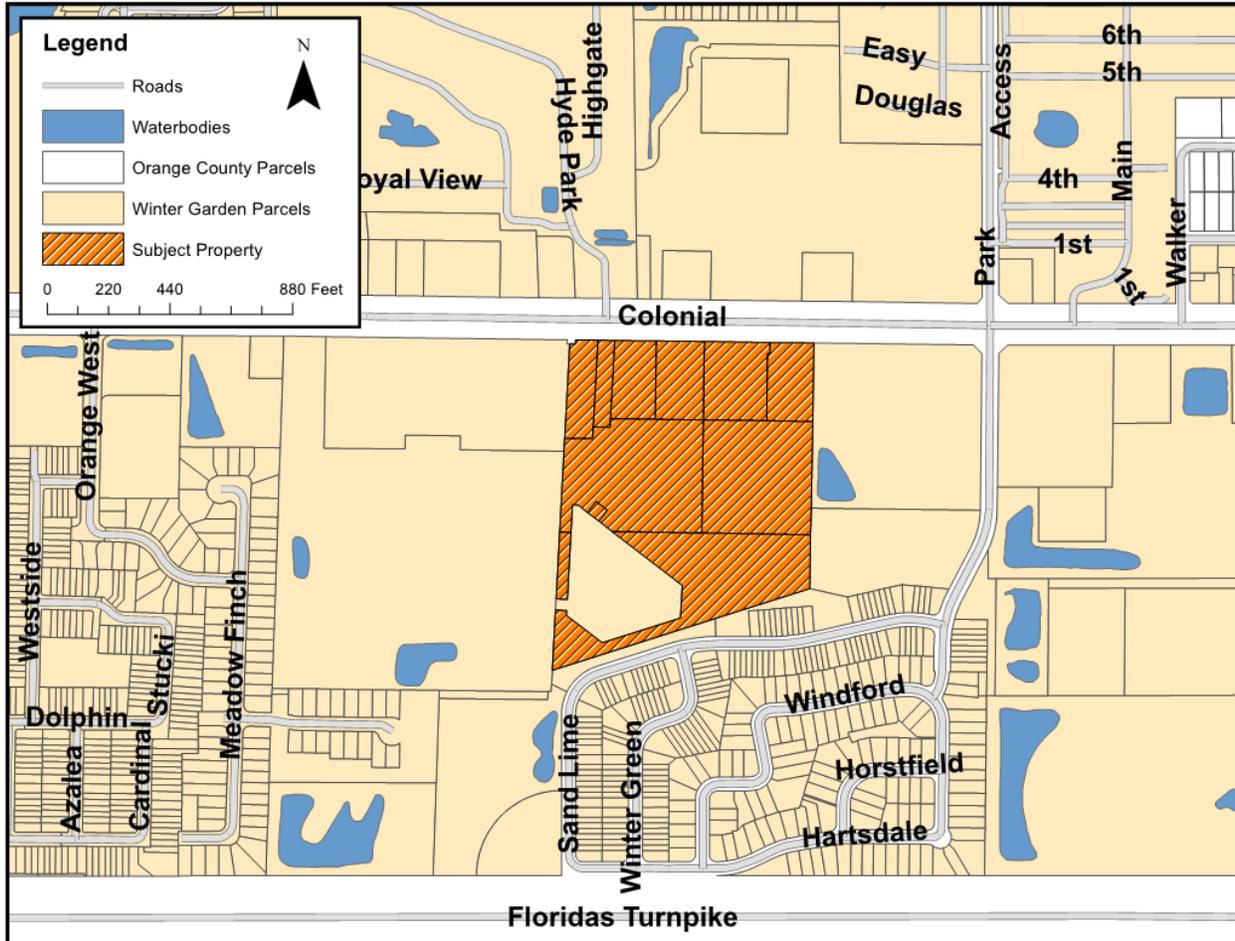
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DATE: 03/27/2018
 CUSTOMER:
 RENAISSANCE CHARTER SCHOOL
 1000 UNIVERSITY BLVD
 AUSTIN, TX 78701



LOCATION MAP

14180 thru 14234 W. Colonial Drive
PCD Amendment



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

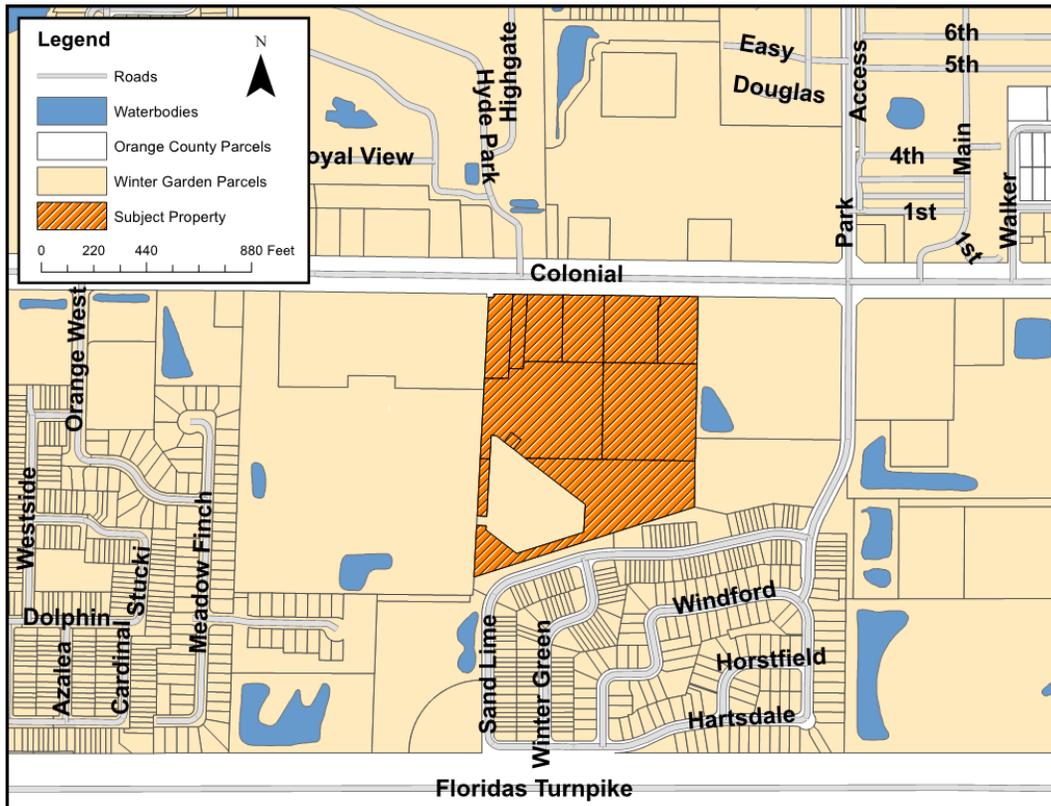
TO: PLANNING AND ZONING BOARD
PREPARED BY: Shane Friedman, Senior Planner
DATE: July 27, 2020
SUBJECT: PCD Amendment
14180 thru 14234 W. Colonial Drive (18.25 +/- ACRES)
PARCEL ID # 27-22-27-9140-00-005, 00-002, 01-000, 02-000, 03-000, 04-000, 05-000, 06-000, and 00-001

APPLICANT: Gardenia Plaza, LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed PCD amendment for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located on the south side of West State Road 50 (West Colonial Drive), west of South Park Avenue and is approximately 18.25 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to amend the West Market Planned Commercial Development (PCD). The West Market PCD was approved by Ordinance 18-09 on February 22, 2018. The PCD was amended on June 25, 2020, by Ordinance 20-23 which allowed a bank with drive-thru and an automotive service center as an approved use. However, City Commission did not approve the automotive service center. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation PCD (Planned Commercial Development) in the City of Winter Garden. The subject property is designated COM (Commercial) on the Future Land Use Map of the Comprehensive Plan.

EXISTING USE

The property has since been platted and the common infrastructure and landscaping has been installed. The only project within the PCD that is currently under construction is the Goodwill on Lot 6 in the rear of the development.

ADJACENT LAND USE AND ZONING

The properties located to the north are developed with a commercial shopping center with restaurants, a church, grocery store, bank, and retail shops, zoned C-2, and located in the City. The property located to the east is developed with an RV dealership, zoned C-2, and located in the City. The property to the west is developed with a campground, zoned C-2, and located in the City. The properties to the south are developed with a townhome and single family neighborhood, zoned R-3, and located in the City.

PROPOSED USE

The applicant is proposing to amend the PCD Ordinance in order to add an automotive service center to the list of approved uses.

SUMMARY

The applicant proposed the automotive service center as well as a bank with drive-thru in the previous PCD amendment, under Ordinance 20-23, however there was initial concern from a neighboring property owner. The City Commission made a motion to remove the automotive service center from Ordinance 20-23 while keeping the bank, but said they would allow a future amendment if the applicant could work out any issues with the neighbor.

This allowed Staff and the Applicant more time to discuss any issues with the proposed automotive service center that neighbors may have. Staff and the Applicant had meeting and did discuss the proposed use in more detail with the concerned neighbor. The outcome of that meeting allowed Staff to support the Applicant's resubmittal of the proposed PCD amendment to allow the automotive service center.

Because the use is appropriate, and the request does not change the design or character of West Market PCD, staff recommends approval of Ordinance 20-30 subject to the conditions outlined in the ordinance.

AERIAL PHOTO
West Market PCD



ORDINANCE 20-30

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING AND REPLACING ORDINANCE 20-23 GENERALLY KNOWN AS THE WEST MARKET PCD PERTAINING TO THE 18.25 +/- ACRE PROPERTY GENERALLY LOCATED SOUTH OF WEST COLONIAL DRIVE, WEST OF SOUTH PARK AVENUE, AND NORTH OF SAND LIME ROAD; AMENDING THE WEST MARKET PCD TO ALLOW AN AUTOMOTIVE SERVICE CENTER AS A PERMITTED USE, AMENDING THE DEVELOPMENT PLAN AND OTHER DEVELOPMENT RESTRICTIONS; PROVIDING FOR NON-SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on February 22, 2018 the City Commission of the City of Winter Garden approved Ordinance 18-09, which rezoned approximately 18.25 ± acres located at 14120 W. Colonial Drive generally located south of W. Colonial Drive, west of S. Park Avenue, and north of Sand Lime Road from C-2 (Arterial Commercial District) to PCD (Planned Commercial Development), therefore; and

WHEREAS, on June 25, 2020 the City Commission of the City of Winter Garden approved Ordinance 20-23, which amended and replaced Ordinance 18-09; and

WHEREAS, the owner(s) of the Property have requested to amend the approved PCD by repealing and replacing Ordinance 20-23 with this Ordinance, including the amended PCD requirements identified herein; and

WHEREAS, the permitted uses of an automotive service center are being added to the PCD (Planned Commercial Development) along with a replacement development plan attached as Exhibit "B"; and

WHEREAS, for reference, the provisions underlined in Sections 1 and 2 of this Ordinance are showing additional language added that did not exist in Ordinance 20-23; and

WHEREAS, the Planning and Zoning Board has considered this Ordinance and made a recommendation to the City Commission concerning its adoption; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the City of Winter Garden Code of Ordinances, and

WHEREAS, the City Commission finds based on competent substantial evidence in the record that the PCD amendment approved by this Ordinance meets all applicable criteria for rezoning under the Comprehensive Plan and the Code of Ordinances, therefore

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Rezoning.* The above "Whereas" clauses constitute findings by the City Commission. After due notice and public hearing, PCD Ordinance 20-23 is hereby

repealed and replaced with this Ordinance. The Property is zoned PCD (Planned Commercial Development) and development of the Property is subject to the following conditions, provisions, and restrictions:

- a) Applicability/Conflict. All development of or within the Property shall comply with and is subject to the requirements set forth in this Ordinance. Unless specifically identified in this Ordinance, all development on the Property identified in Exhibit "A" must comply with the general development standards of the C-2 (Arterial Commercial District) Zoning district and comply with the standards outlined in Chapter 118 Article IX and X regarding the West State Road 50 Overlay Commercial Development Standards. Notwithstanding anything to the contrary herein, all development of or within the Property shall comply with and is subject to all requirements in the City Code, and ordinances, resolutions, and policies of the City. To the extent of any express conflicts between the express provisions of this Ordinance pertaining to permitted uses, special exception uses, prohibited uses, floor area ratio, architectural design criteria, architectural review, and signage and the City Code and ordinances, resolutions, and policies of the City, the requirements set forth herein shall control to the extent of the conflict.
- b) Intent. This Ordinance is intended to provide flexibility in the development of the Property in order to provide for proper growth and to guide development and construction in an integrated approach in order to promote a dynamic commercial center for commerce and social activity while also providing an aesthetically pleasing and pedestrian oriented development. Due to constraints in traffic at the proposed location, permitted and special exception uses will be established to maintain a safe, well developed project that enhances and supports the City and its citizens without causing distress on the local businesses and roads.
- c) Development Plan. The Property shall be developed in substantial conformance with the Development Plan attached hereto as Exhibit "B". Should any conflict exist between this Ordinance and the Development Plan attached hereto as Exhibit "B", then the standards and conditions established by this Ordinance shall control to the extent of the conflict.
- d) Permitted Uses. The following uses and structures are permitted on the Property:
 - i. Retail
 - ii. One (1) bank with drive-thru
 - iii. Office
 - iv. Hotels
 - v. Two (2) restaurants with drive-thru facility
 - vi. Sit-down Restaurants
 - vii. Veterinary/Grooming Services without overnight boarding services
 - viii. Personal Services
 - ix. Entertainment and Recreational uses
 - x. Specialty Grocery Store
 - i. Specialty is defined as a store with a niche in health, community, and majority of goods serviced by local distribution and sustainably sourced. Store must be predominately produce and cater to the local community.
 - xi. One (1) automotive service center use with bay doors facing internally and not towards State Road 50.

- e) Special Exceptions:
 - i. Preschools and Day Care
 - ii. Public Facilities

- f) Prohibited Uses: Any use not specifically set forth in this Ordinance as a Permitted or Special Exception Use is prohibited. Without limiting the foregoing, the following are expressly prohibited:
 - i. Any use prohibited in the C-2 Zoning Districts not specifically outlined under the Permitted or Special Exception Uses.
 - ii. 24-hour businesses or businesses that extend past the hours between 2am and 5am.
 - iii. Industrial Activities
 - iv. Churches
 - v. Crematories/Funeral Homes
 - vi. Automobile, motorcycle, recreational vehicle or boat sales, rental, storage, painting, service or repair or any combination thereof, except as permitted in Section 1(d)(xi) Permitted Uses.
 - vii. Outdoor Displays, Sale and/or Storage not specifically outlined under Permitted or Special Exceptions Uses.
 - viii. Billboard
 - ix. Adult entertainment
 - x. Adult or pornographic book, magazine, video and novelty stores or sales.
 - xi. Pawn shop
 - xii. Tattoo or body art establishments

SECTION 2: Staff Conditions

- a. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
- b. All work shall conform to City of Winter Garden standards and specifications.
- c. Fencing, if proposed, shall meet all City requirements for height, type, etc. Chain link fencing shall be vinyl coated per Code. All construction shall conform to City of Winter Garden Standards, Specifications and Ordinances.
- d. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
- e. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
- f. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the

City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

- g. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit (minimum site inspection fee is \$500.00).

SECTION 3: *General Requirements*

- a. **Land Development Approvals and Permits** – This Ordinance does not require the City to issue any permits or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- b. **Amendments**- Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- c. **Expiration/Extension** – Expiration of this PCD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.
- d. **Violation** - A violation of this Ordinance is considered a violation of the City of Winter Garden Code of Ordinances and of zoning of the Property.

SECTION 4: *Zoning Map.* The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this Ordinance.

SECTION 5: *Non-Severability.* Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 6: *Repeal and Replace.* This Ordinance repeals and replaces Ordinance 20-23.

SECTION 7: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

Exhibit "A"

LEGAL DESCRIPTION

PARCEL ID's#: 27-22-27-9140-00-005, 27-22-27-9140-00-002, 27-22-27-9140-01-000, 27-22-27-9140-02-000, 27-22-27-9140-03-000, 27-22-27-9140-04-000, 27-22-27-9140-05-000, 27-22-27-9140-06-000, and 27-22-27-9140-00-001

DESCRIPTION:

PARCEL 1:

A PORTION OF THE NORTHEAST ¼ OF SECTION 27, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 27, THENCE NORTH 89 DEGREES 21' 38" WEST ALONG THE NORTH LINE OF THE NORTHEAST ¼ OF SAID SECTION 27, A DISTANCE OF 635.74 FEET; THENCE DEPARTING SAID NORTH LINE, SOUTH 00 DEGREES 49' 03" WEST A DISTANCE OF 75.00 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF STATE ROAD 50, THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE SOUTH 00 DEGREES 49'03" WEST A DISTANCE OF 881.73 FEET TO A POINT OF THE NORTHERLY BOUNDARY OF VILLAGE GROVE PHASE ONE, ACCORDING TO THE PLANT RECORDED IN PLAT BOOK 12, PAGE 113, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE ALONG SAID NORTHERLY BOUNDARY AND NORTHERLY LINE OF VILLAGE GROVE PHASE TWO, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 14, PAGES 15 AND 16, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; A DISTANCE OF 964.46 FEET; THENCE NORTH 02 DEGREES 41'16" EAST A DISTANCE OF 1187.41 FEET TO THE SOUTHERLY RIGHT OF WAY OF STATE ROAD 50; THENCE SOUTH 89 DEGREES 21' 38" EAST ALONG SAID SOUTHERLY RIGHT OF WAY A DISTANCE OF 875.28 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY VIRTUE OF WARRANTY DEED RECORDED AUGUST 8, 2006 IN OFFICIAL RECORDS BOOK 8794, PAGE 4314, DESCRIBED AS FOLLOWS:

COMMENCE AT A 6-INCH CONCRETE MONUMENT WITHOUT IDENTIFICATION AS SHOWN ON FLORIDA DEPARTMENT OF NATURAL RESOURCES CERTIFIED CORNER RECORD DOCUMENT NO.070974 MARKING THE SOUTHEAST CORNER OF THE NORTHEAST ¼ OF SECTION 27, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN NORTH 00 DEGREES 33'36" EAST ALONG THE EAST LINE OF SAID NORTHEAST ¼ OF SECTION 27 A DISTANCE OF 2666.28 FEET TO THE NORTHEAST CORNER OF SAID NORTHEAST ¼ OF SECTION 27; THENCE DEPARTING SAID EAST LINE OF THE NORTHEAST ¼ OF SECTION 27, RUN NORTH 00 DEGREES 07' 46" WEST ALONG THE EAST LINE OF THE SOUTHEAST ¼ OF SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA A DISTANCE OF 1.71 FEET TO A

POINT ON THE CENTERLINE OF SURVEY OF STATE ROAD 50 AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP SECTION 75050, FINANCIAL PROJECT NO. 410983 1, SAID POINT ALSO BEING A POINT ON A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 68,754.94 FEET AND A CHORD BEARING OF NORTH 89 DEGREES 25' 27" WEST; THENCE FROM A TANGENT BEARING OF NORTH 89 DEGREES 37' 36" WEST, RUN WESTERLY ALONG SAID CENTERLINE OF SURVEY AND ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 00 DEGREES 24' 16" A DISTANCE OF 485.45 FEET TO THE POINT OF TANGENCY, SAID POINT ALSO BEING A POINT ON THE NORTH LINE OF THE AFORESAID NORTHEAST ¼ OF SECTION 27; THENCE RUN NORTH 89 DEGREES 13' 19" WEST ALONG SAID CENTERLINE OF SURVEY AND ALONG SAID NORTH LINE A DISTANCE OF 780.34 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST ¼ OF SAID NORTHEAST ¼ OF SECTION 27; THENCE DEPARTING SAID CENTERLINE OF SURVEY AND SAID NORTH LINE, RUN SOUTH 01 DEGREES 14' 52" WEST ALONG SAID EAST LINE A DISTANCE OF 75.00 FEET TO A POINT ON THE EXISTING SOUTH RIGHT OF WAY LINE OF AFORESAID STATE ROAD 50 AS SHOWN ON THE AFORESAID RIGHT OF WAY MAP; THENCE DEPARTING SAID EAST LINE, RUN NORTH 89 DEGREES 13' 19" WEST ALONG SAID EXISTING SOUTH RIGHT OF WAY LINE OF STATE ROAD 50 A DISTANCE OF 242.47 FEET; THENCE DEPARTING SAID SOUTH RIGHT OF WAY LINE OF STATE ROAD 50, RUN SOUTH 03 DEGREES 07' 51" WEST A DISTANCE OF 930.83 FEET FOR A POINT OF BEGINNING; THENCE RUN SOUTH 86 DEGREES 52' 09" EAST A DISTANCE OF 40.00 FEET; THENCE RUN NORTH 03 DEGREES 07' 51" EAST A DISTANCE OF 340.68 FEET; THENCE RUN SOUTH 86 DEGREES 52' 09" EAST A DISTANCE OF 20.00 FEET; THENCE RUN SOUTH 52 DEGREES 12' 58" EAST A DISTANCE OF 472.98 FEET; THENCE RUN SOUTH 03 DEGREES 07' 51" WEST A DISTANCE OF 116.01 FEET; THENCE RUN SOUTH 72 DEGREES 25' 21" WEST A DISTANCE OF 295.12 FEET; THENCE RUN NORTH 52 DEGREES 29' 11" WEST A DISTANCE OF 161.19 FEET; THENCE RUN NORTH 03 DEGREES 07' 51" EAST A DISTANCE OF 17.59 FEET; THENCE RUN NORTH 86 DEGREES 52' 09" WEST A DISTANCE OF 40.00 FEET; THENCE RUN NORTH 03 DEGREES 07' 51" EAST A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY VIRTUE OF WARRANTY DEED RECORDED AUGUST 8, 2006 IN OFFICIAL RECORDS BOOK 8794, PAGE 4374, DESCRIBED AS FOLLOWS:

COMMENCE AT A 6-INCH CONCRETE MONUMENT WITHOUT IDENTIFICATION AS SHOWN ON FLORIDA DEPARTMENT OF NATURAL RESOURCES CERTIFIED CORNER RECORD DOCUMENT NO. 070974 MARKING THE SOUTHEAST CORNER OF THE NORTHEAST ¼ OF SECTION 27, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN NORTH 00 DEGREES 33' 36" EAST ALONG THE EAST LINE OF SAID NORTHEAST ¼ OF SECTION 27 A DISTANCE OF 2666.28 FEET TO THE NORTHEAST CORNER OF SAID NORTHEAST ¼ OF SECTION 27; THENCE DEPARTING SAID EAST LINE OF THE NORTHEAST ¼ OF SECTION 27, RUN NORTH 00 DEGREES 07' 46" WEST ALONG THE EAST LINE OF THE SOUTHEAST ¼ OF SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27, EAST, ORANGE COUNTY, FLORIDA A DISTANCE OF 1.71 FEET TO A POINT ON THE CENTERLINE OF SURVEY OF STATE ROAD 50 AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION ON RIGHT OF WAY MAP SECTION 75050, FINANCIAL PROJECT NO. 410983 1, SAID POINT ALSO BEING A POINT ON A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 68,754.94 FEET AND A CHORD BEARING OF NORTH 89 DEGREES 25' 27" WEST; THENCE FROM A TANGENT BEARING OF NORTH 89 DEGREES 37' 36" WEST, RUN WESTERLY ALONG SAID CENTERLINE OF SURVEY AND ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 00 DEGREES 24' 16" A

DISTANCE OF 485.45 FEET TO THE POINT OF TANGENCY, SAID POINT ALSO BEING A POINT ON THE NORTH LINE OF THE AFORESAID NORTHEAST ¼ OF SECTION 27; THENCE RUN NORTH 89 DEGREES 13' 19" WEST ALONG SAID CENTERLINE OF SURVEY AND ALONG SAID NORTH LINE A DISTANCE OF 780.34 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST ¼ OF SAID NORTHEAST ¼ OF SECTION 27; THENCE DEPARTING SAID CENTERLINE OF SURVEY AND SAID NORTH LINE, RUN SOUTH 01 DEGREES 14' 52" WEST ALONG SAID EAST LINE OF A DISTANCE OF 75.00 FEET TO A POINT ON THE EXISTING SOUTH RIGHT OF WAY LINE OF AFORESAID STATE ROAD 50 AS SHOWN ON THE AFORESAID RIGHT OF WAY MAP; THENCE DEPARTING SAID EAST LINE, RUN NORTH 89 DEGREES 13' 19" WEST ALONG SAID EXISTING SOUTH RIGHT OF WAY LINE OF STATE ROAD 50 A DISTANCE OF 222.45 FEET FOR THE POINT OF BEGINNING; THENCE DEPARTING SAID EXISTING SOUTH RIGHT OF WAY LINE OF STATE ROAD 50, RUN SOUTH 03 DEGREES 07' 51" WEST A DISTANCE OF 15.01 FEET; THENCE RUN NORTH 89 DEGREES 13' 19" WEST PARALLEL WITH SAID EXISTING SOUTH RIGHT OF WAY LINE OF STATE ROAD 50 A DISTANCE OF 20.02 FEET; THENCE RUN NORTH 03 DEGREES 07' 51" EAST A DISTANCE OF 15.01 FEET TO A POINT ON SAID EXISTING SOUTH RIGHT OF WAY LINE OF STATE ROAD 50; THENCE RUN SOUTH 89 DEGREES 13' 19" EAST ALONG SAID EXISTING SOUTH RIGHT OF WAY LINE OF STATE ROAD 50; THENCE RUN SOUTH 89 DEGREES 13' 19" EAST ALONG SAID EXISTING SOUTH RIGHT OF WAY LINE OF STATE ROAD 50 A DISTANCE OF 20.02 FEET TO THE POINT OF BEGINNING.

Containing 18.25 acres, more or less.

Exhibit "B"

Development Plan

West Market Planned Commercial Development

Design Standards

Winter Garden, Florida

December 7, 2017

Revised July 14, 2020

Prepared by:

**Cuhaci & Peterson, Architects
1925 Prospect Avenue
Orlando, Florida 32814
C-P Project # 2170391**

Prepared for:

**Gardenia Plaza, LLC
12200 West Colonial Dr
Suite 303
Winter Garden, Florida 34787**

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West Market

I. Purpose & Intent

The following development standards and design treatments are intended to establish aesthetic requirements for the Planned Commercial Development called "West Market". Located at 14120 W. Colonial Drive in Winter Garden, Florida. West Market is a mix of retail, restaurant, office, and grocery uses intended to attract customers from the City of Winter Garden as well as Orange County and surrounding areas.

The intent of the West Market Design Standards is to create and maintain a positive ambiance and identity by providing for architectural and site design treatments that will enhance and improve upon the typical appearance of a retail shopping center.

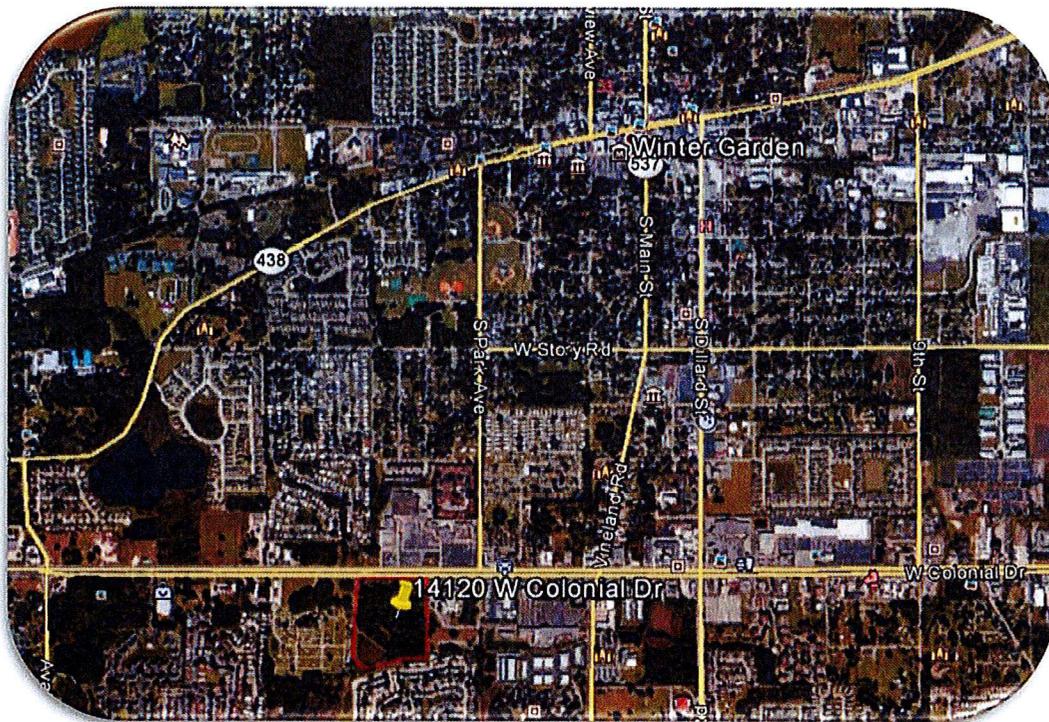


Figure 1 - Vicinity Plan

II. Applicable Codes

In addition to the West Market Design Standards, all buildings must conform to the current Florida Building Code standards and comply with the Winter Garden, FL Code of Ordinances Article IX West State Road 50 Overlay Commercial Development Standards, unless otherwise noted herein or in PCD Ordinance 17-17.

III. Architectural Character Design Criteria

The overall commercial architectural design of the buildings in West Market will substantially comply with a Florida vernacular architectural style. Final elevations associated with specific site plans will be subject to change by the end user provided the architectural theme is consistent, the standard of quality is maintained, the architectural standards are achieved, and the design is approved by the City.

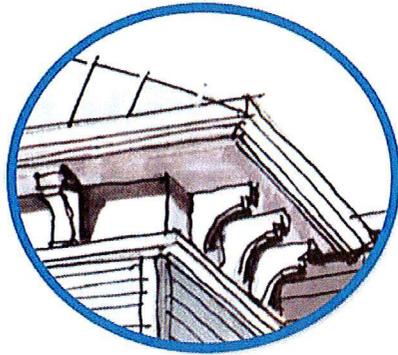
A consistent and compatible standard will be applied to the buildings in the PCD. The following outline of massing, finishes, treatments, colors and use of materials are representative of a theme and a level of quality to be maintained throughout the development. Distinctive and Unique designs are permissible provided the design is not conspicuous within the context of the overall development and helps achieve the overall cohesive style.

All architectural elevations are subject to review and approved by City staff prior to Plan Approval, and there should be consistency between all developments in terms of design style and quality.

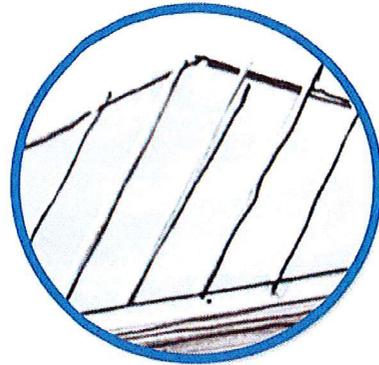


Figure 2 - Vernacular Example – Grocery

VERNACULAR EXAMPLES - ELEMENTS



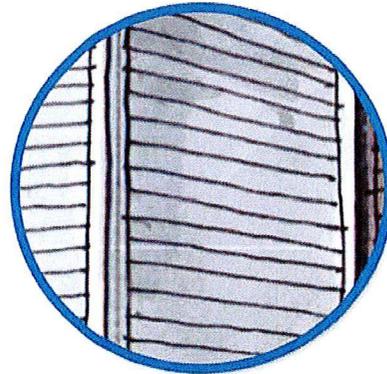
CORNICE WITH BRACKETS



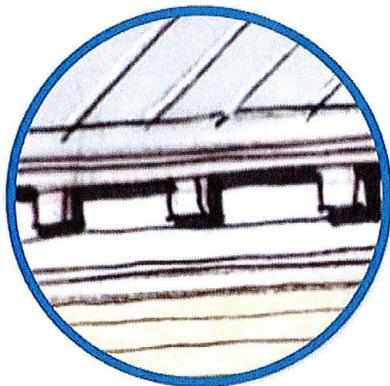
STANDING SEAM METAL ROOF



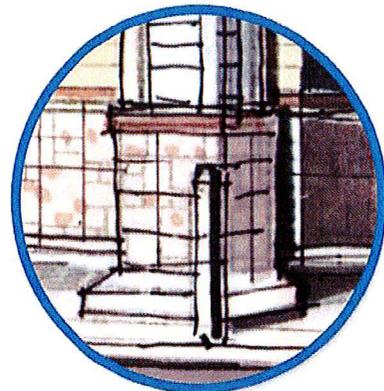
AWNINGS ABOVE GLAZING



SIDING AND TRIM



DECORATIVE TRIM



MASONRY WAINSCOT

III.A. Massing & Articulation

A. The building facades that are visible to pedestrians and/or vehicles along major internal and external circulation routes are required to have architectural variation that is consistent with the Florida Vernacular Style (similar to that depicted in Figure 2). Examples of Florida vernacular style elements include, but are not limited to the following:

- ❖ Cornices
- ❖ Brackets
- ❖ Awnings above glazing
- ❖ Colonnades
- ❖ Contrasting Masonry Base
- ❖ Sloped Roofs
- ❖ Multi-pitched roofs
- ❖ Porticoes
- ❖ Pilasters
- ❖ Columns
- ❖ Gables
- ❖ Siding and Trim
- ❖ Metal Roofs
- ❖ Porches



Figure 4 - Example – Small Retail

B. All buildings should have elements to relieve the sense of a solid monolithic mass and that complement the scale of the surrounding structures and the proposed building. Buildings should be designed to have façade features on multiple planes.

C. Building facades along major circulation routes shall not have a blank, uninterrupted length that exceeds 100 lineal feet without including at least two of the following:

- ❖ Pilasters
- ❖ Canopies
- ❖ Colonnades
- ❖ Varying Rooflines
- ❖ Trellis with vines
- ❖ Columns
- ❖ Arcades
- ❖ Dormers
- ❖ Balconies
- ❖ Defined Entryways

D. Architectural design details and window treatments will be utilized to unify all sides of the buildings. Integration of canopies is required to promote a human scale at the entrance and to create visually appealing points of entry that shield visitors from the sun and rain.

III.B. Building Materials and Theming

A. A consistent architectural theme (as depicted in Figure 3) will be utilized to unify the development, including complimentary colors, finished materials and textures.

B. Predominant exterior building materials shall be of high quality materials including, but not limited to the following:

- ❖ Stucco
- ❖ Fiber-cement board siding
- ❖ Veneer brick or thin brick

C. Predominant roofing style shall be comprised of the following:

- ❖ Parapets with cornices
- ❖ Standing seam metal
- ❖ Standing seam metal shake
- ❖ Architectural shingles

D. Prohibited exterior building materials include the following:

- ❖ Smooth faced concrete block
- ❖ Unfinished tilt-up concrete panels
- ❖ Prefabricated steel panels

E. Prohibited roofing materials include the following:

- ❖ Barrel tile
- ❖ 3-Tab shingles

F. Rear and side façade materials shall be of materials consistent with that of the primary façade; use of inferior or lesser quality materials shall be prohibited.

G. Store fronts: False window and door openings defined by frames, sills and lintels, are permitted only when actual doors and windows are not feasible because of the interior use of the building.

- H. Building colors shall be drawn from a light color palette; the color chip shall be submitted to the City for approval. No fluorescent colors are permitted. The use of black, grey, primary and/or secondary colors are prohibited as the predominant exterior building color.
- I. Flat roofs must be screened by a parapet wall finished by a cornice or other architectural detail.



Figure 5 – Example - Outparcel



Figure 6 – Example - Outparcel

III.C. Roof Treatments

- A. Rooftop equipment shall be concealed from public view or located such that the equipment is not visible from public streets or from the parking lot.
- B. In grocery applications only, where the height of the refrigeration equipment, and compressors is such that it becomes impractical to screen the equipment with parapets, equipment screening may be used in lieu of parapets. Mechanical screening may be achieved with materials that do not comprise a parapet provided the height of the screening is equivalent to the height of the equipment and the materials are compatible with the architectural vernacular of the complex. Acceptable screening materials include those noted in section III.B.B. and shall have a cornice similar to that of the parapet walls of the building.
- C. Rooftop parapets shall feature three-dimensional cornice or stylistically appropriate bracketry. Bracketry not incorporated as part of a cornice or frieze will only be permitted in conjunction with a soffit overhang at pitched roof conditions.

III.C. Building Projections & Entryways

- A. Building exteriors will provide shelter from sun and rain. Awnings and overhangs will be provided for pedestrian walkways.
- B. Primary pedestrian entrances will be clearly expressed and be recessed by a sheltering element. This element will preferably be a porch with columns, but elements such as awnings, arcades, and/or porticos may be considered if they achieve the overall intent of these architectural design standards. The minimum height and the maximum depth of these elements shall be 8'.

III.D. Building Orientation & Site Design

- A. Buildings shall be oriented in a manner that will promote and strengthen pedestrian activity. All buildings shall provide sidewalks, with all buildings oriented towards W. Colonial Drive, with pedestrian connectivity throughout the development.
- B. Parking areas shall not visually and physically dominate the road frontages. Parallel to the front face of the building, there shall be no more than two rows (one on either side of an access drive) of angled or 90 degree parking between the front building façade and the adjacent right-of-way.
- C. Parking areas shall provide dedicated pedestrian pathways to primary and secondary building entrances. Pedestrians must also be provided dedicated pathways to adjacent properties.
- D. Site furnishings such as benches, trash receptacles, and bicycle parking facilities shall also be provided on site.

IV. Utilities and Equipment

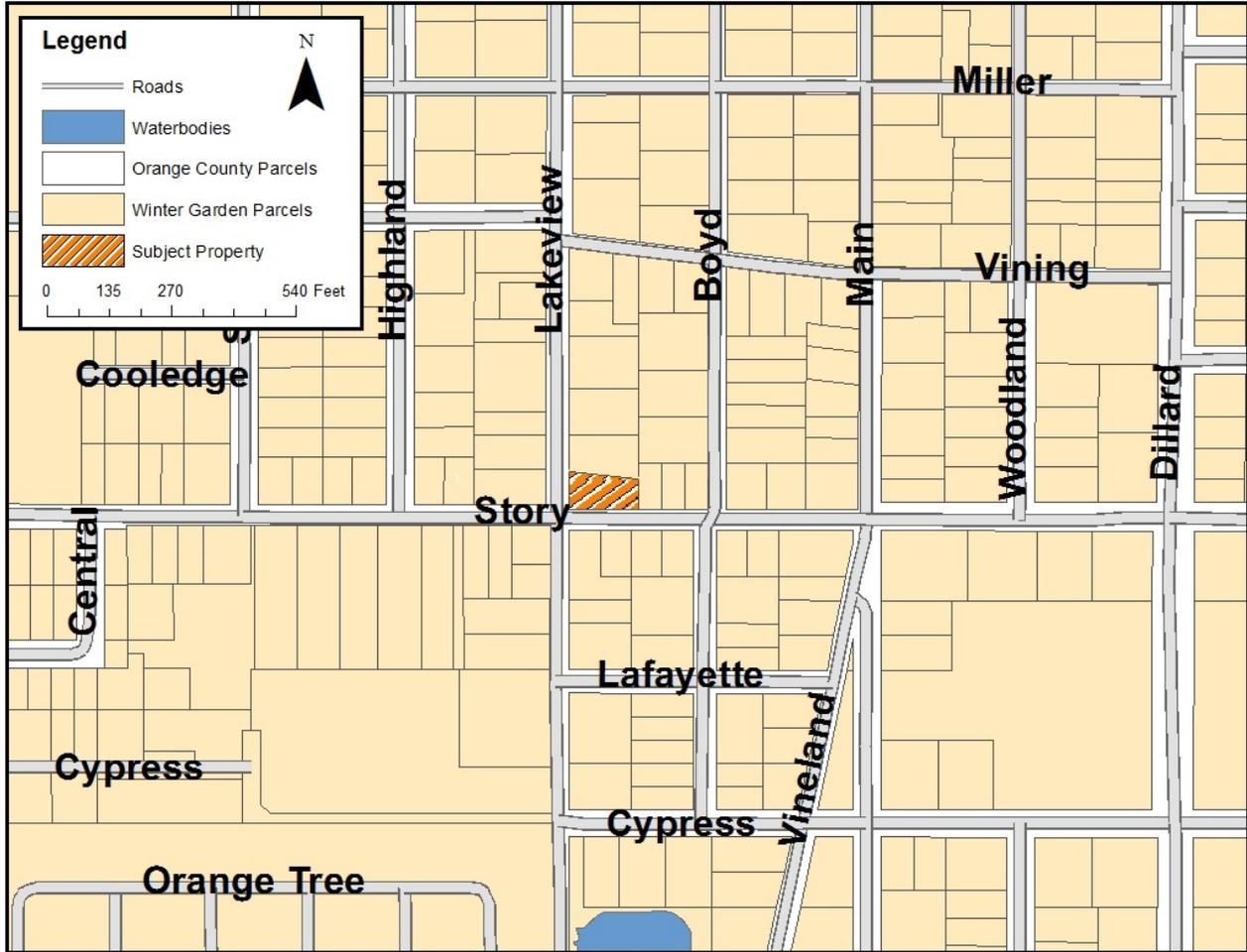
- A. All utility equipment must be properly screened with walls and/or landscaping. All loading docks and loading areas must be screened from public view with appropriate screen walls, which are architecturally integrated with the main structure.

V. Lighting

- A. Lighting shall be placed or shielded so as not to cause glare, and the placement, intensity, style and direction of lighting shall not create a hazard to vehicular traffic.
- B. Lighting will comply with the design standards, requirements, and regulations pertaining to specified commercial corridors within City of Winter Garden in accordance with Chapter 118, Article X, Division 4.
- C. Poles, globes, and other light fixtures that are of a high design quality are required and shall be consistent with the overall building architecture. Lighting shall not be directly attached to a canopy, or awning without staff review and approval.

LOCATION MAP

543 S Lakeview Ave
Special Exception Permit



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

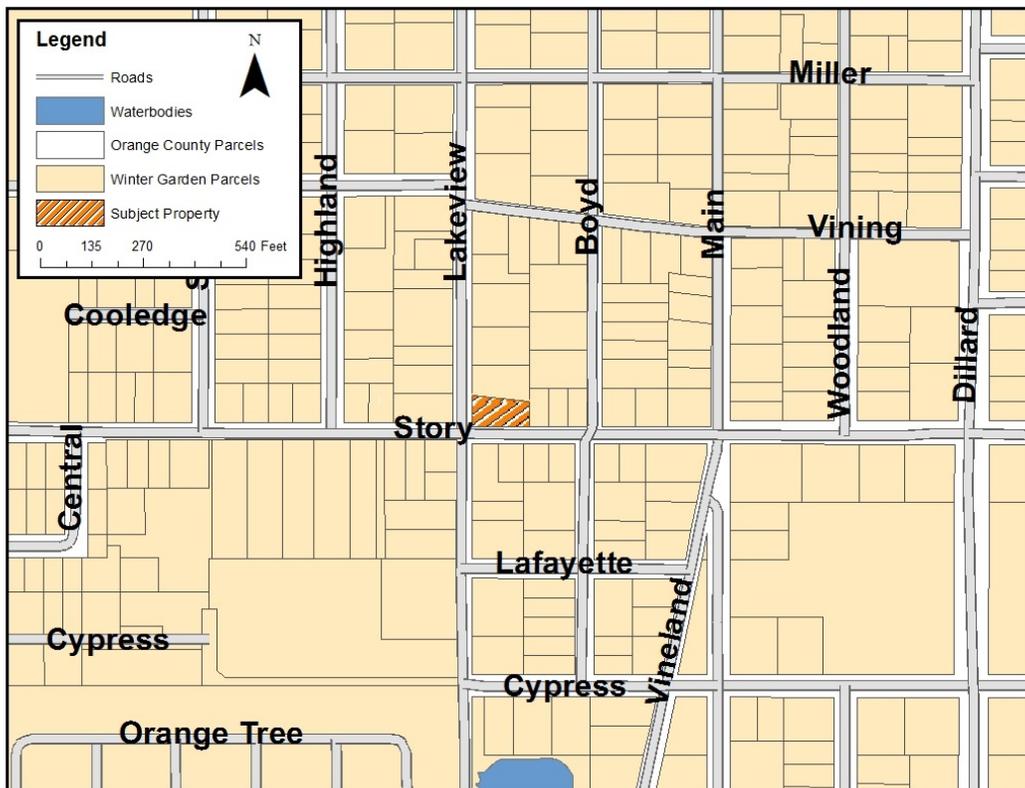
TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: JULY 24, 2020
SUBJECT: SPECIAL EXCEPTION PERMIT
543 S Lakeview Ave (0.26±ACRES)
PARCEL ID # 23-22-27-2468-00-680

APPLICANT: Robbie & Co (Robert & Thelma Robinson)

INTRODUCTION

The purpose of this report is to evaluate the proposed Special Exception Permit for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 543 S Lakeview Ave. The map below depicts the location of the subject property within the City of Winter Garden's municipal limits.



The applicant is requesting a Special Exception Permit in order to allow a hair styling shop to operate within an existing building on the property. The subject property is located within the City of Winter Garden's municipal limits, and was recently rezoned to R-NC Residential-Neighborhood Commercial, and was recently designated NC Residential-Neighborhood Commercial on the Future Land Use Map of the Comprehensive Plan. The property lines were also recently reconfigured along with the property to the north (537 S Lakeview Ave) to create two lots that are more consistent in shape and size with the surrounding properties.

CURRENT USE

The subject property contains two existing buildings: a 320 square foot single-family structure and a 1,900 square foot garage / warehouse building. In addition, the property features a vinyl shed as well as several segments of vinyl and chain link fencing. The property also features a number of large mature canopy trees. The property owners also own and reside in the property to the north of the subject property (537 S Lakeview Ave).

ADJACENT LAND USE AND ZONING

The properties to the north, east and west of the subject property are developed with single-family residences, are zoned R-2, and are within the City of Winter Garden's Municipal limits. The properties to the south of the subject property are a duplex and single family residences, all of which are zoned R-2 and are within the City of Winter Garden's Municipal limits.

PROPOSED USE

The applicant is proposing to convert a portion of the existing garage / warehouse building (approx. 800 square feet) into a hair salon. The owner of the subject property will own and operate the salon, which will feature three other stylists who will work at the location on a part-time basis. The applicant is required to get site plan approval from the Development Review Committee to construct a new parking area and landscaping, as well as obtain all required permits to bring the building up to commercial standards.

ANALYSIS

The property is zoned R-NC Residential Neighborhood Commercial, which permits commercial uses by special exception, referencing the permitted uses in the C-4 zoning district, which lists:

Retail stores and shops of a neighborhood convenience, such as convenience foodstores, dry cleaning and laundry facilities, bakeries, drug and sundries, barbershops and beauty shops and the like.

The City has worked closely with the applicant, who owns and resides in the home located to the north of the subject property, to ensure the hair styling shop is a use that will fit in well with a majority residential neighborhood. The applicant will be making minimal site plan changes to meet the City's commercial development code for parking and buffer landscaping, while also maintaining the existing structures and large canopy trees on site. The result will be a small commercial use connected to the owner's home that does not negatively impact the surrounding residential properties.

SUMMARY

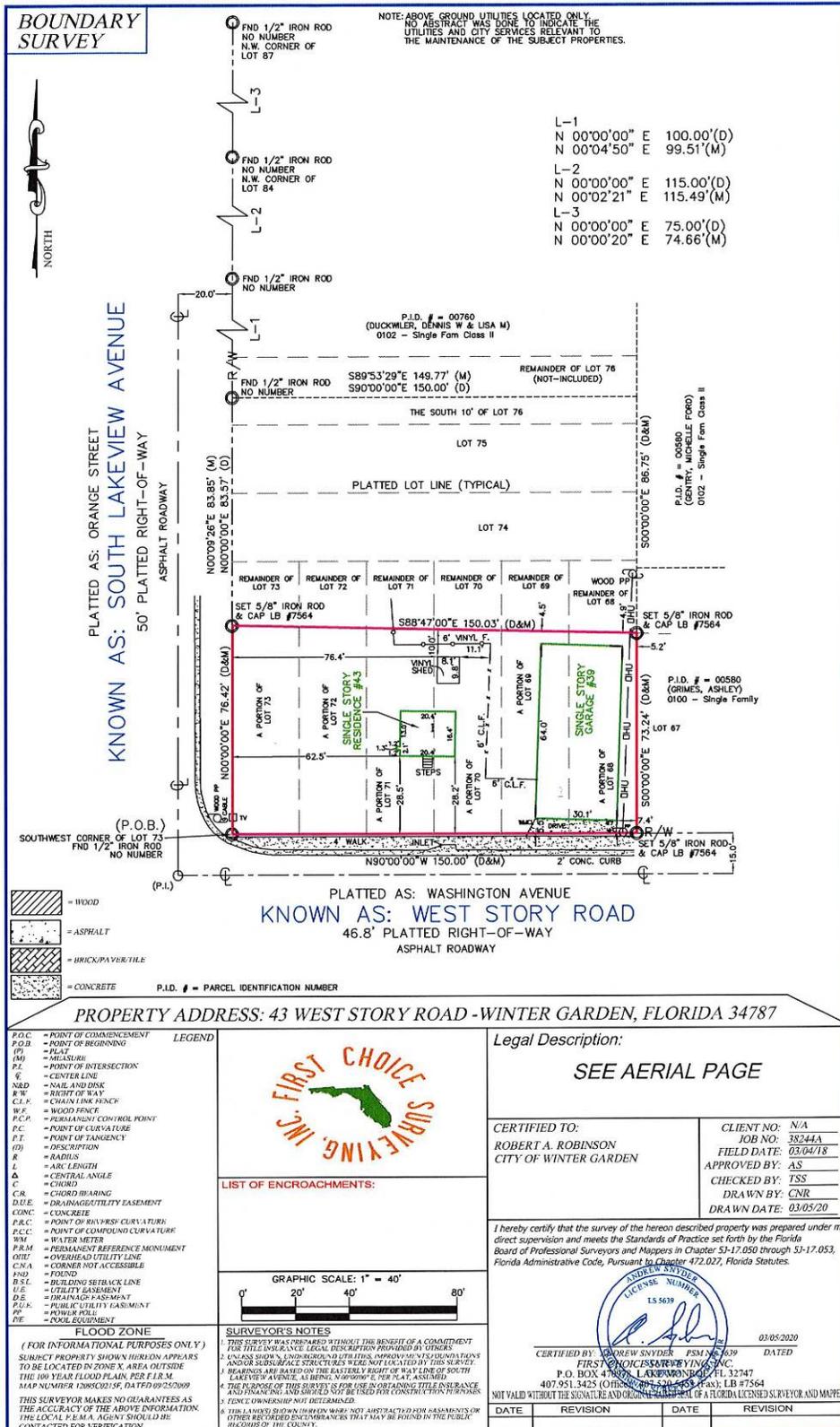
City Staff recommends approval of the proposed special exception permit to allow a hair styling shop to operate within a portion of the existing garage / warehouse building on the subject property with the following conditions:

- 1) No more than four salon chairs/ styling stations are permitted in the shop.
- 2) Applicant must get Site Plan Approval from the Development Review Committee as well as any building permits required to bring the building up to commercial standards.

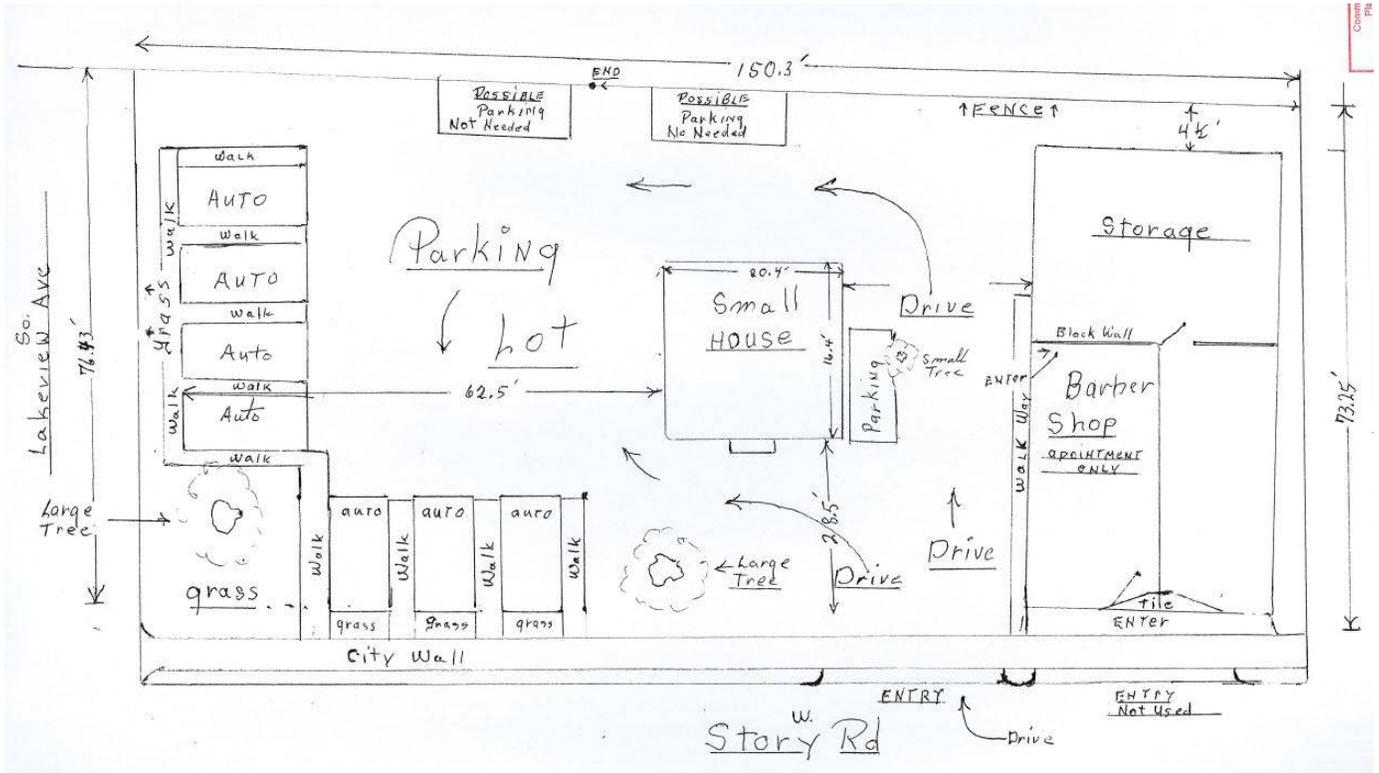
AERIAL PHOTO
543 S Lakeview Ave



PROPERTY SURVEY
543 S LAKEVIEW AVE



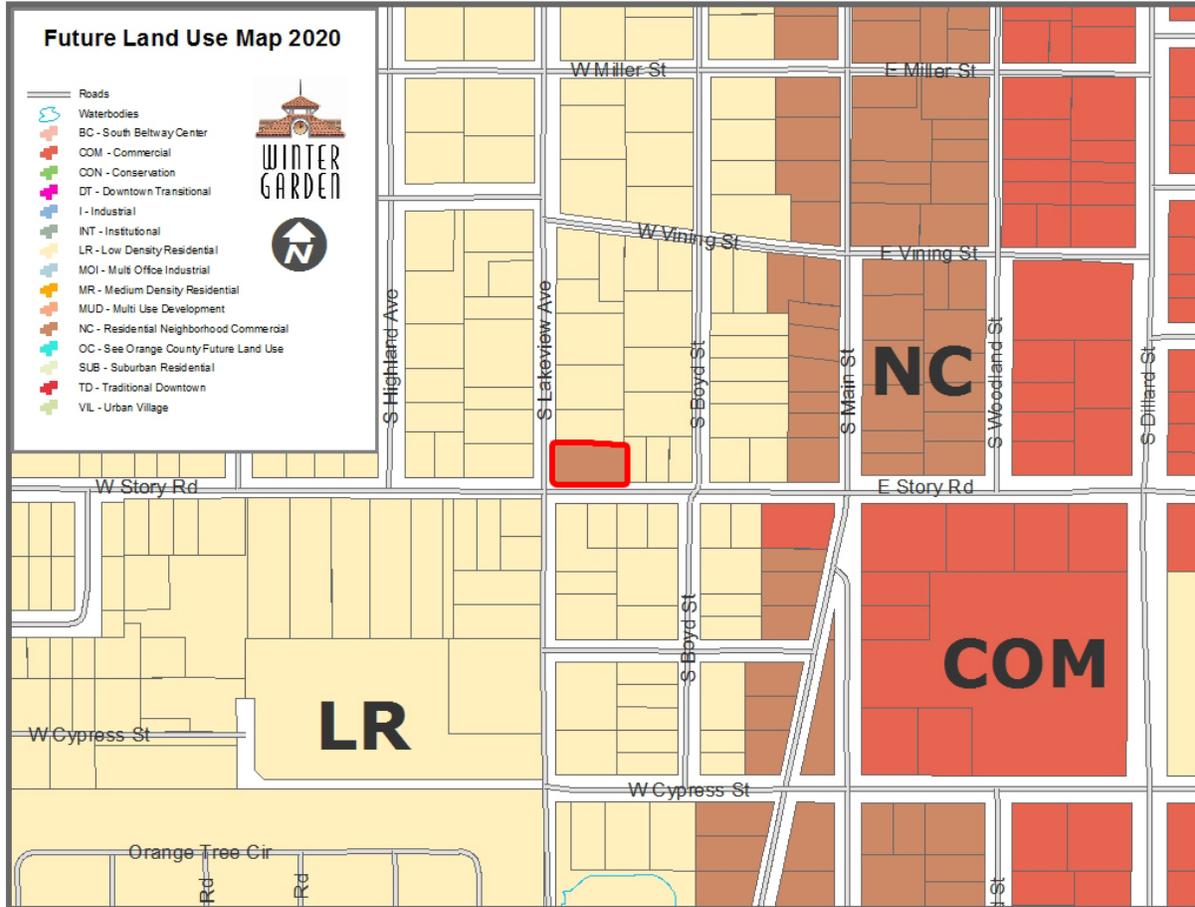
SITE DIAGRAM FROM PROPERTY OWNER
543 S Lakeview Ave



SITE PHOTOS
543 S Lakeview Ave



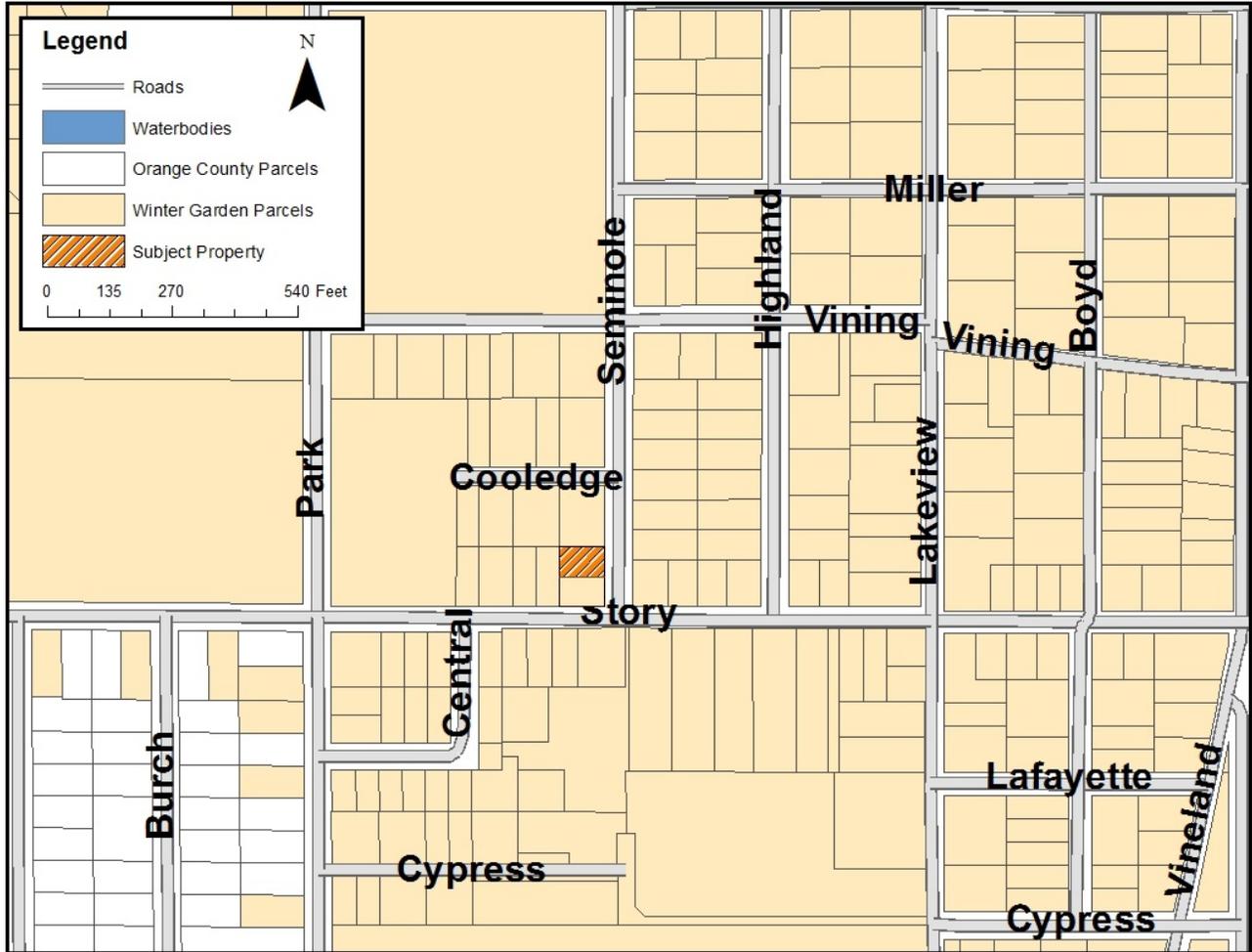
FUTURE LAND USE MAP 543 S Lakeview Ave



END OF STAFF REPORT

LOCATION MAP

543 Seminole Street
Variance



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

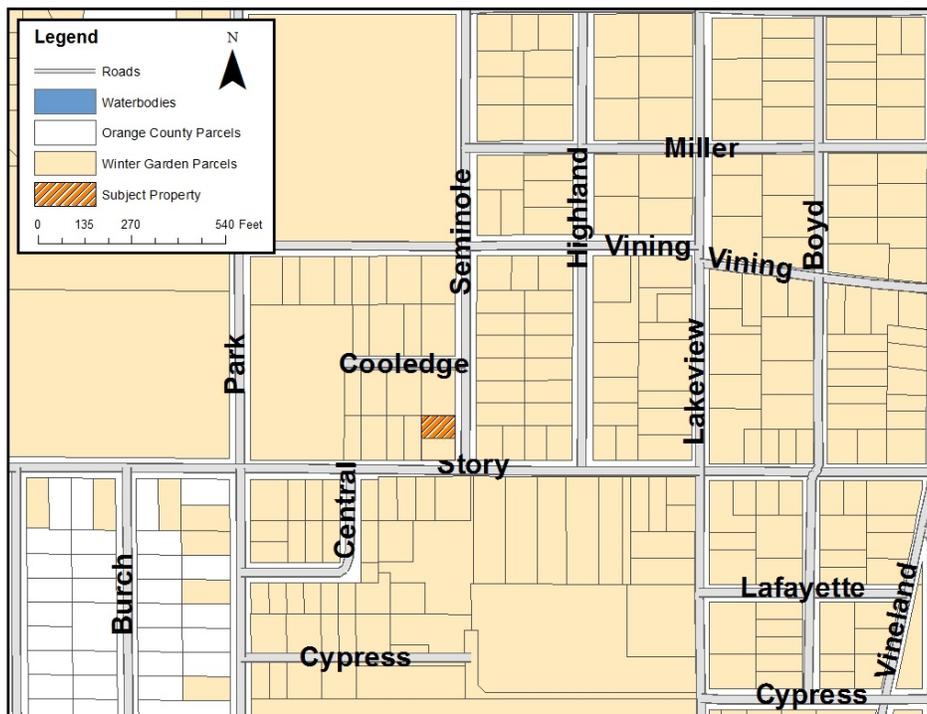
TO: PLANNING AND ZONING BOARD
PREPARED BY: Soraya Karimi, Planner I
DATE: August 3rd, 2020
SUBJECT: VARIANCE
543 Seminole Street (0.14 +/- ACRES)
PARCEL ID #23-22-27-7152-08-110

APPLICANT: J&J Building, LLC

INTRODUCTION

The purpose of this report is to evaluate the request for a variance for property located at 543 Seminole Street in Winter Garden, Florida. The request is to allow a +/- 3,464.4 square foot single family residence to be constructed with a side yard setback of 7.5' in lieu of the required ten (10) foot side yard setbacks, in addition to a front yard setback of 22 feet in lieu of the required 30 feet.

The subject property, located at 543 Seminole Street, is an approximately 0.14 ± acre lot. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property carries the zoning designation R-2 (Single Family Residential District) and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan. The subject property is a resulting parcel from a lot split that was approved by the P&Z board on 04/02/2012, and approved by Orange County Property Appraiser on 03/20/2020. This variance application was submitted alongside a similar variance application for the other resulting parcel from the lot split, south of the subject property—both requests are for single family homes to be built by the same developer, and are for variances to the front and side setbacks.

EXISTING USE

A single family home that existed over both this property and the property to the south was demolished April 2020. The property is currently vacant.

ADJACENT LAND USE AND ZONING

The property south of the subject property is a resulting parcel from the lot split approved on 04/01/2012, and is currently vacant. The properties to the north, east and west are all single family residences, zoned R-2 and within the City of Winter Garden Municipal Limits. Property to the northwest of the subject property is a duplex, zoned R-2 and within the City of Winter Garden Municipal Limits.

PROPOSED USE

The applicant is requesting the variance to allow the construction of a +/- 3464.4 square foot single family residence. The proposed building would be located approximately 7'8" from the southern (side) property line. The front porch would encroach 8 feet into the front yard setback, while the rest of the front façade meets the 30 foot requirement. The residence would be two stories and would include features such as a two car garage, four bedrooms and two porches.

CODE REFERENCE

Sec. 118-398(1)(a-b). of the City Code of Ordinances addresses minimum yard requirements for single-family and two-family dwellings in the R-2 Zoning District. This section states,

In the R-2 residential district, the minimum yard requirements are as follows:

- (1) Single-family.*
 - a. Front: 30 feet.*
 - b. Side: ten feet.*

The applicant is seeking a variance to the minimum side and front yard requirements.

CODE REQUIREMENTS / CRITERIA

Section 118-131 of the City Code that relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue."

The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff's comments concerning this particular petition.

- (1) *Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;*

Allowing the single family home be built with a 7.5' side setback and a 22' front setback should not cause a negative impact or interfere with the reasonable enjoyment of adjacent or nearby property owners. The applicant states that the "adjacent residential structure north of Lots 11/12 on Seminole Street is 53' from the property line" of the subject property. Additionally, the proposed structure on the subject property would meet the required 10' side setback from the property line that is shared with the property to the north, so the neighbor to the north would not be affected by the variance. The proposed porch that encroaches into the front yard setback will be covered with a gabled roof that matches the roof of the primary structure, providing visual appeal and consistency. The proposed single family residence will have architectural elements that ensure that the home will be a benefit to the homeowners and to the surrounding community. From the elevations, the architectural details of the proposed residence include entry columns on the porch, two gable roofs, siding, and window trimmings.

- (2) *The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

The proposed variance will allow reasonable use of the property. The R-2 zoning district is intended for single-family homes and two-family homes, so the proposed use is permitted in the zoning category. Using aerial photographs, it appears that several nearby residential properties in the same zoning category along Seminole Street and Story Road have front and/or side and/or rear setbacks that are not in conformity with the Land Development Regulations.

- (3) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City's land development regulations will not further any legitimate City objective. Denying this application benefits neither the property owner nor the City. The applicant states that the lot split allowed the lots to "orient the front porches to Seminole Street instead of the more heavily traveled Story Rd," which was "favored by the City as it allowed relief from the potential hazard that driveway access onto Story Rd. immediately at the intersection corner would have presented."

- (4) *The granting of the variance is consistent with the city's comprehensive plan; and*
The variance is consistent with the provisions of the City's Comprehensive Plan relating to low density residential neighborhood character.

- (5) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*

The variance requested is the minimum variance that will make reasonable use of the land.

The proposed single family residence has a beneficial configuration for both the property owners and the adjacent property owners. The requested variance will facilitate construction of 2 appropriately sized homes that will be in conformity with the size and orientation of existing neighborhood homes. In addition, the variance will provide an opportunity to situate driveway ingress to the proposed new residences on Lots 11/12 at an optimal distance from the Story Rd./Seminole St. intersection.

SUMMARY AND STAFF RECOMMENDATION

City Staff recommends approval of variance to Section 118-398 (1)(a-b) to allow the construction of a +/- 3464.4 square foot single family residence with a 7.5' foot side yard setback in lieu of the minimum required ten (10) foot side yard setback and a front yard setback of 22' in lieu of the required 30' setback, with the following conditions:

- 1) The applicant will continue to work with City Staff to fine tune the details of the proposed elevations including massing, façade materials, window trim and other details, etc.
- 2) The lot shall adhere to all other code requirements for development in the R-2 zoning district including setbacks, impervious surface ratios, etc.

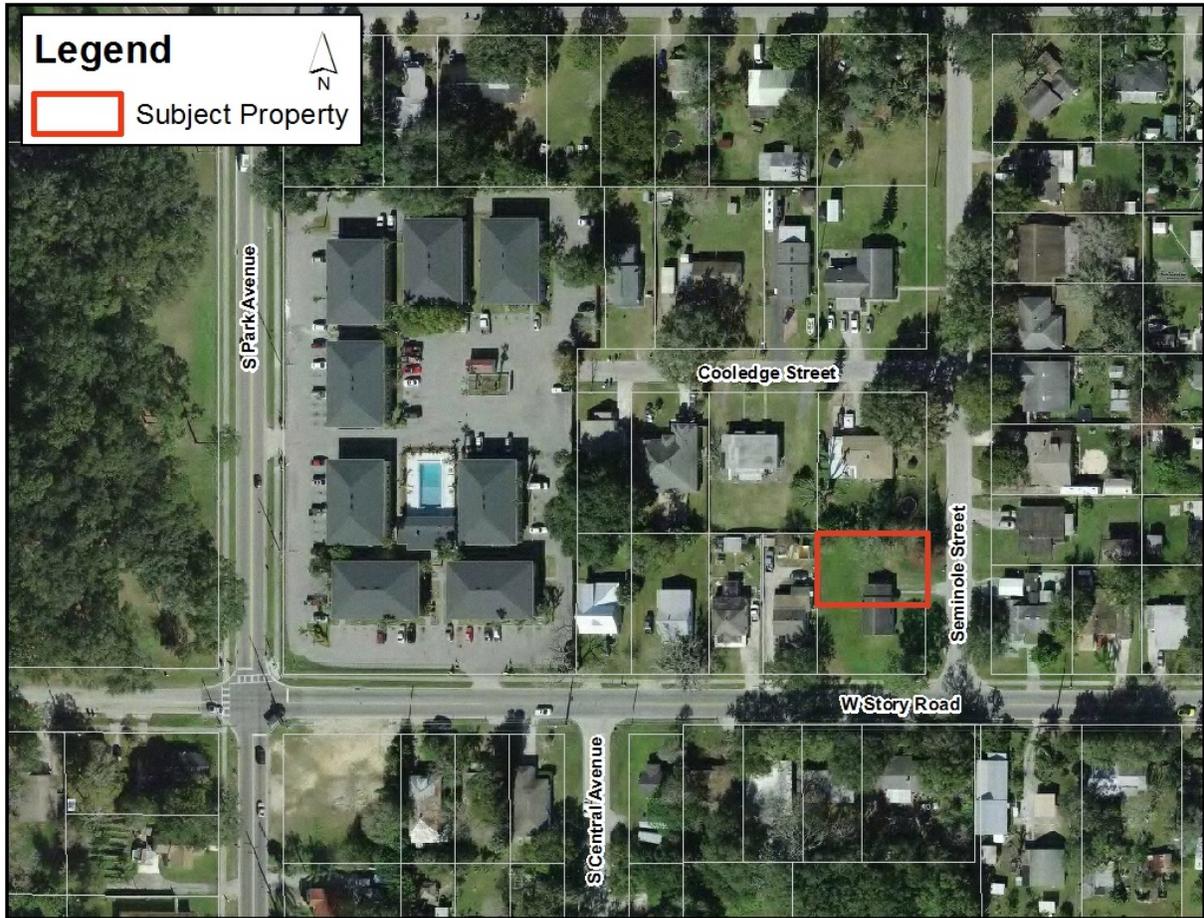
NEXT STEPS

Follow all City regulations and apply for building permits.

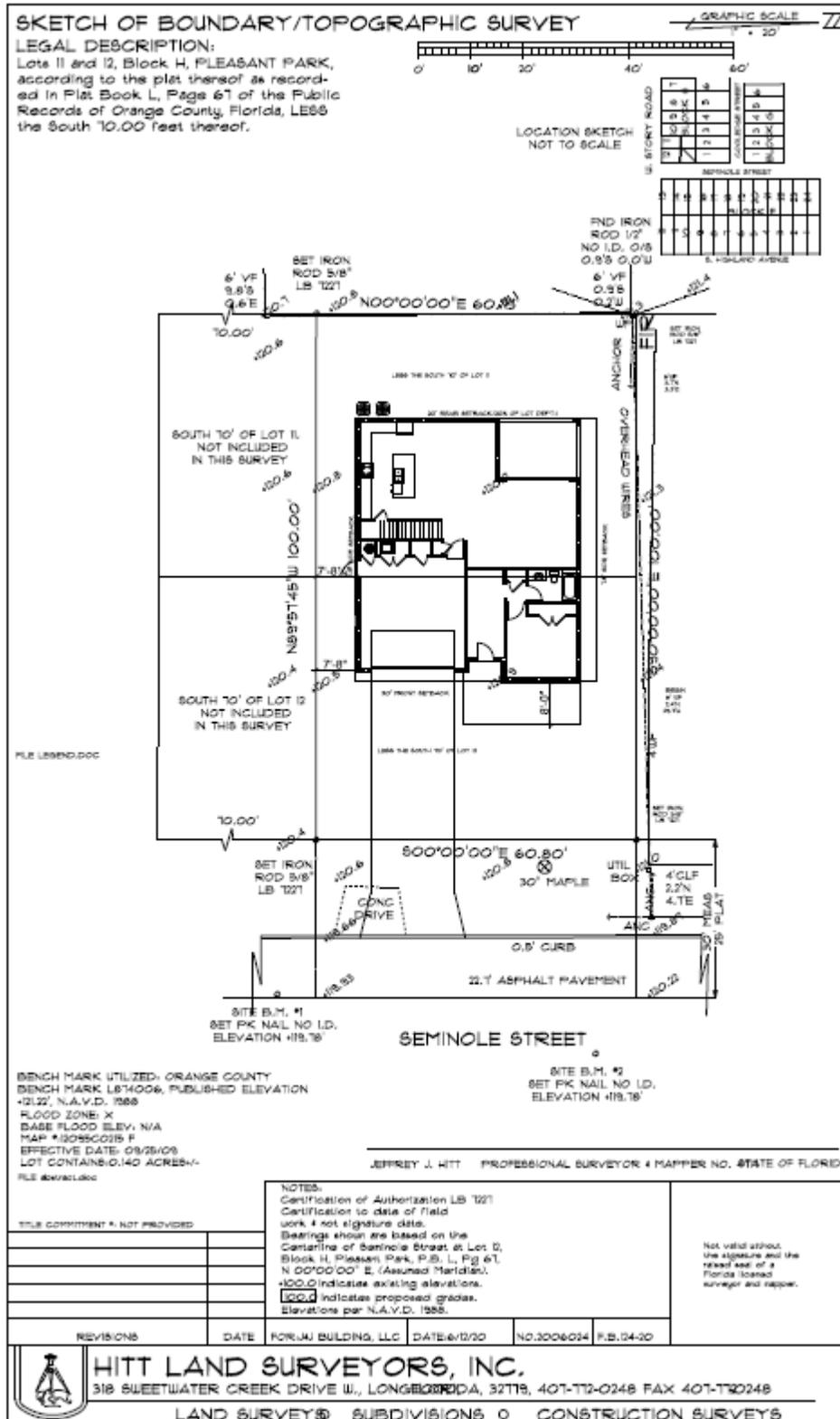
ATTACHMENTS

- Aerial Photo
- Survey
- Proposed Site Plan
- Proposed Elevations
- Site Photos

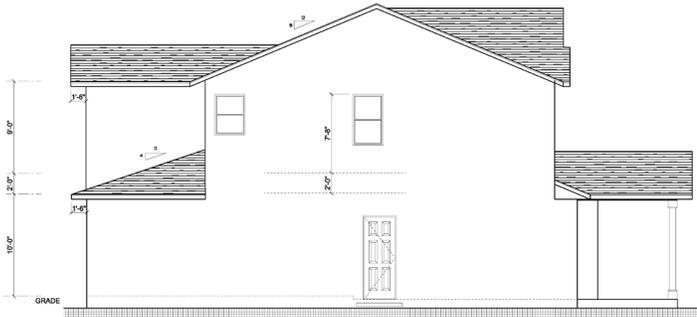
AERIAL PHOTO
543 Seminole Street



PROPOSED SITE PLAN
543 Seminole Street



PROPOSED ELEVATIONS
543 Seminole Street

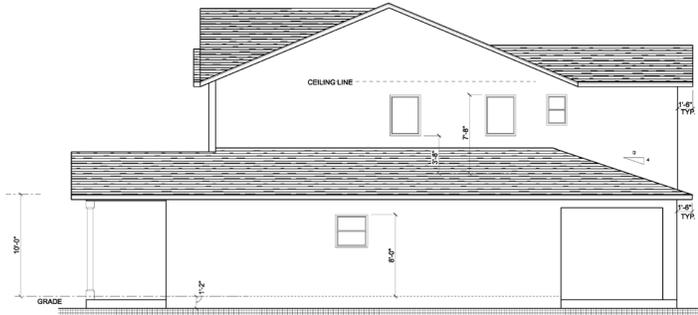


LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/4" = 1'-0"

- ELEVATION NOTES:**
- 1 ARCHITECTURAL SHINGLES OVER #30 FELT ON 1/2" SHEATHING ON PREFAB WOOD ROOF TRUSSELS @24" OC
 - 2 GALVANIZED METAL Drip EDGE OVER MIN 1 x 6 FASCIA
 - 3 5/8" TEKO CEMENTITIOUS FINISH ON CMU WALLS
 - 4 7/8" TEKO CEMENTITIOUS FINISH WIRE LATH OVER #15 FELT OR "TYVEK" HOUSE WRAP OVER MIN 7/16" WOOD SHEATHING
 - 5 CEMENT FIBER LAPPED SING OVER #15 FELT OR "TYVEK" HOUSE WRAP OVER MIN 7/16" WOOD SHEATHING
 - 6 CEMENT FIBER TRIM BOARDS
 - 7 DECORATIVE FAUX LOUVER (APPLIED WOOD TRIM, PAINTED)
 - 8 FT POSTS WRAPPED IN CEMENT FIBER BOARD VENEER
 - 9 OFF-RIDGE VENT
 - 10 CONTRAIL JOINT IN STUCCO



RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

LATH ATTACHMENT PER R703.1
 Lath attachment shall be of corrosion resistant material. Expanded metal or woven wire lath shall be attached with 1-1/2" long (38mm), 11 gauge nails having a 7/16" (11.1mm) head, or 7/8" (22.2mm), 18 gauge staples, spaced at no more than 8 inches (203mm), or as otherwise approved.

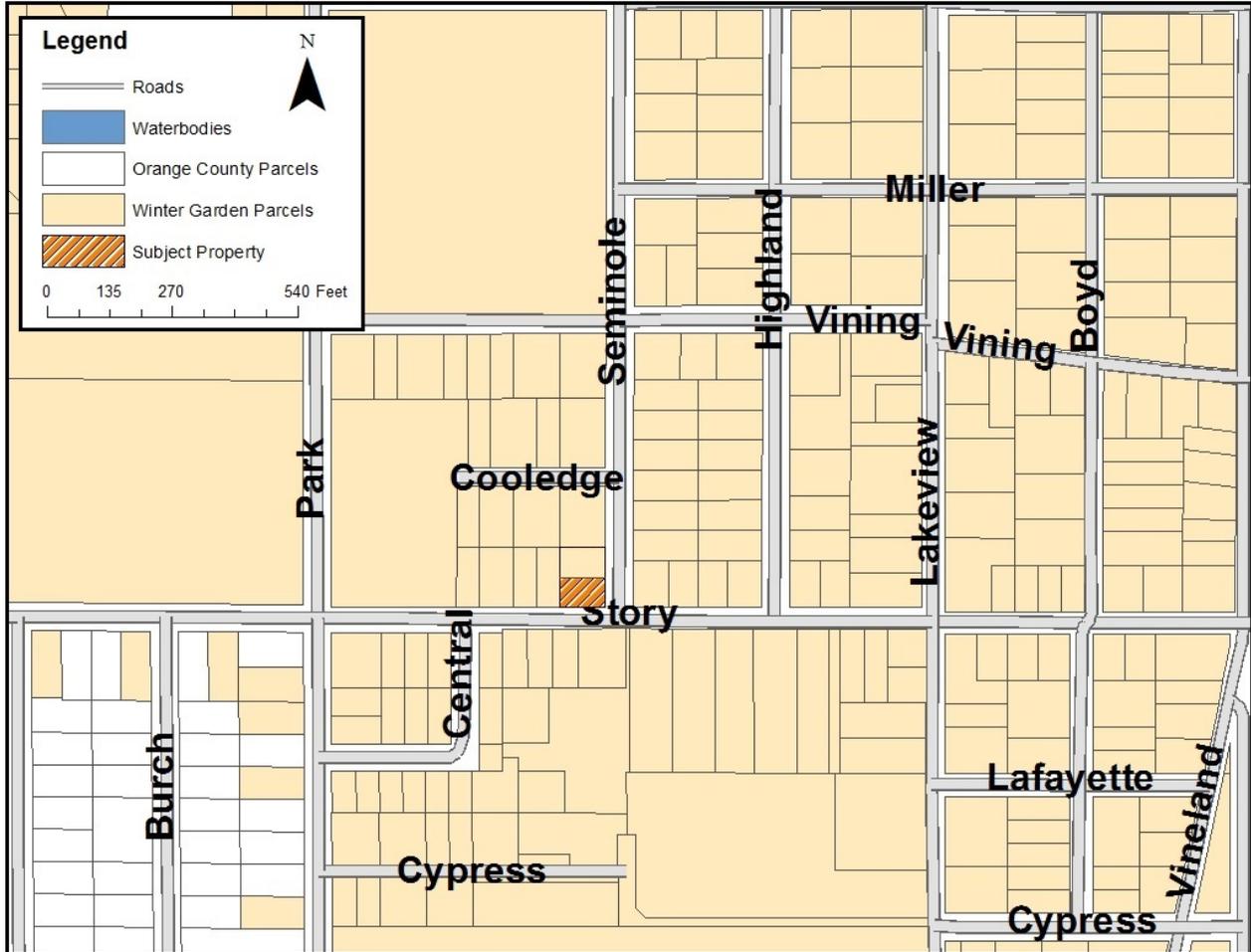
SITE PHOTOS
543 Seminole Street



END OF STAFF REPORT

LOCATION MAP

Seminole Street Variance



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: Soraya Karimi, Planner I
DATE: August 3rd, 2020
SUBJECT: VARIANCE
Seminole Street, Corner Lot (0.16 +/- ACRES)
PARCEL ID #23-22-27-7152-08-111

APPLICANT: J&J Building, LLC

INTRODUCTION

The purpose of this report is to evaluate the request for a variance for property located at Seminole Street in Winter Garden, Florida. The request is to allow a +/- 3,281 square foot single family residence to be constructed with a side yard setback of 7.5' in lieu of the required ten (10) foot side yard setback requirement, in addition to a front yard setback of 22 feet in lieu of the required 30 feet.

The subject property, located at Seminole Street, is an approximately 0.16 ± acre lot. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property carries the zoning designation R-2 (Single Family Residential District) and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan. The subject property is a resulting parcel from a lot split that was approved by the P&Z board on 04/02/2012, and approved by Orange County Property Appraiser on 03/20/2020. This variance application was submitted alongside a similar variance application for the other resulting parcel from the lot split, north of the subject property (543 Seminole Street) — both requests are for single family homes to be built by the same developer, and are for variances to the front and side setbacks.

EXISTING USE

A single family home that existed over both this property and the property to the north was demolished April 2020. The property is currently vacant.

ADJACENT LAND USE AND ZONING

The property north of the subject property is a resulting parcel from the lot split approved on 04/01/2012, and is currently vacant. The properties to the south, east and west are all single family residences, zoned R-2 and within the City of Winter Garden Municipal Limits.

PROPOSED USE

The applicant is requesting the variance to allow the construction of a +/- 3,281 square foot single family residence. The proposed building would be located approximately 7'6" from the northern (side) property line. The front porch would encroach 8 feet into the front yard setback, while the rest of the front façade meets the 30 foot requirement. The residence would be two stories and would include features such as a two car garage, four bedrooms and two porches.

CODE REFERENCE

Sec. 118-398(1)(a-b). of the City Code of Ordinances addresses minimum yard requirements for single-family and two-family dwellings in the R-2 Zoning District. This section states,

In the R-2 residential district, the minimum yard requirements are as follows:

- (1) Single-family.*
 - a. Front: 30 feet.*
 - b. Side: ten feet.*

The applicant is seeking a variance to the minimum side and front yard requirements.

CODE REQUIREMENTS / CRITERIA

Section 118-131 of the City Code that relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue." The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff's comments concerning this particular petition.

- (1) *Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;*

Allowing the single family home be built with a 7.5' side setback and a 22' front setback should not cause a negative impact or interfere with the reasonable enjoyment of adjacent or nearby property owners. The southern side property line is adjacent to a right of way (W. Story Road) so no property owners on that side would be affected by the side setback variance. The proposed porch that encroaches onto the front yard setback will be roofed with architectural shingles that matches the roof of the primary structure, providing visual appeal and consistency. The proposed single family residence will have architectural elements that ensure that the home will be a benefit to the homeowners and to the surrounding community. From the elevations, the architectural details of the proposed residence include entry columns on the porch, one gable roof, siding, and window trimmings.

- (2) *The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

The proposed variance will allow reasonable use of the property. The R-2 zoning district is intended for single-family homes and two-family homes, so the proposed use is permitted in the zoning category. Based on aerial photographs, it appears as though several nearby residential properties in the same zoning category along Seminole Street and Story Road have front and/or side and/or rear setbacks that are not in conformity with the Land Development Regulation.

- (3) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City's land development regulations will not further any legitimate City objective. Denying this application benefits neither the property owner nor the City. The applicant states that the lot split allowed the lots to "orient the front porches to Seminole Street instead of the more heavily traveled Story Rd," which was "favored by the City as it allowed relief from the potential hazard that driveway access onto Story Rd. immediately at the intersection corner would have presented."

- (4) *The granting of the variance is consistent with the city's comprehensive plan; and*
The variance is consistent with the provisions of the City's Comprehensive Plan relating to low density residential neighborhood character.

- (5) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*

The variance requested is the minimum variance that will make reasonable use of the land. The proposed single family residence has a beneficial configuration for both the property owners and the adjacent property owners. The requested variance will facilitate construction of 2 appropriately sized homes that will be in conformity with the size and orientation of existing neighborhood homes. In addition, the variance will provide an opportunity to situate driveway ingress to the proposed new residences on Lots 11/12 at an optimal distance from

the Story Rd./Seminole St. intersection.

SUMMARY AND STAFF RECOMMENDATION

City Staff recommends approval of variance to Section 118-398 (1)(a-b) to allow the construction of a +/- 3,281 square foot single family residence with 7.5' foot side yard setbacks in lieu of the minimum required ten (10) foot side yard setbacks and a front yard setback of 22' in lieu of the required 30' setback, with the following conditions:

- 1) The lot shall adhere to all other code requirements for development in the R-2 zoning district including setbacks, impervious surface ratios, etc.

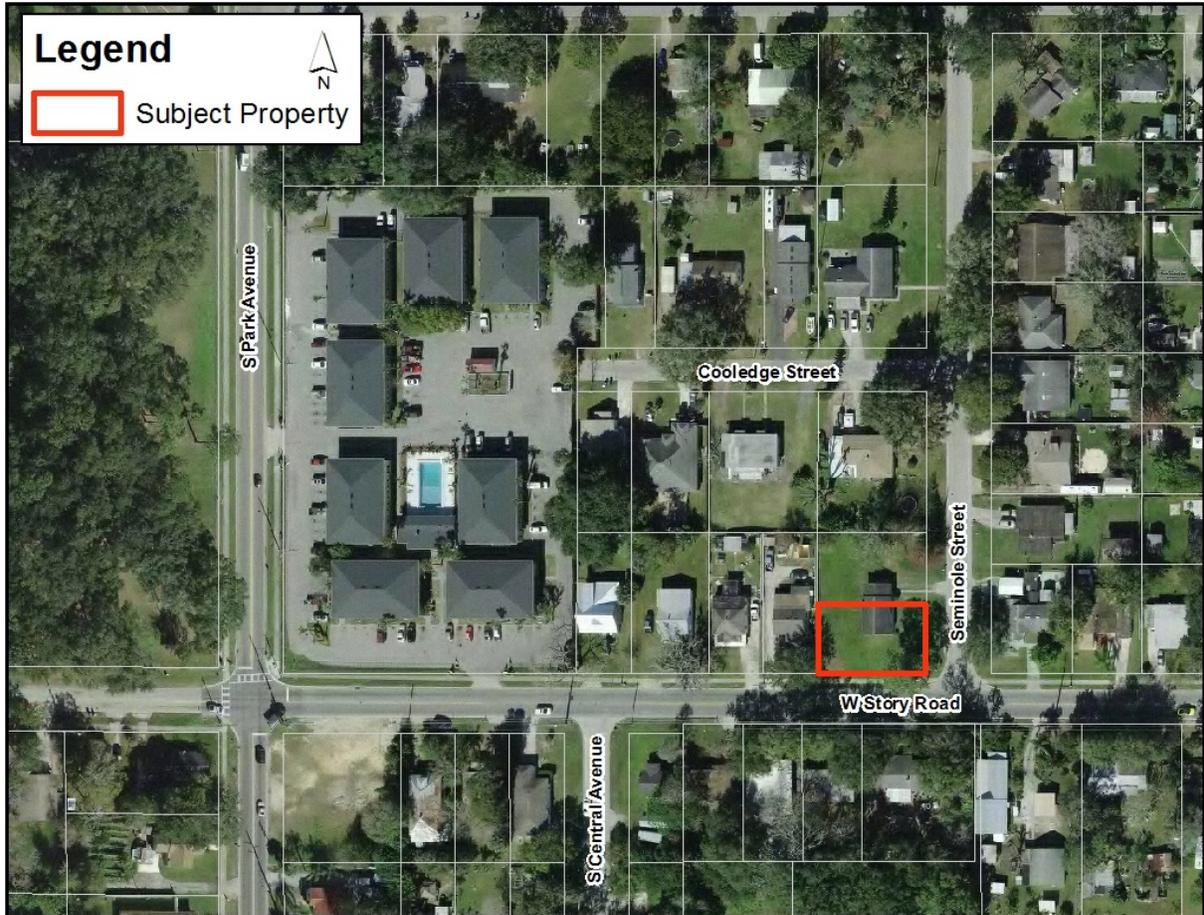
NEXT STEPS

Follow all City regulations and apply for building permits.

ATTACHMENTS

- Aerial Photo
- Survey
- Proposed Site Plan
- Proposed Elevations
- Site Photos

AERIAL PHOTO
Seminole Street

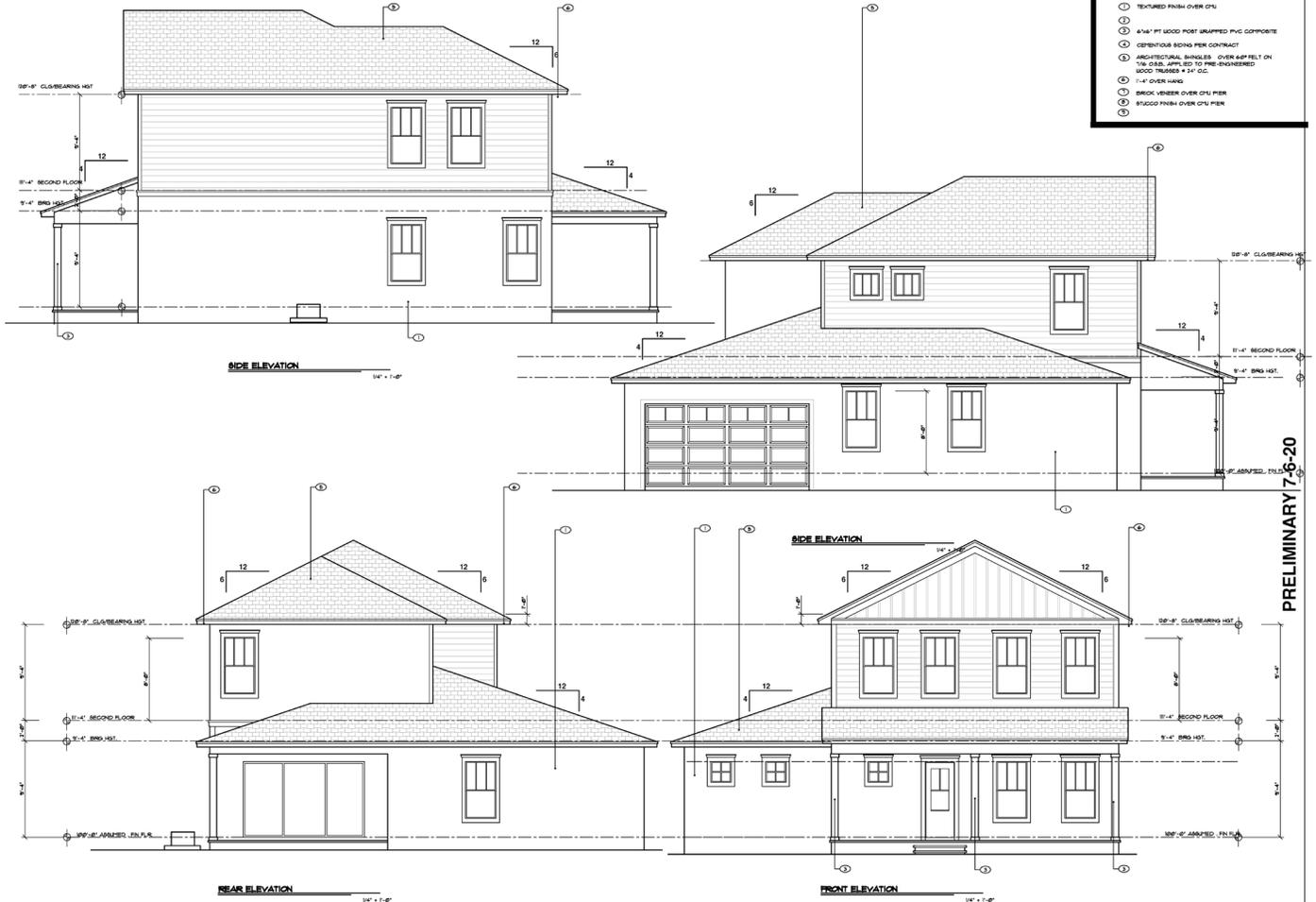


PROPOSED ELEVATIONS Seminole Street

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EXTERIOR ELEVATION LEGEND

- ① TEXTURED FINISH OVER GYPSUM
- ② 1/2" X 1/2" BRICK UNDER OVER GYPSUM
- ③ 2" X 4" PT WOOD POST WRAPPED PVC COMPOSITE
- ④ GEOMETRIC SIDING PER CONTRACT
- ⑤ ARCHITECTURAL SHINGLES OVER ASP FELTS ON 1/2" OSB APPLIED TO PRE-ENGINEERED WOOD TRUSSES @ 24" O.C.
- ⑥ 1/4" OVER HANG
- ⑦ BRICK UNDER OVER GYPSUM
- ⑧ STUCCO FINISH OVER GYPSUM



PRELIMINARY 7-6-20

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SITE PHOTOS
Seminole Street

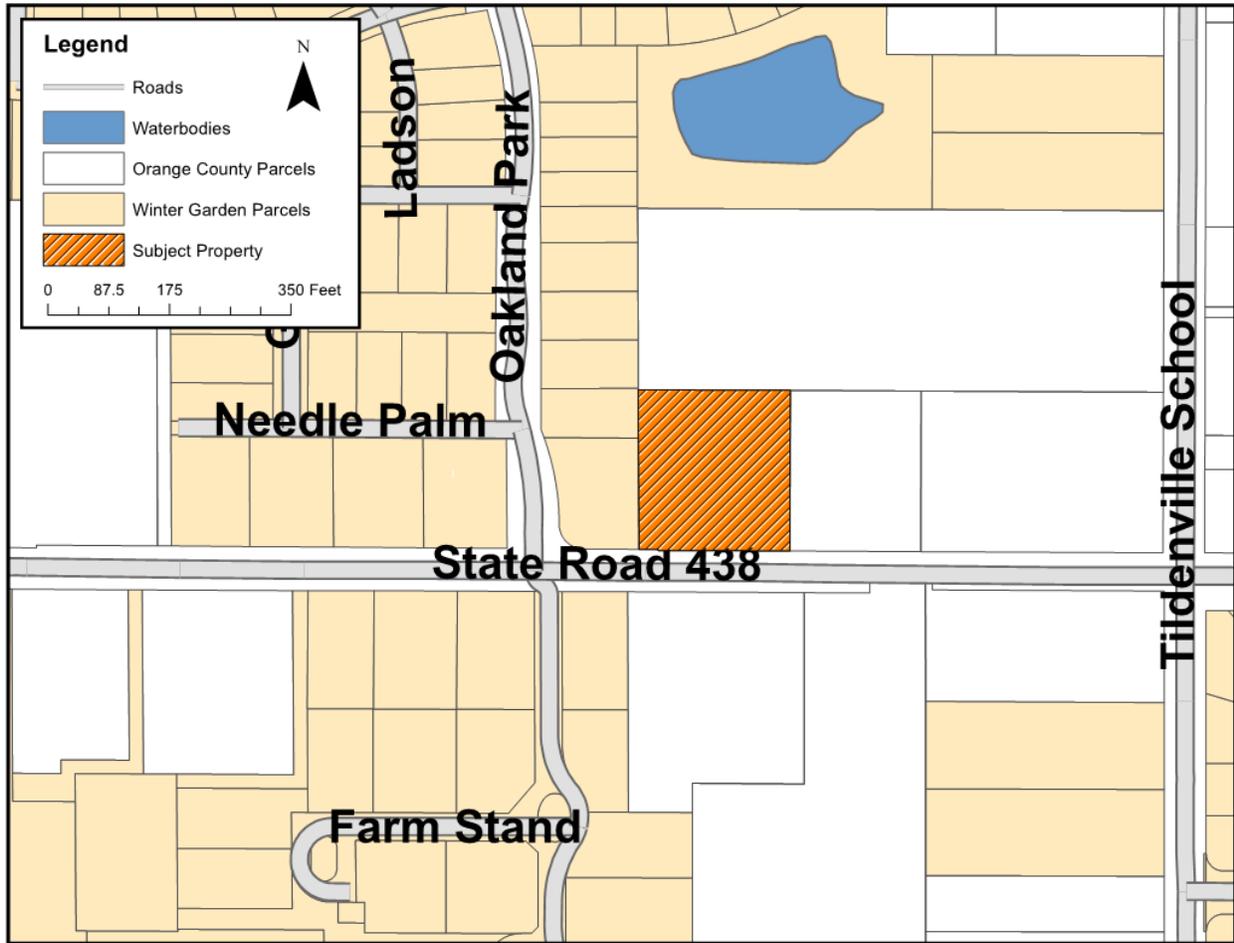


END OF STAFF REPORT

LOCATION MAP

15155 Oakland Ave

Variance



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

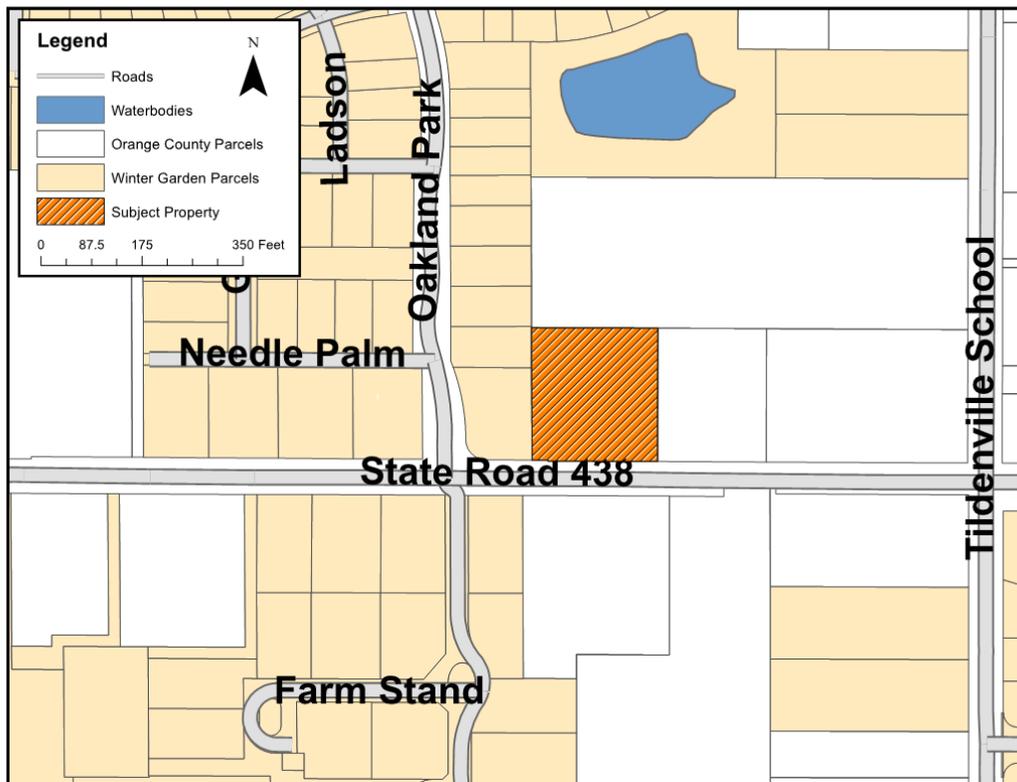
TO: PLANNING AND ZONING BOARD
PREPARED BY: Shane Friedman, Senior Planner
DATE: July 24, 2020
SUBJECT: VARIANCE
15155 Oakland Ave E (1.156 ± ACRES)
PARCEL ID #21-22-27-0000-00-125

APPLICANT: Ramos Residence

INTRODUCTION

The purpose of this report is to evaluate the request for a variance for property located at 15155 E Oakland Ave in Winter Garden, Florida. The request is to allow a four (4) foot high fence, with five (5) foot high columns and a six (6) foot high gate, in the front yard in lieu of the required three (3) foot high maximum in a residential zoning district.

The subject property, located on Oakland Ave, is an approximately 1.56 ± acre lot. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property carries the zoning designation R-1 (Residential District) and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan.

EXISTING USE

The property is currently under construction. The property will be developed with a 6,665 sq ft single-family home. This property was recently annexed into the City of Winter Garden on January 23, 2020.

ADJACENT LAND USE AND ZONING

The properties to the south, east, and north of the subject property are developed with single-family residences, are zoned A-1, and are in unincorporated Orange County. The property to the west is developed with a single-family home, is zoned PUD (Oakland Park Subdivision), and is in the City of Winter Garden's Municipal limits. The property fronts Oakland Avenue

PROPOSED USE

The applicant is requesting the variance to allow the construction of a fence and gate for the subject property's front yard. The fence is proposed to be four (4) foot high fence, with five (5) foot high columns and a six (6) foot high gate. The fence will be made from wooden slats with stone masonry columns, and a black aluminum gate.

CODE REFERENCE

Sec. 118-1297. of the City Code of Ordinances addresses the minimum yard requirements for fences and walls. This section states,

(a) Permitted in required yards. Notwithstanding other sections of this chapter, fences and walls may be permitted in any required yard or along the edge of any yard subject to the following:

- (1) Front yards. Three feet in height, and set back from the property line one-half foot. Chain link fences are not permitted in the front yard. Exceptions to no chain link fence in the front yard are:
 - a. For corner lots, the yard that is located on the side of the house oriented toward the street will be allowed for chain link fence not to exceed four feet in height along with the installation of a landscape hedge in front of the fence;
 - b. For parcels larger than two acres for agricultural use, a chain link fence not to exceed four feet in height in the front yard and six feet in height in the side and rear yard is permitted.*

The applicant is seeking a variance to the front yard fence requirement in order to build a fence and gate.

CODE REQUIREMENTS / CRITERIA

Section 118-131 of the City Code that relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning

and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue.” The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff’s comments concerning this particular petition.

- (1) *Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;*

The subject property is large at 1.56 ± acres, fronting Oakland Avenue, with similar sized properties surrounding it. Because of the size and distance between the adjacent properties, and their homes, the fence and gate will have little if any negative impact to the standard of living of nearby property owners.

- (2) *The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

The requested variance does not change the residential nature of the property and is very similar to fences and gates that exist on Oakland Avenue. The request is reasonable and not out of character for such a large property because the height of the fence and gate will not be out of proportion with the rest of the property.

- (3) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City’s land development regulations will not further any legitimate City objective.

- (4) *The granting of the variance is consistent with the city's comprehensive plan; and*

The variance is consistent with the provisions of the City’s Comprehensive Plan relating to low density residential neighborhood character.

- (5) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*

The variance requested is the minimum variance that will make reasonable use of the land as the request is to put a fence and gate on a large 1.56 ± acre property. Denying this variance does not benefit the property owner or the City.

SUMMARY

City Staff recommends approval of a variance to Section 118-1297(a)1 to allow construction of a four (4) foot high fence, with five (5) foot high columns and a six (6) foot high gate subject to the following condition(s):

- 1) The applicant will construct the fence and gate in the same style, and with similar materials, as shown in the example provided by the applicant for this request.
- 2) Applicant must follow all other fence code requirements.

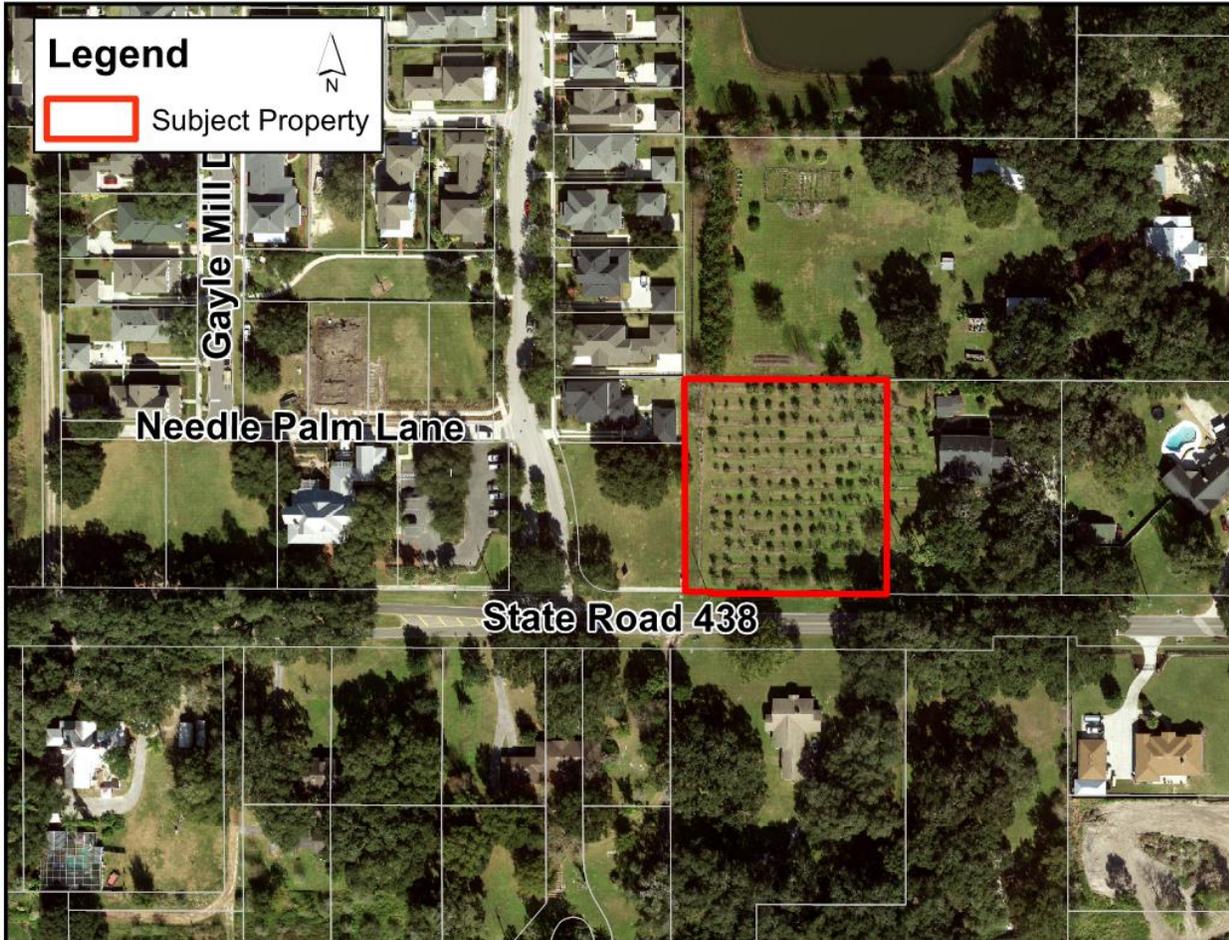
NEXT STEP

Follow all City regulations and apply for building permits.

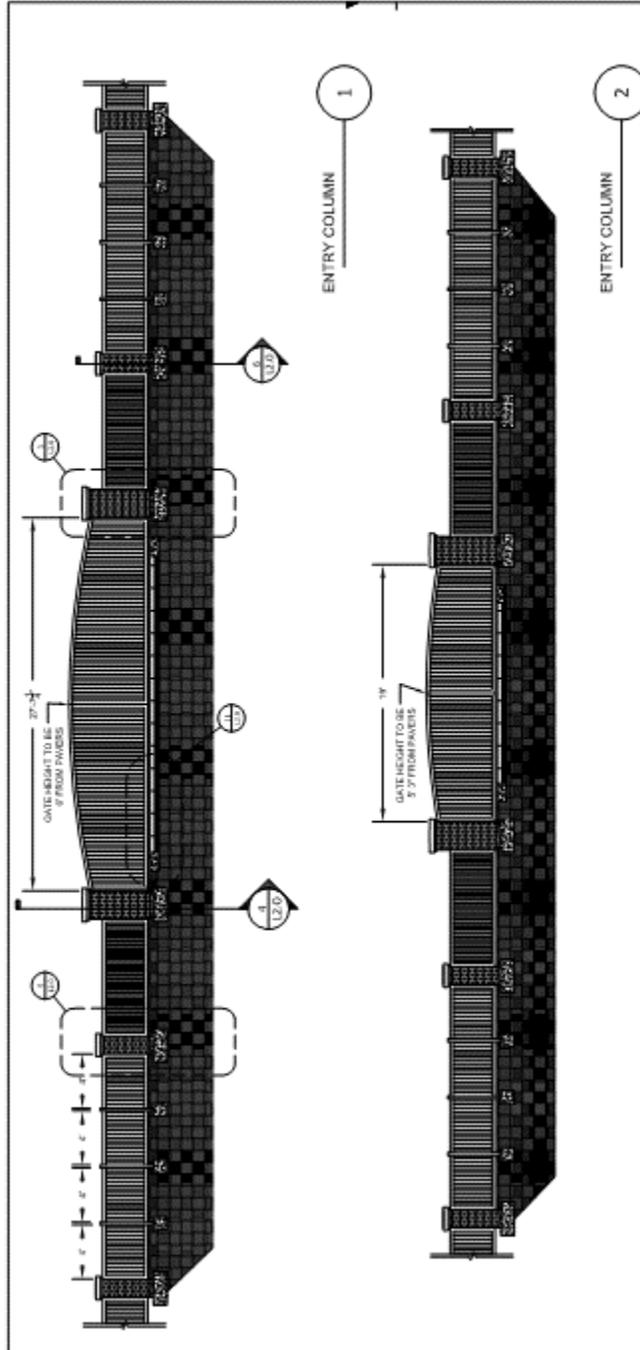
ATTACHMENTS

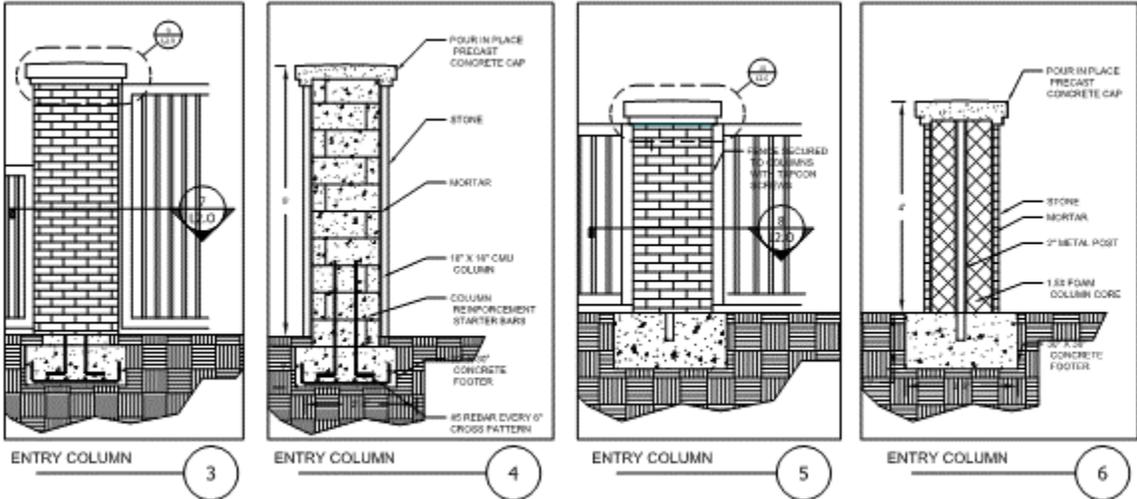
- Aerial Photo
- Survey and Elevations
- Site Photos

AERIAL PHOTO
15155 E Oakland Ave



Elevations for Columns and Gate
(Fence will be wooden like example provided by applicant)
15155 E Oakland Ave





Example
15155 E Oakland Ave



SITE PHOTOS
15155 E Oakland Ave

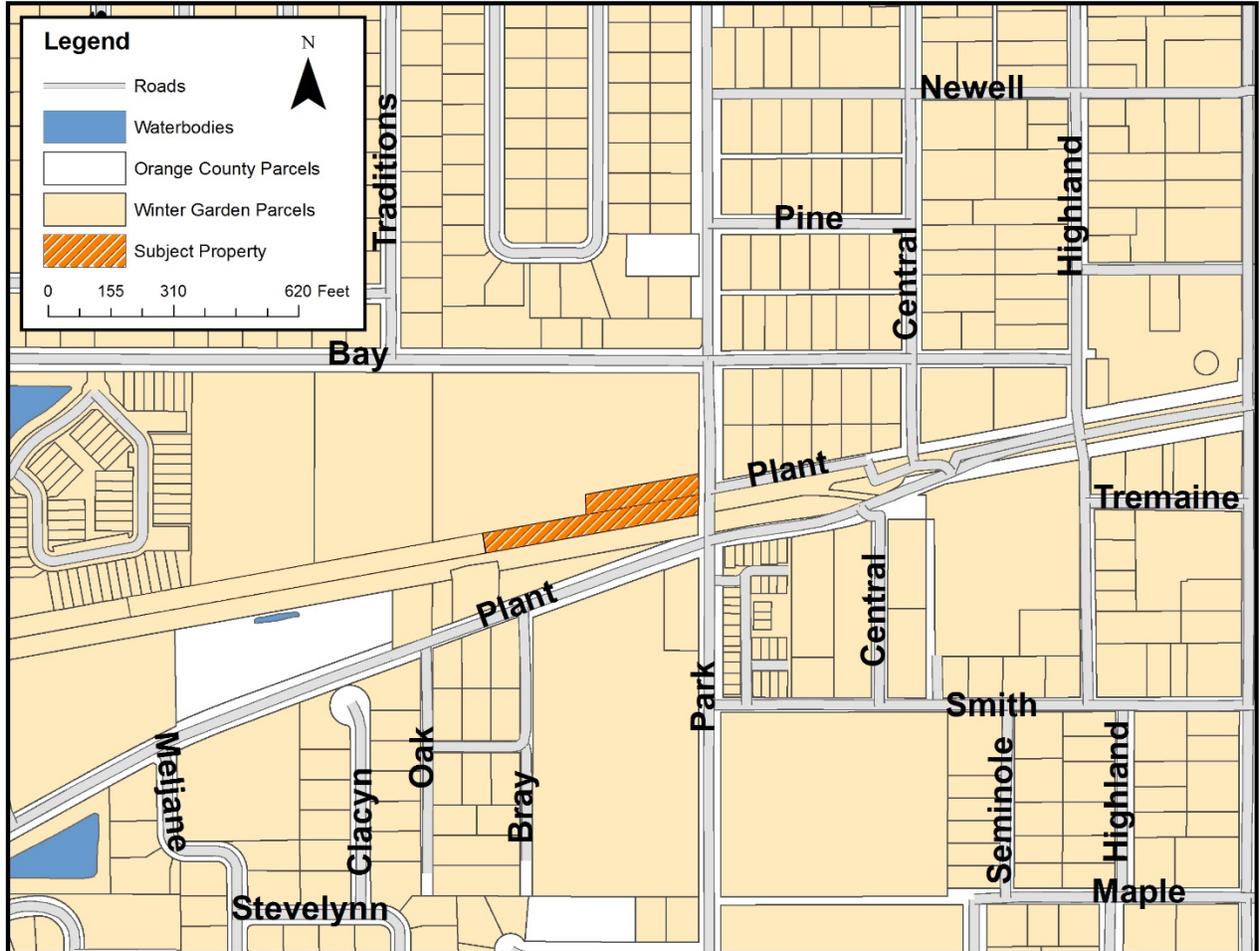




END OF STAFF REPORT

LOCATION MAP

30 N Park Preliminary Plat



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

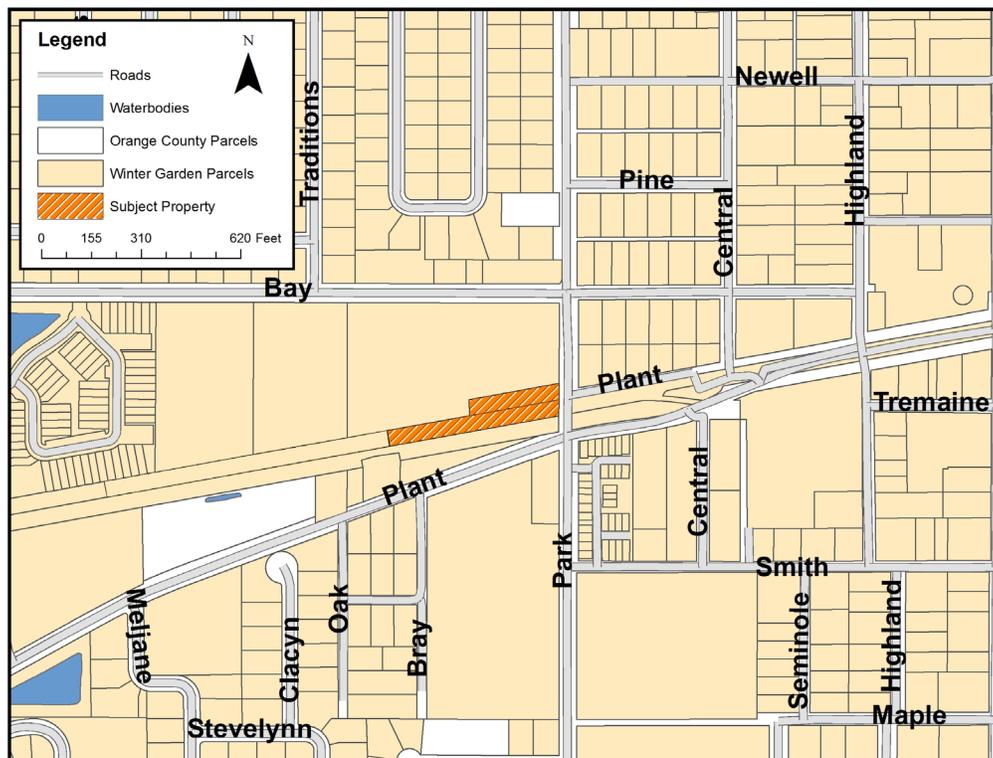
TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: JULY 24, 2020
SUBJECT: PRELIMINARY PLAT – 30 N Park Subdivision
30 N Park Ave & S Park Ave (0.91 +/- AC)
PARCEL ID # 22-22-27-0000-00-117 (partial), 22-22-27-0000-00-090

APPLICANT: 30 N Park LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan

The subject property consists of two parcels. One parcel is located at 30 N Park Avenue and the other parcel does not have an address, but is labeled as “S Park Avenue” by the Orange County Property Appraiser. The subject property is generally located north of West Plant Street, west of N/S Park Avenue, and south of W Bay Street and is approximately 0.91 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting approval of the Preliminary Plat of the 0.91 ± acre property, which is known as the 30 N Park subdivision, to develop 9 new townhome lots with 2 common area tracts for open space and stormwater. The subject property is located within the City of Winter Garden's municipal limits, and was recently rezoned to PUD (Ord 19-48). The subject property has a Future Land Use Designation of Medium Density Residential (Ord 19-47).

EXISTING USE

The subject property is currently undeveloped, with scattered trees and other vegetation. The City currently owns and maintains the property to the south (S Park Ave), but the applicant is currently coordinating with the City to purchase the property for the project.

ADJACENT LAND USE AND ZONING

The property to the north and west of the subject property is developed with multi-family residential buildings, is zoned R-2, and is located within the City of Winter Garden's jurisdictional limits. Also to the west is a portion of a City-owned parcel that is undeveloped, zoned NZ (No Zoning) and is located in Winter Garden. The property to the south is developed with a segment of the West Orange Trail, is zoned NZ (No Zoning) and is located in the City. The properties to the east of the subject property include another segment of the West Orange Trail and a property that is developed with a single-family residence. This property is zoned R-2 and is located in the City.

PROPOSED USE

The proposed development includes developing 9 new townhome units over two separate buildings: one townhome building will include 5 units and the other will include 4 units. The property will also include associated site development such as common recreation areas, a surface parking lot, sidewalks, and a stormwater retention area. An existing 12" reclaimed water main and 18" force main are proposed to be moved to accommodate the new development.

SUMMARY

City Staff recommends conditional approval of the Preliminary Plat subject to the following condition(s):

- Final easement widths and alignment will need to be determined after review of the final construction plans and as shown on the final plat.

The minimum width for an easement within the City of Winter Garden is 30', per Code, with the facility centered within the easement. Easements having more than one pipe shall adhere to Section 110-203 of the City Code requiring easement widths based on the following: Minimum Easement Width = (2) x (Depth of Pipe) + (Pipe Diameter + 7'). Provide cross-sections showing pipes, etc.

- The trash cans shown on Park Ave shall be permitted to be in this location only during the designated trash pickup day and must otherwise be stored inside the buildings
- Recreation mitigation fees may be required for any required recreation areas that are not able to be located on site. This fee is based on the fair market price of the land that would otherwise be dedicated to recreation
- During plan review, the Building Department will be reviewing the building as a 3 story

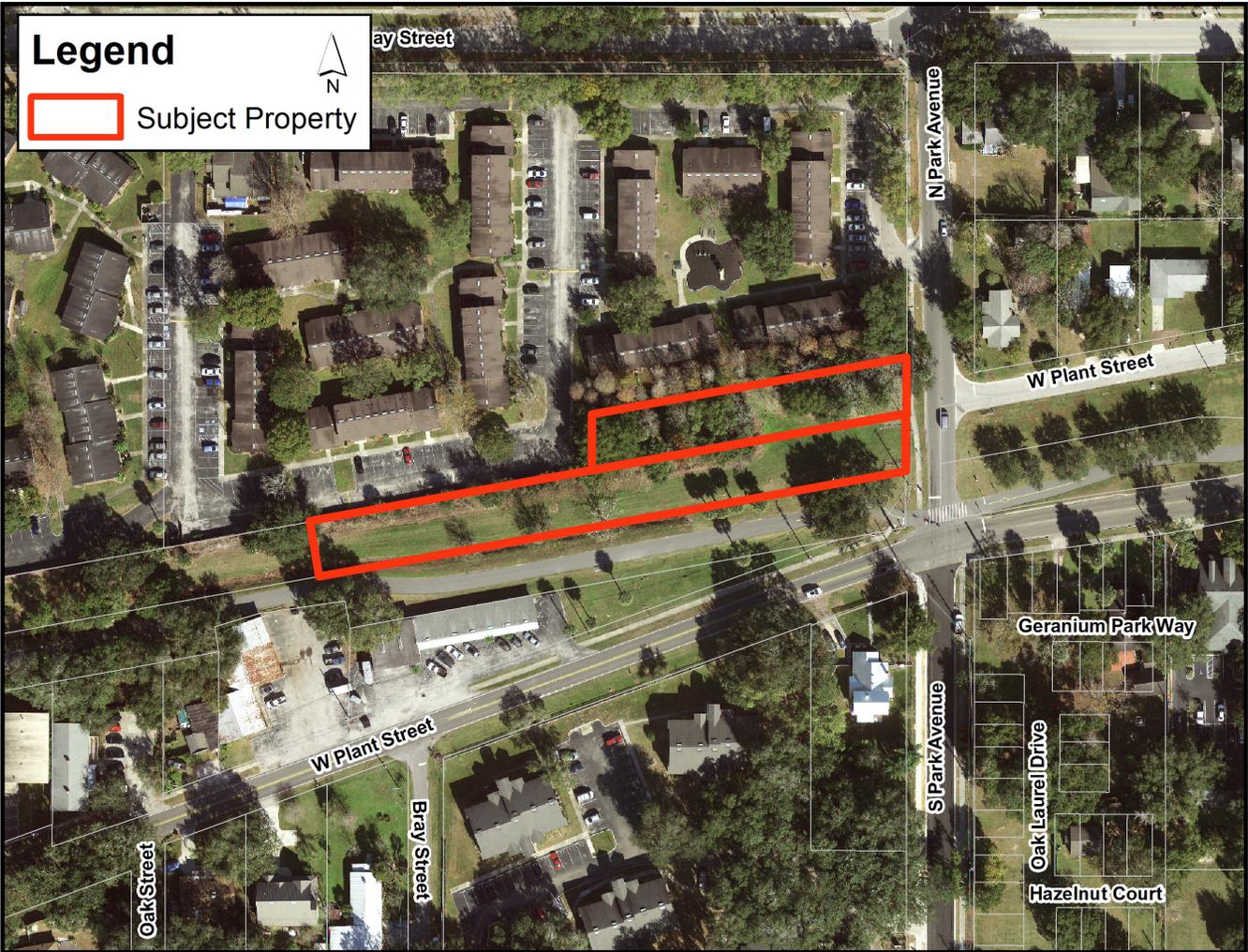
building. The use and determination of “ rooftop structures” will be done at that time as it is not possible to determine at this time.

- The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
- All work shall conform to City of Winter Garden standards and specifications.
- The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
- The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
- No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
- After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the site or building permit (less what has already been paid).

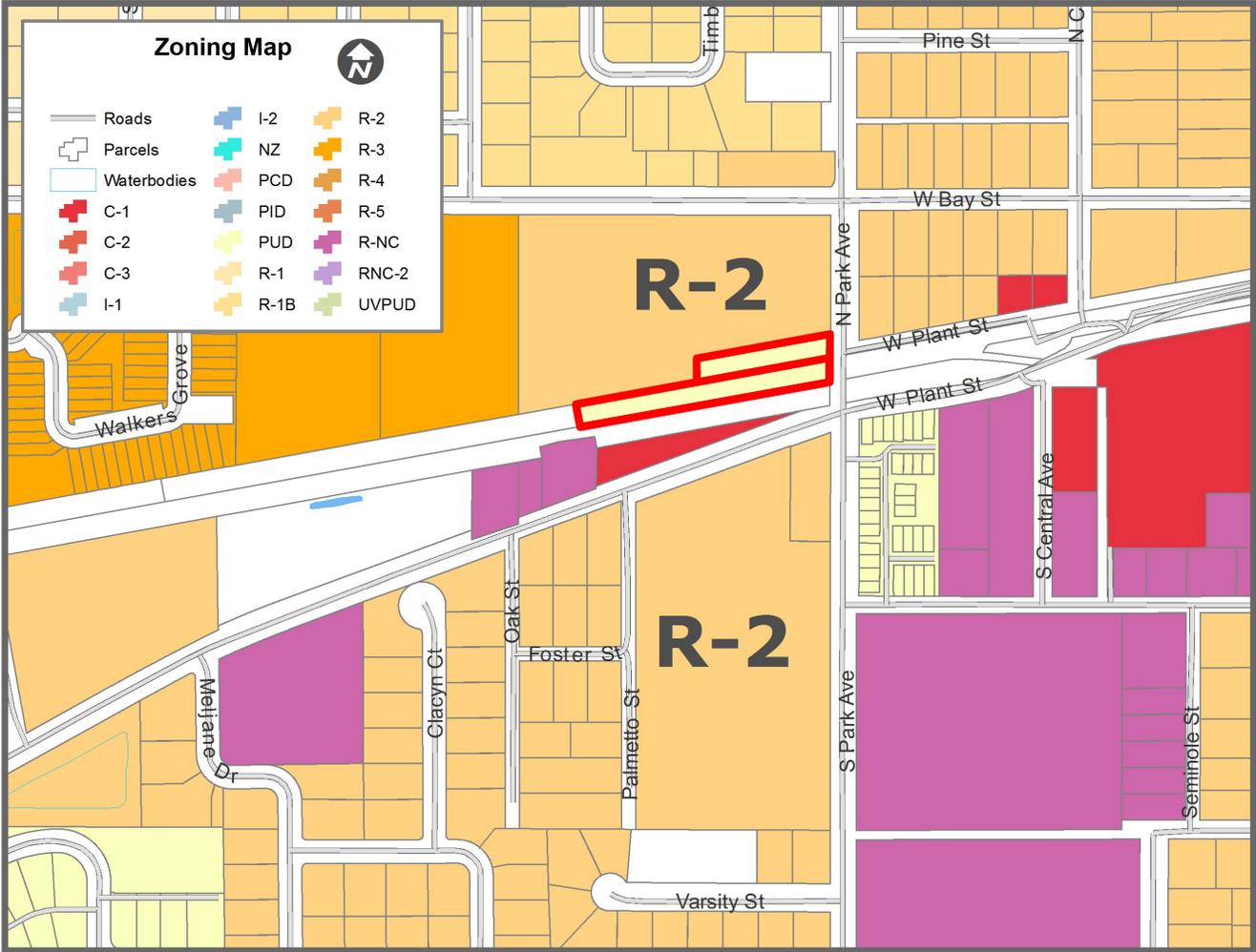
MAPS

- Aerial Photo
- Zoning Map
- Future Land Use Map

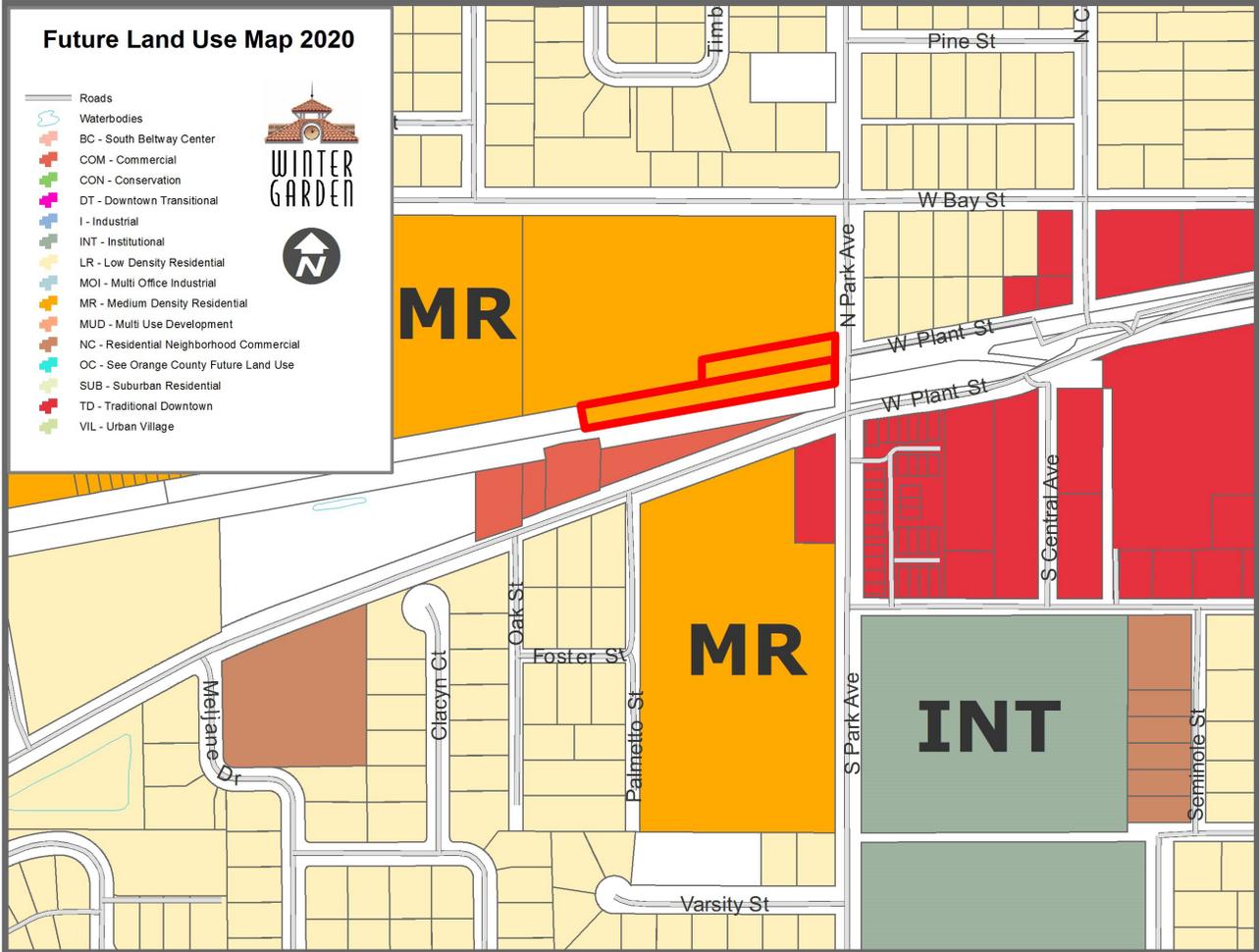
AERIAL PHOTO
30 N Park Ave



ZONING MAP
30 N Park Ave



FUTURE LAND USE MAP
30 N Park Ave



END OF STAFF REPORT

ABBREVIATIONS

A	F	P
B	G	Q
C	H	R
D	I	S
E	J	T
K	L	U
M	N	V
O	W	X
Q	Y	Z

EXISTING SYMBOLS

SYMBOLS MAY VARY DEPENDING UPON SURVEYOR'S STANDARD SYMBOLS

LINES			
	CENTER LINE		BUILDING LINE
	WIRE FENCE		CONTOURS
	CHAIN LINK FENCE		RAILROAD TRACKS
	WOOD FENCE		GAS MAIN
	GUARDRAIL		UNDERGROUND ELECTRIC
	EXISTING FLATS		UNDERGROUND TELEPHONE
	RETAINING WALL		OVERHEAD ELECTRIC
	RIGHT-OF-WAY LINE		OVERHEAD TELEPHONE
	SHORELINE		UNDERGROUND CABLE TELEVISION
	SWALE		EASEMENT
SANITARY			
	SANITARY SEWER LINE		FORCE MAIN
	CLEANOUT		MANHOLE
WATER & REUSE WATER			
	WATER MAIN 8" PVC PIPE		WATER VALVE
	REUSE WATER MAIN		FIRE HYDRANT
	BACKFLOW PREVENTOR		WATER METER
STORM DRAIN			
	STORM SEWER		FOOT TYPE 1 INLET
	MANHOLE		FOOT TYPE 2 INLET
	WETTED END		FOOT TYPE 3 INLET
	STORM INLET		FOOT TYPE 4 INLET
	FOOT TYPE 5 INLET		FOOT TYPE 5 INLET
HIGHWAY & UTILITIES			
	BENCHMARK		GUY POLE
	RECOVERED 4x4 CM		WOOD UTILITY POLE
	SET 4x4 CM		CONCRETE UTILITY POLE
	SET IRON ROD		ELECTRIC MANHOLE
	RECOVERED IRON ROD		TELEPHONE MANHOLE
	CONCRETE		TELEPHONE RISER
	COUNTY ROADS		ELECTRIC BOX / TRANSFORMER
	INTERSTATE ROADS		WELL
	STATE ROADS		MONITORING WELL
	WOOD AND/OR METAL LIGHT POLE		DUMPSTER
	CONCRETE LIGHT POLE		RR CROSSING SIGN
	YARD LIGHT		RR CROSSING GATE
	MISCELLANEOUS SIGN		TRAFFIC SIGNAL POLE
	SECTION CORNER		SATELLITE DISH
	EDGE OF PAVEMENT W/O CURB		GUY WIRE
	EDGE OF PAVEMENT W/CURB		POINT
			HANDICAP PARKING
			SPOT ELEVATION
			BRICK PAVERS
			DIRT ROAD
			8" MAPLE TREE
			8" OAK TREE
			8" PINE TREE
			8" PALM TREE
			8" MISC. TREE

PROPOSED SYMBOLS

LINES		STORM DRAIN	
	BOUNDARY		100 LF STS 24 RCP @ 0.20%
	CONSERVATION SETBACK		100 LINEAR FEET STORM PIPE 24" REINFORCED CONCRETE PIPE @ 0.20%
	CENTER LINE		DRAINAGE FLOW DIRECTION
	CHAIN LINK FENCE		FOOT INLET TYPE 1
	CONTOUR		FOOT INLET TYPE 2
	EASEMENT		FOOT INLET TYPE 3
	FENCE		FOOT INLET TYPE 4
	GUARDRAIL		FOOT INLET TYPE 5
	LOT LINE		FOOT INLET TYPE 6
	PROPERTY LINE		FOOT INLET TYPE 8
	RETAINING WALL		MANHOLE
	RIGHT-OF-WAY LINE		WETTED END SECTION
	SETBACK LINE		ENERGY DISSIPATOR
	SHORELINE		SLOPE DIRECTION ARROW FOR POND SIDE SLOPE
	SWALE		SPOT ELEVATION
	TREE LINE		FOOT INLET TYPE 10" OR 12"
SANITARY		HIGHWAY & UTILITIES	
	100 LF SAN 8 PVC 0.40%		BOUND CORNER
	100 LINEAR FEET SANITARY 8" PVC PIPE @ 0.40% SLOPE		CONCRETE
	CLEANOUT		COUNTY ROADS
	DOUBLE SANITARY SERVICE		DETAIL REFERENCE
	FORCE MAIN		DUMPSTER PAD
	MANHOLE		FINISHED FLOOR ELEVATION W/ FHA LOT TYPE
			GUY POLE
			HANDICAP PARKING
			INTERSTATE ROADS
			LIGHT POLE
			SIGNS
			SECTION CORNER
			STATE ROADS
			SILT FENCE
			TRAFFIC FLOW PAVEMENT MARKING
			UTILITY POLE
			BLDG OR STRUCTURE
			TYPE 7 CURB & GUTTER
			MIAMI CURB
			CROSS SECTION DETAIL
WATER & REUSE WATER			
	WATER MAIN		11 1/2" BEND
	11 1/2" BEND		22 1/2" BEND
	45° BEND		90° BEND
	TEE		CROSS
	CHECK VALVE		DOUBLE DETECTOR CHECK VALVE
	DOUBLE WATER SERVICE		GATE VALVE
	FIRE HYDRANT		METER
	REDUCER		BLOWOFF
	SAMPLE POINT		BACKFLOW PREVENTOR
	UNDERDRAIN (SEWAGE)		RECLAIMED WATER MAIN
	REUSE WATER SYSTEM CONNECTION		DOUBLE REUSE WATER SERVICE

Revisions: 6-11-17

Denham Engineering, LLC
 15 Years
 2005 - 2020
 718 N. Lake Parkway Dr.
 Orlando, FL 32808
 Office - 407-217-6487
 info@denhameng.com
 www.denhameng.com

Owner:
30 N. Park, LLC
 528 W. Plant St.,
 Winter Garden, FL 34787

Project:
30 N. Park Town Homes at Winter Garden

Plan Set:
Preliminary Plat

Sheet:
Symbols & Abbreviations

NO.	DATE	DESCRIPTION
1	02-27-20	ADDED NEW
2		
3		
4		
5		
6		
7		
8		

Plan set valid unless signed, dated and sealed below.

J. Brian Denham, P.E.
 Date: 02-27-20
 P.E. Registration #28828
 Certificate of Authorization #20000

GRAPHIC SCALE
 0 30 60
 N.T.S.

Sheet Number
PP201



Denham Engineering, LLC
 15 Years
 2005 - 2020
 7900 Lake Forest Dr.
 Orlando, FL 32825
 Office: 407-671-6477
 denham@denhamllc.com
 www.denhamllc.com

Client:
30 N. Park, LLC
 200 W. Beach,
 West Melbourne, FL 32909

Project:
**30 N. Park
 Town
 Homes at
 Winter
 Garden**

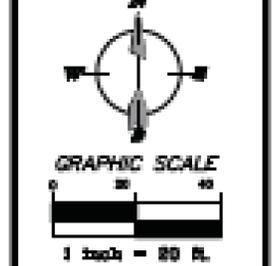
Phase:
**Preliminary
 Plat**

Map:
Lot Plan

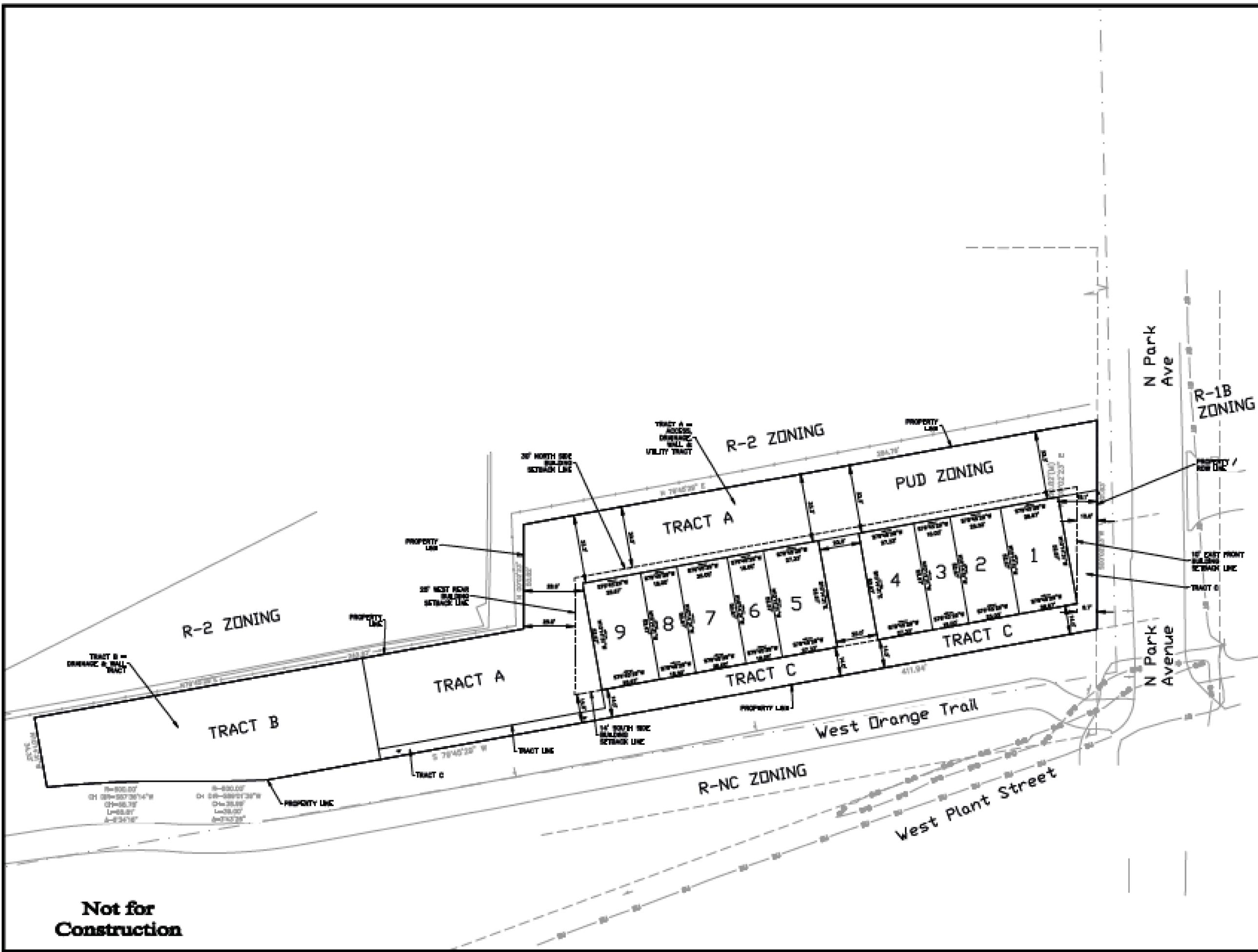
Summary

Lot	Area (sq. ft.)	Area (sq. ft.)
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Prepared and dated: 08/11/2020
 Title: Preliminary Plat
 Project: 30 N. Park, LLC
 Client: 30 N. Park, LLC
 Location: Winter Garden, FL



Sheet Number:
PP300



**Not for
 Construction**

SITE DATA:
 PROJECT NO. 22-02-07-000-00-00 & 22-02-07-000-00-17
 PROJECT AREA: 0.15 AC
 FUTURE LAND USE (ZONING): R-2
 FUTURE LAND USE (PROPOSED): R-2
 ZONING DISTRICT: R-2
 ZONING PROVISIONS: R-2
 SURROUNDING LAND USE: SURROUNDING ZONING:
 NORTH: R-2
 WEST: R-2
 EAST: R-2
 SOUTH: R-2

PROPOSED DEVELOPMENT:
 TOTAL PROJECT AREA: 0.15 AC
 TOTAL GROSS BUILDING AREA: 10,000 SF
 TOTAL GROSS FLOOR AREA: 10,000 SF
 TOTAL DEVELOPABLE AREA: 0.15 AC = 6,534 SF = 36.9%

RETRIBUTION REQUIREMENTS:
 FRONT YARD: 10 FEET
 SIDE YARD: 5 FEET
 REAR YARD: 10 FEET

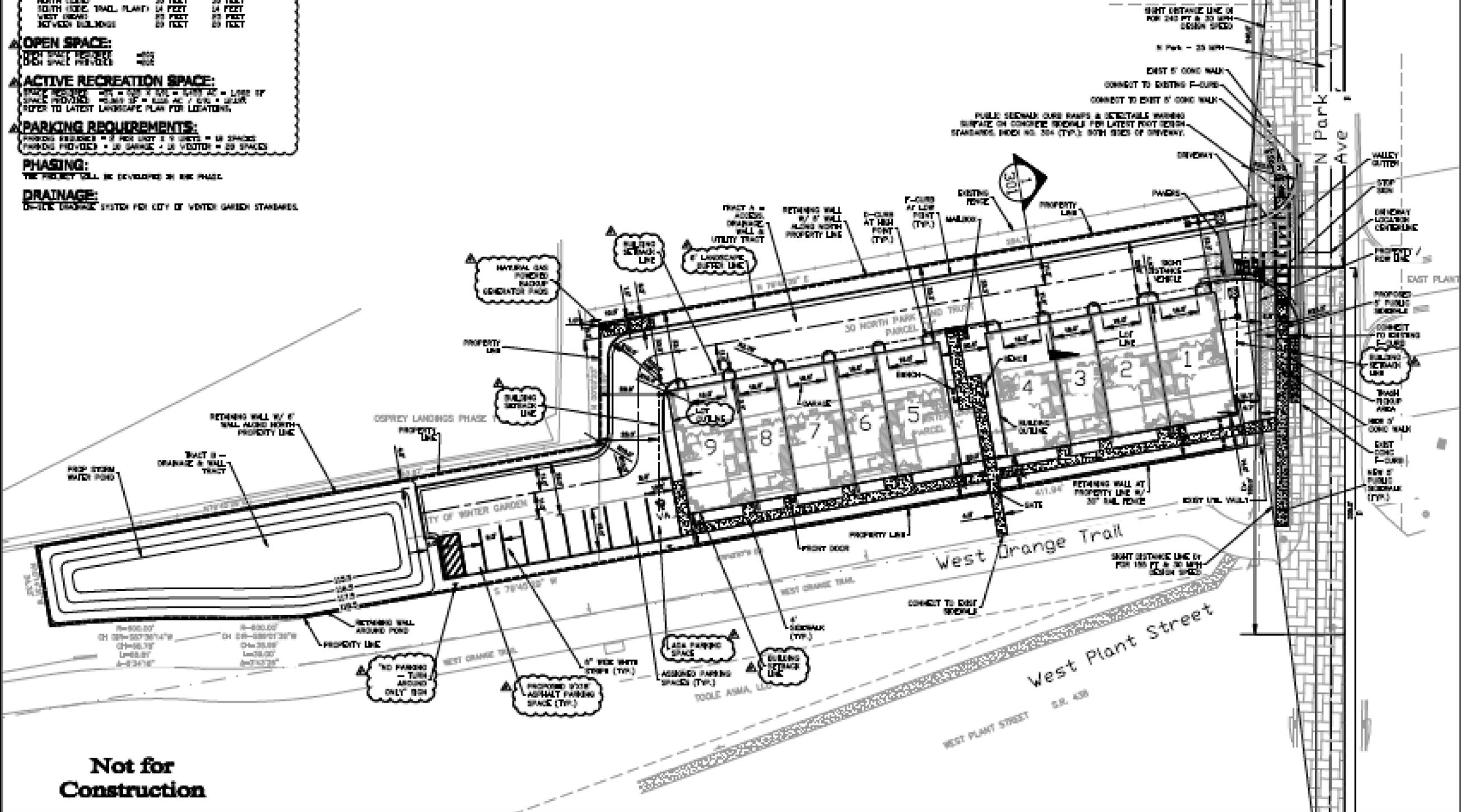
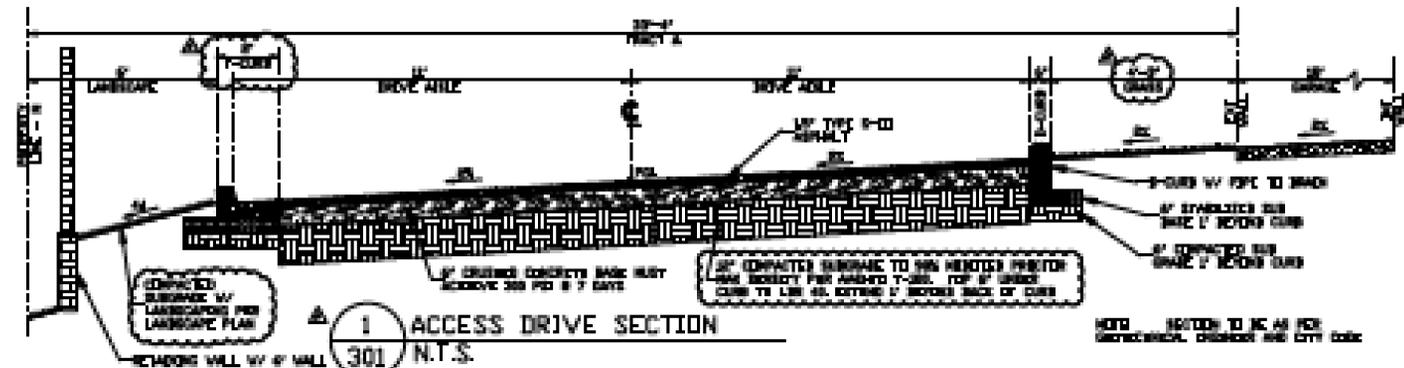
OPEN SPACE:
 OPEN SPACE PROVIDED: 0.05 AC

ACTIVE RECREATION SPACE:
 ACTIVE RECREATION SPACE PROVIDED: 0.05 AC

PARKING REQUIREMENTS:
 PARKING PROVIDED: 25 GARAGE + 25 VISITOR = 50 SPACES

PHASING:
 THE PROJECT WILL BE DEVELOPED IN ONE PHASE

DRAINAGE:
 ON-SITE DRAINAGE SYSTEM FOR CITY OF WINTER GARDEN STANDARDS



Denham Engineering, LLC
 15 Years
 2005 - 2020
 1700 E. Lake...
 Office: 407-471-0007
 www.DenhamEng.com

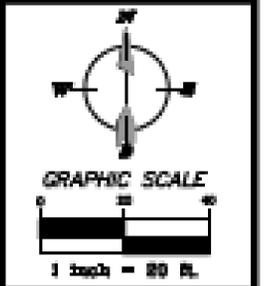
30 N. Park, LLC
 30 N. Park, LLC
 Winter Garden, FL 32787

30 N. Park Town Homes at Winter Garden

Preliminary Plat
 Dimension Plan

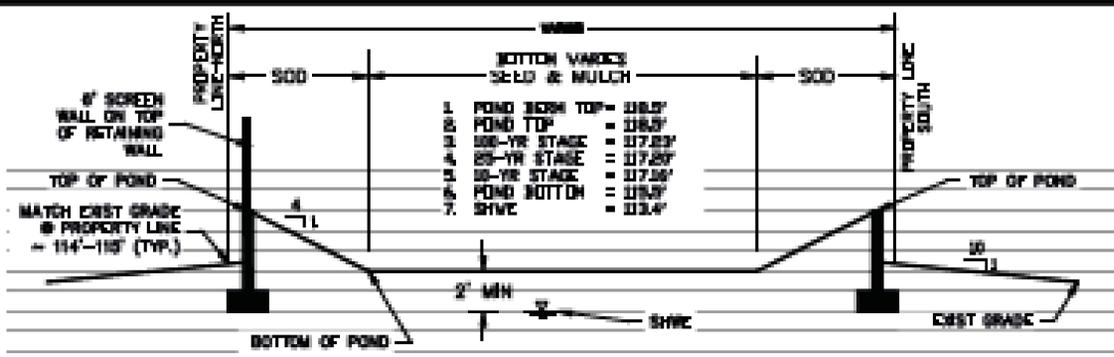
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1	11/11/2022	PRELIMINARY PLAT
2	11/11/2022	PRELIMINARY PLAT
3	11/11/2022	PRELIMINARY PLAT
4	11/11/2022	PRELIMINARY PLAT
5	11/11/2022	PRELIMINARY PLAT
6	11/11/2022	PRELIMINARY PLAT
7	11/11/2022	PRELIMINARY PLAT
8	11/11/2022	PRELIMINARY PLAT
9	11/11/2022	PRELIMINARY PLAT
10	11/11/2022	PRELIMINARY PLAT

T. John Denham, P.E.
 State of Florida
 Professional Engineer
 License No. 12345



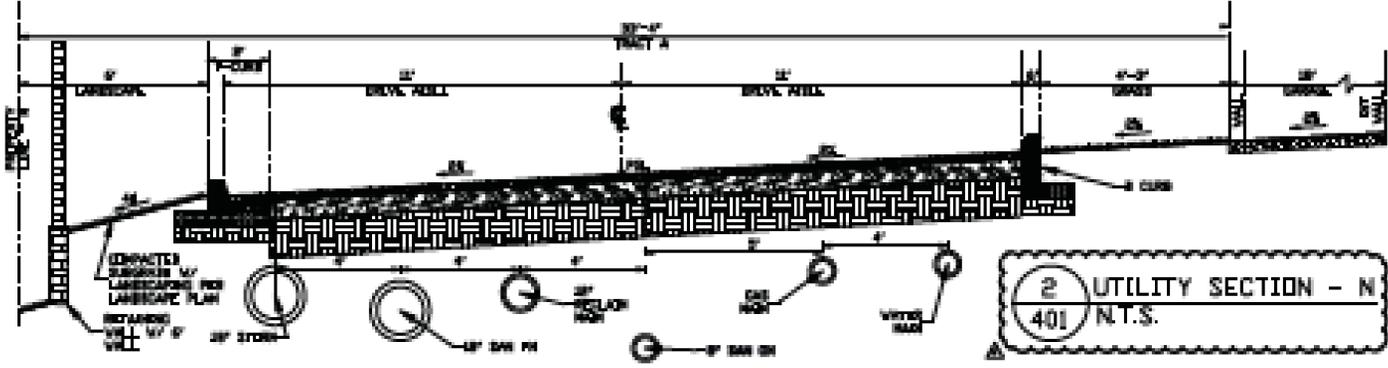
Sheet Number
PP301

Not for Construction

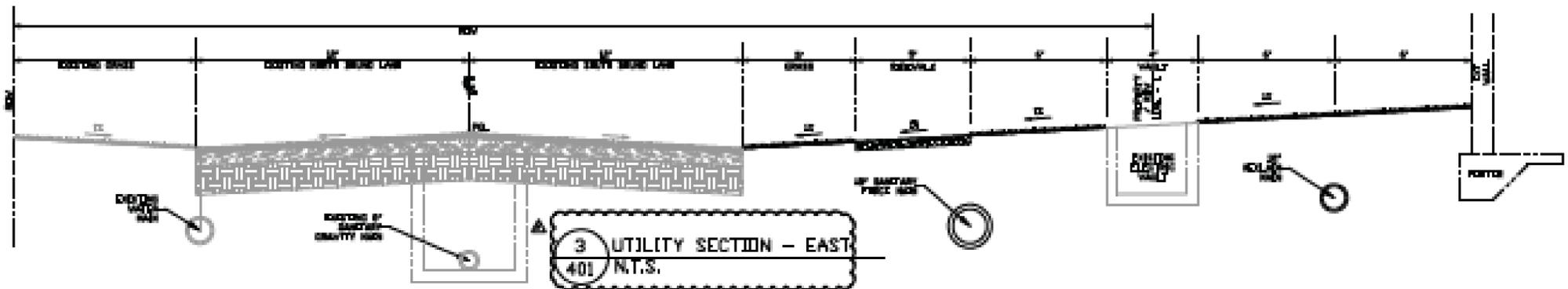


- GEOTECHNICAL NOTES**
- LATEST GEOTECH REPORT IS INCORPORATED AS PART OF THESE PLANS. RECOMMENDATIONS ARE TAKEN FROM GEOTECHNICAL REPORT 489482 DATED MAY 3, 2019 AND AS PUBLISHED BY GEC.
 - THE CONTRACTOR SHALL OBTAIN ALL LATEST GEOTECHNICAL REPORTS AND ARCHIVING PRIOR TO STARTING CONSTRUCTION.
 - A REPRESENTATIVE FROM GEOTECH SHALL APPROVE ALL BACKFILL MATERIAL AND SHALL SUPERVISE THE CONSTRUCTION OF THE SWALES.

1 DRY STORM POND
400 N.T.S.

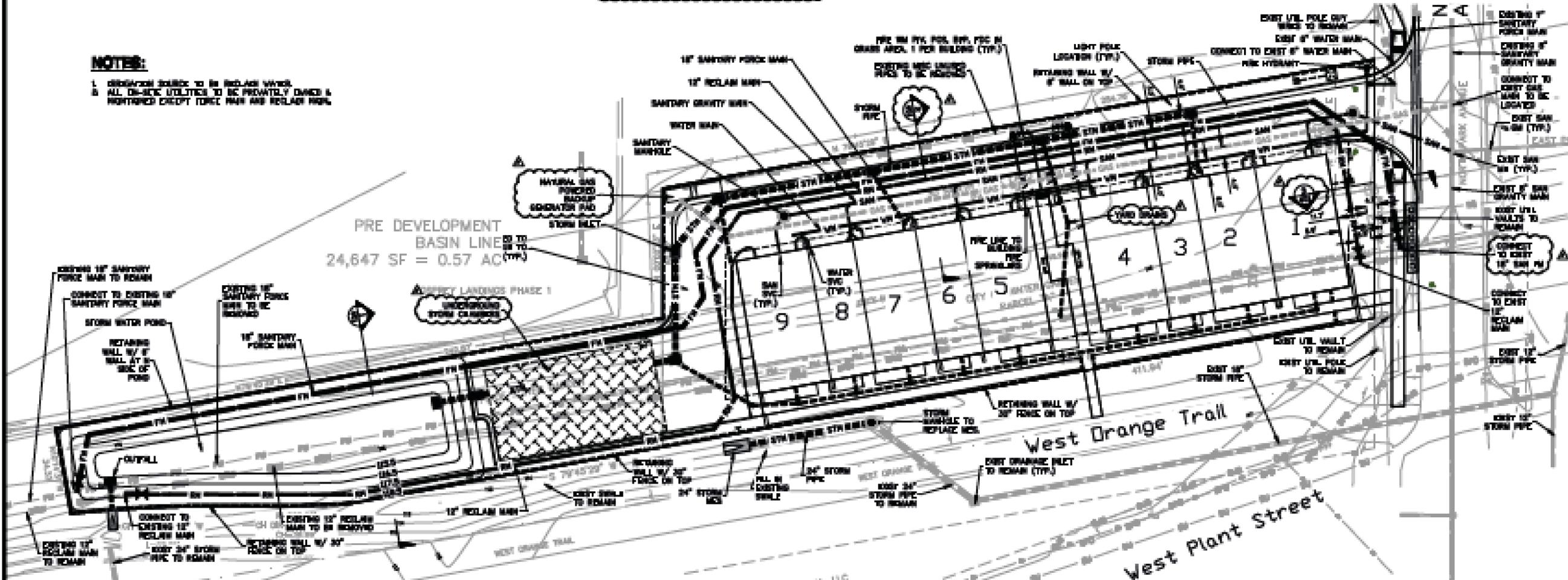


2 UTILITY SECTION - N
401 N.T.S.



3 UTILITY SECTION - EAST
401 N.T.S.

- NOTES:**
- REGULATION SOURCE TO BE REPLACED WHERE.
 - ALL ON-SITE UTILITIES TO BE PROMPTLY DANCED & REINSTATED CREDIT FORCE MAIN AND RECLAIM MAIN.



Denham Engineering, LLC
15 Years
2005 - 2020
1700 N. Lake Street
Gainesville, FL 32609
Office: 352-327-6447
Mobile: 352-327-6447
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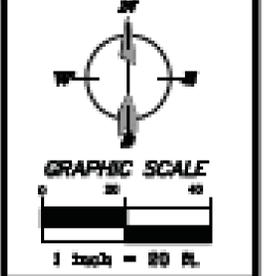
30 N. Park, LLC
30 N. Park
Winter Garden, FL 32787

30 N. Park
Town Homes at
Winter Garden

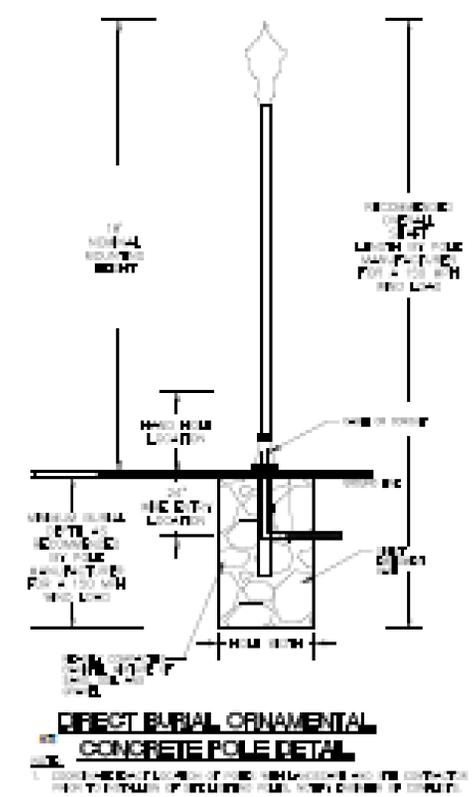
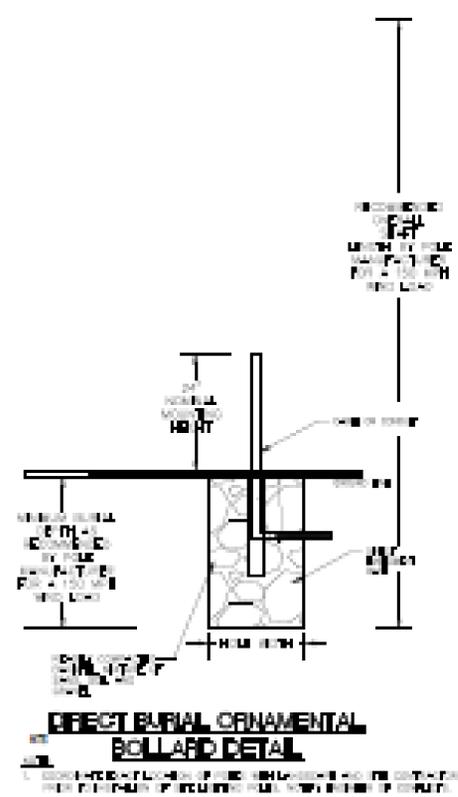
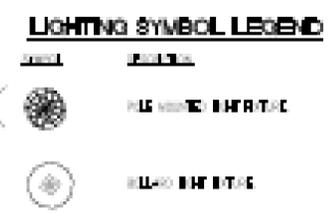
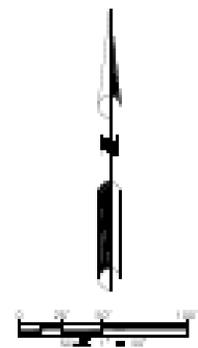
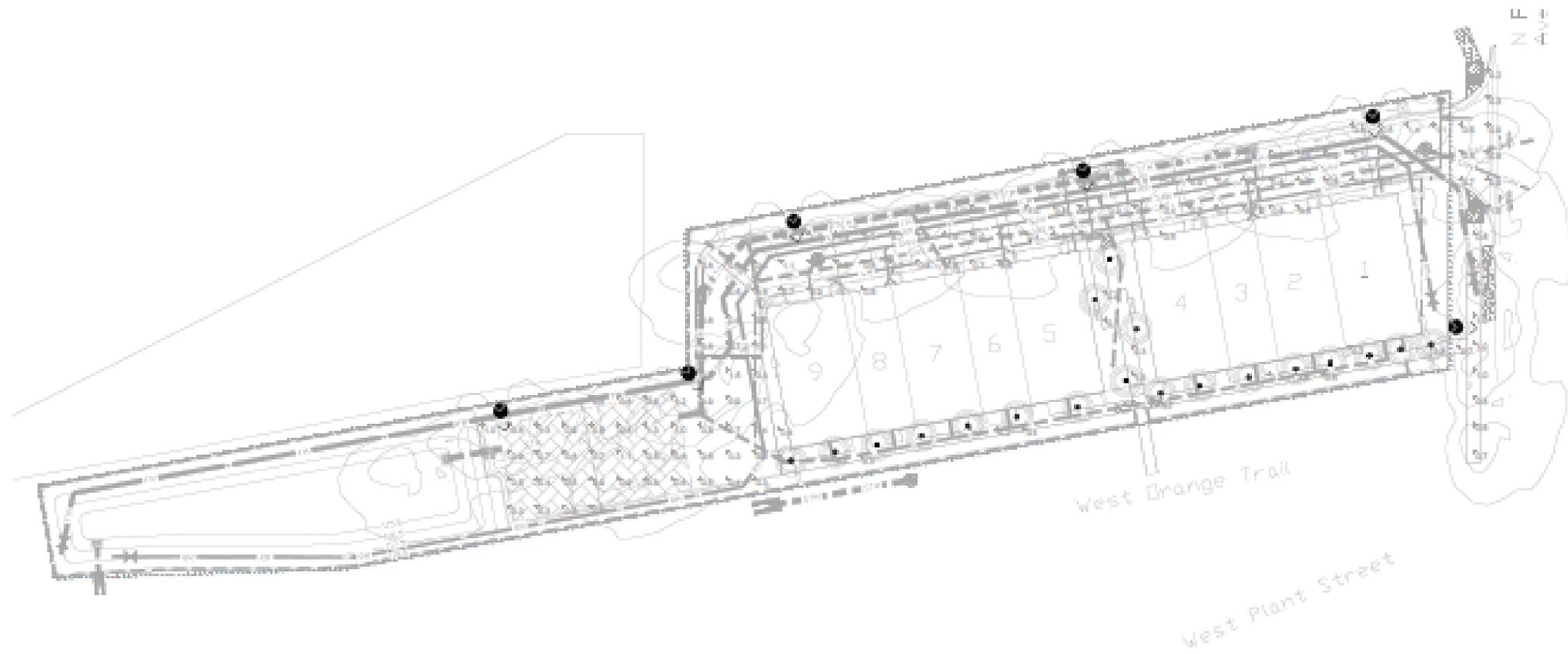
Preliminary
Plan
Grading,
Drainage &
Utility Plan

NO.	DATE	DESCRIPTION
1	01/15/2020	PRELIMINARY PLAN
2	01/15/2020	PRELIMINARY PLAN
3	01/15/2020	PRELIMINARY PLAN
4	01/15/2020	PRELIMINARY PLAN
5	01/15/2020	PRELIMINARY PLAN
6	01/15/2020	PRELIMINARY PLAN
7	01/15/2020	PRELIMINARY PLAN
8	01/15/2020	PRELIMINARY PLAN
9	01/15/2020	PRELIMINARY PLAN
10	01/15/2020	PRELIMINARY PLAN

J. Brian Denham, P.E.
Professional Engineer
State of Florida
License No. 12400
Member of Professional Engineers



Sheet Number
PP401



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BOUNDARY and TOPOGRAPHIC SURVEY
 of
 NORTHWEST CORNER OF PARK AVE. & PLANT ST.
 SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST
 ORANGE COUNTY, FLORIDA

FOR:

DATE	DESCRIPTION

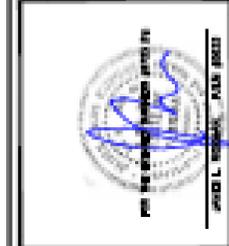
DATE	DESCRIPTION

SITE LIGHTING PLAN
EL1



BOUNDARY and TOPOGRAPHIC SURVEY
OF
NORTHWEST CORNER OF PARK AVE. & PLANT ST.
SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST
ORANGE COUNTY, FLORIDA

FOR:



NO.	DATE	REVISIONS
1	2/13/2018	ISSUED FOR PERMIT
2	2/13/2018	ISSUED FOR PERMIT
3	2/13/2018	ISSUED FOR PERMIT
4	2/13/2018	ISSUED FOR PERMIT
5	2/13/2018	ISSUED FOR PERMIT
6	2/13/2018	ISSUED FOR PERMIT
7	2/13/2018	ISSUED FOR PERMIT
8	2/13/2018	ISSUED FOR PERMIT
9	2/13/2018	ISSUED FOR PERMIT
10	2/13/2018	ISSUED FOR PERMIT

JOB #	20180201
DATE	2/13/2018
SCALE	1" = 30'
CALC BY	20180201
PLD BY	20180201
DRAWN BY	20180201
CHECKED BY	ALLEN

LEGAL DESCRIPTION: PARCEL "A" (as provided in Title Commitment)

A parcel of land lying in Section 22, Township 22 South, Range 27 West, Orange County, Florida, being a portion of the land described in Official Records Book 2017, Pages 2287 through 2288, Public Records of Orange County, Florida, being more particularly described as follows:

Commencing at the Southwest corner of the Northeast 1/4 of Section 22, Township 22 South, Range 27 East, Orange County, Florida, run North 02°02'27" East for a distance of 2,228.85 feet along the East boundary of said Northeast 1/4 to a point on the Northerly right-of-way line of the former Trolley and Rail Railroad as described and recorded in Deed Book 151, Page 407, Public Records of Orange County, Florida for the POINT OF BEGINNING, said point of Beginning also being on the Southerly right-of-way line of the former Orange Belt Railway Company Railroad as described and recorded in Deed Book 40, Page 275, Public Records of Orange County, Florida, thence departing easterly East boundary line of Section 22, run North 79°42'07" West along said Southerly right-of-way line for a distance of 215.24 feet, thence departing said Southerly right-of-way line run North 02°02'27" East, parallel to the aforesaid East line of Section 22 for a distance of 30.00 feet, thence run North 79°42'07" East for a distance of 215.24 feet to a point on the aforesaid East boundary line of Section 22, thence run South 02°02'27" West along said West boundary line for a distance of 30.00 feet to the POINT OF BEGINNING.

Less and except five East 30.00 feet thereof for right of way.

LEGAL DESCRIPTION: PARCEL "B" (as provided in Title Commitment)

Beginning at a point on the Westerly E-O-W line of Park Avenue, said point located 25 feet Northerly, as measured at Right Angles, from the center line of Grant's West Walk, from the P.O.B. thus described, run thence Westerly parallel with the Center line 300 feet, thence Northerly parallel with the said Westerly E-O-W line of Park Avenue 30 feet, more or less, to a point located 75 feet Northerly, as measured at right angles, from the Center Line, thence Easterly parallel with said Center line 300 feet to the said Westerly E-O-W line of Park Avenue, thence Southerly along the said Westerly E-O-W line of Park Avenue 50 feet, more or less, to the P.O.B. being shown on plat of Grant's Deeds, Engineer's Drawing No. 1148-122, dated May 28, 1971, last revised December 28, 1973. Less and Except the East 30 feet thereof.

Said lands lying in Section 22, Township 22 South, Range 27 East, Orange County Florida. Also described as:

Begin at the intersection of the West Right of Way line of Park Avenue and the North Right of Way line of the former Southeast Green Line Railroad Right of Way, run Westerly parallel to said Railroad Right of Way for 300 feet, thence run Northerly parallel with the said West Right of Way line of Park Avenue 50 feet, run thence Northerly parallel to said Railroad Right of Way, 300 feet, thence run Southerly along the said West Right of Way line of Park Avenue 50 feet, to the Point of Beginning, lying in Section 22, Township 22 South, Range 27 East, Orange County Florida.

LESS is EXCEPT the East 30 feet thereof



VICINITY MAP NOT TO SCALE

LEGAL DESCRIPTION: (SMALL PARCEL) (description prepared by this firm)

A parcel of land lying in Section 22, Township 22 South, Range 27 East, Orange County, Florida, being a portion of the land described in Official Records Book 2017, Pages 2287 through 2288, Public Records of Orange County, Florida, being more particularly described as follows:

Commencing at the Southwest corner of the Northeast 1/4 of Section 22, Township 22 South, Range 27 East, Orange County, Florida, run North 02°02'27" East for a distance of 2,228.85 feet along the East boundary of said Northeast 1/4 to a point on the Northerly right-of-way line of the former Trolley and Rail Railroad as described and recorded in Deed Book 151, Page 407, Public Records of Orange County, Florida for the said point also being on the Southerly right-of-way line of the former Orange Belt Railway Company Railroad as described and recorded in Deed Book 40, Page 275, Public Records of Orange County, Florida, thence departing easterly East boundary line of Section 22, run South 79°42'07" West along said Southerly right-of-way line for a distance of 215.24 feet to a point on the West right of way line of North Park Avenue and the POINT OF BEGINNING, thence southerly South 79°42'07" West along aforesaid Southerly right of way for a distance of 411.44 feet to the point on a non tangent curve, concave Northerly having a radius of 806.00 feet, with a chord bearing of South 89°17'29" West, and a chord distance of 38.89 feet, thence run thence through a central angle of 02°12'20" along the arc of said curve for a distance of 39.00 feet to a point of reverse curvature of a curve, concave Southerly having a radius of 806.00 feet and a central angle of 02°24'19" with a chord bearing of South 87°38'14" West, and a chord distance of 38.78 feet, thence run thence along the arc of said curve for a distance of 39.85 feet to a point on a non tangent line, thence run North 12°14'21" West for a distance of 34.33 feet, thence run North 79°42'07" East for a distance of 212.87 feet, thence run North 02°02'27" East for a distance of 30.00 feet, thence run North 79°42'07" East a distance of 215.24 feet to a point on the West right of way line of aforesaid North Park Avenue, thence run South 02°02'27" West along said West right of way line for a distance of 121.53 feet to the POINT OF BEGINNING.

Containing 36488.81 square feet or 0.83 acres, more or less.

SURVEYOR'S NOTES ON SCHEDULE III OF TITLE COMMITMENTS:

- Parcel "A" as prepared by First American Title Insurance, File Number 2017-2714555, Effective Date of February 22, 2017 at 8:00 A.M.
- 1. Easement Agreement in favor of Florida Power Corporation recorded December 18, 1993 in Book 1488, Page 2217, does not affect subject property and is shown hereon.
- Parcel "B" as prepared by Moore & Associates, P.A., Order Number 0208835, Customer Reference Number 2017022621, Effective Date of February 7, 2017 at 11:00 P.M.
- 2. Deed recorded in Official Records Book 1488, Page 2217, affects subject property and is shown hereon.
- 3. Easement Agreement in favor of Florida Power Corporation recorded December 18, 1993 in Book 1488, Page 2217, does not affect subject property and is shown hereon.

SURVEYOR'S NOTES:

- 1. Bearings shown hereon are based on the West right-of-way line of N. Park Ave. as being N02°02'27"E (as assumed bearing for regular descriptive only)
- 2. There may be easements and restrictions of record and/or private agreements not furnished to this surveyor or shown on this boundary survey that may affect property rights and/or land use rights of the subject property.
- 3. This Survey was performed only for the benefit of Intertec Title Commitments, Parcel "A" as prepared by First American Title Insurance, File Number 2017-2714555, Effective Date of February 22, 2017 at 8:00 A.M. and Parcel "B" as prepared by Moore & Associates, P.A., Order Number 0208835, Customer Reference Number 2017022621, Effective Date of February 7, 2017 at 11:00 P.M.
- 4. There may be environmental issues and/or other matters regulated by various Departments of Federal, State or Local Governments affecting the subject property not shown on this survey.
- 5. This Survey was performed for the sole and exclusive benefit of the parties listed hereon and shall not be relied upon by any other party or individual whatsoever.
- 6. This Survey is not valid without the signature and original sealed seal of a Florida Licensed Surveyor and Engineer.
- 7. Underground utilities and improvements were not located, unless shown hereon.
- 8. Underground utilities shown hereon were located and marked by the licensed utility companies. This surveyor only shows these above ground markings as they located and is not responsible for inaccurate and/or possible utilities not shown.
- 9. Subject property shown hereon is in Zone X, was determined to be outside the 0.2% special floodplain, according to Flood Insurance Rate Map panel number 120602255C, map date 4/22/2006.
- 10. Last date in field: February 04, 2017.

C:\p\2018\20180201\20180201.dwg



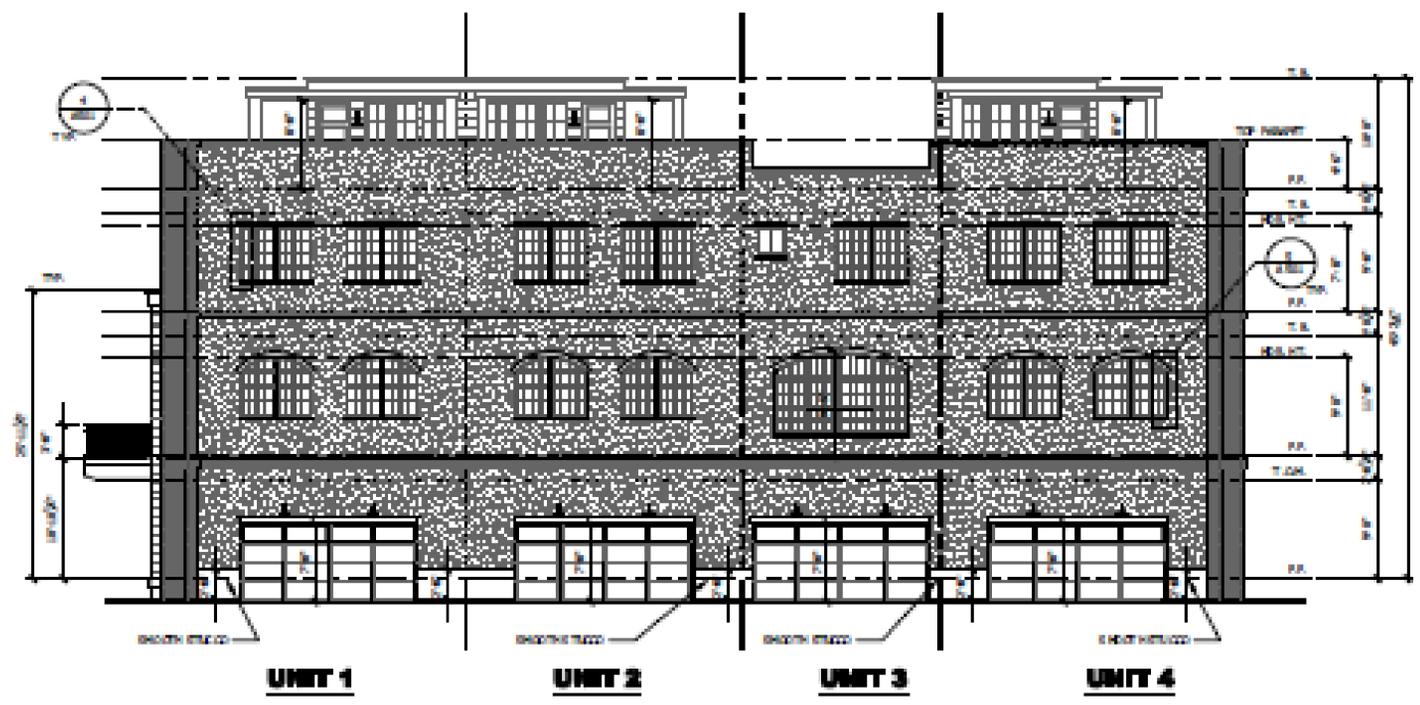
FRONT ELEVATION

SCALE: 1/8"=1'-0"



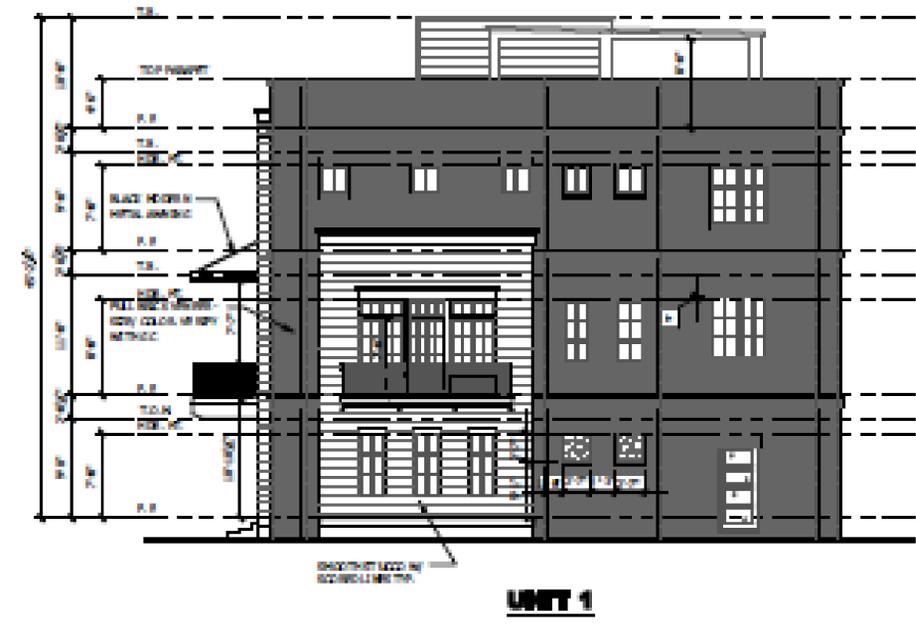
LEFT ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

SCALE: 1/8"=1'-0"

ARCHITECTURE + ENGINEERING
Licensed Professional Engineers

FOREFRONT
Interior Architectural Design

30 N. PARK
4 PLEX TOWNHOUSE
 COMPOSITE ELEVATIONS

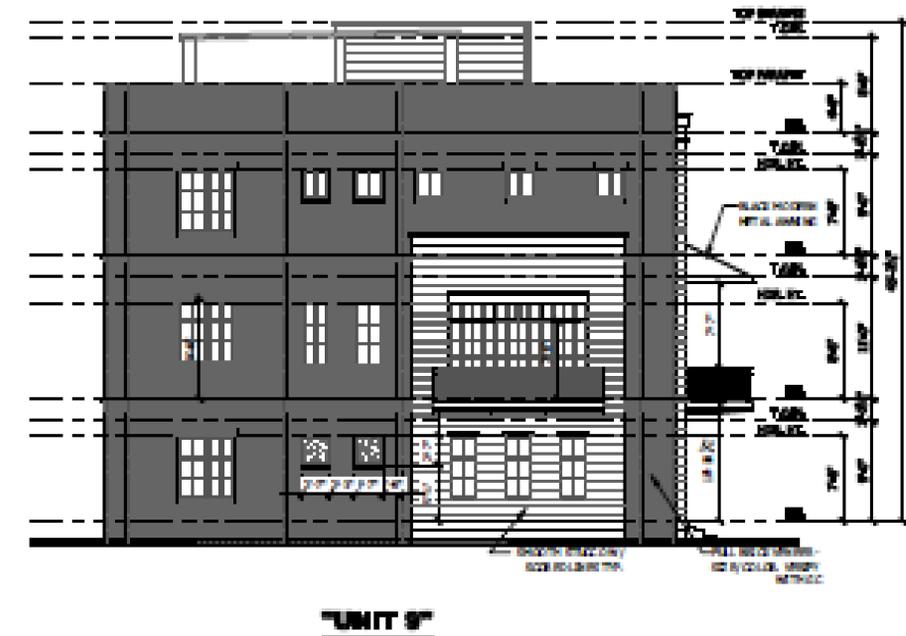
30 N. PARK
ULTRA-MODERN LUXURY

A105



FRONT ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

SCALE: 1/8"=1'-0"

ARCHITECTURE + ENGINEERING
Licensed Professional Engineers & Architects

FOREFRONT
Interior Architectural Design

30 N. PARK
 5 PLEX TOWNHOUSE
 COMPOSITE ELEVATIONS

30 N. PARK
UNIVERSITY CITY, MISSOURI

A105