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PLANNING & ZONING BOARD AGENDA

BOARD MEMBERS: Chairman Will Hawthorne, Vice-Chairman Chris Lee, Steve Ambielli, Joseph Dunn, Jr., Henry Haddock, Mark Hide, and Gabriel Kotch

OTHER ATTENDEES: City Manager Mike Bollhoefer, City Attorney Kurt Ardaman, City Attorney Dan Langley, Planning Consultant Ed Williams, Community Development Director Stephen Pash, Urban Designer Kelly Carson, Senior Planner Shane Friedman, and Planner I Soraya Karimi

Agenda for June 1, 2020 at 6:30 PM

City Hall Commission Chambers
300 W. Plant Street, Winter Garden, Florida

1. CALL TO ORDER

Determination of Quorum, Moment of Silence and Pledge of Allegiance

2. APPROVAL OF MINUTES FROM THE MARCH 2, 2020 MEETING

ANNEXATION / FUTURE LAND USE MAP AMENDMENT / REZONING (PUBLIC HEARING)

3. 199 S Main Street & 158 Woodland Street (Smith St Luxury Studios) PUD kc
23-22-27-2888-09-064 and 23-22-27-7968-00-021

4. 14120 thru 14230 W Colonial Drive (West Market fka Gardenia Plaza) PCD Amendment sf
27-22-27-0000-00-060 and 27-22-27-0000-00-123

VARIANCE (PUBLIC HEARING)

5. 16068 Black Hickory Drive (Jason Thornton) Variance sk
32-22-27-3602-01-890

6. 50 E Palmetto Street (Rafael Garcia) Variance sk
23-22-27-7828-00-001

7. 428 S Main Street S (Torrez) Variance sf
23-22-27-2888-11-075

8. 537 S Lakeview Avenue & 39 W Story Road (Robbie & Co) Variance kc
23-22-27-2468-00-700 & -068

PRELIMINARY PLAT / FINAL PLAT / LOT SPLIT

9. 537 S Lakeview Avenue & 39 W Story Road (Robbie & Co) Lot Split kc
23-22-27-2468-00-700 & -068

10. 14908 & 14950 Tilden Road (Tilden Road PrePlat) Pre-Plat sf
10-23-27-00-00-33 & 10-23-27-0000-00-034

11. 12301 W Colonial Drive (People's Plaza) Pre-Plat sk
24-22-27-0000-00-016

ADJOURN to the next regular Planning and Zoning Board meeting on Monday, **July 6, 2020 at 6:30 p.m.** in City Hall Commission Chambers, 300 W. Plant Street, Winter Garden, Florida

POSTED: MAY 26, 2020

PLEASE NOTE: IN ACCORDANCE WITH FLORIDA STATUTES 286.0105: ANY PERSON WHO DESIRES TO APPEAL ANY DECISION AT THIS MEETING WILL NEED A RECORD OF THE PROCEEDINGS AND FOR THIS PURPOSE MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE WHICH INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS BASED, WHICH SUCH WRITTEN RECORD IS NOT PROVIDED BY THE CITY OF WINTER GARDEN.

PLEASE NOTE: IN ACCORDANCE WITH FLORIDA STATUTE 286.26: PERSONS WITH DISABILITIES NEEDING ASSISTANCE TO PARTICIPATE IN ANY OF THESE PROCEEDINGS SHOULD CONTACT COLENE RIVERA, 300 WEST PLANT STREET, WINTER GARDEN, FL 34787, (407) 656-4111, EXT 2021 - 48 HOURS IN ADVANCE OF THE MEETING.



PLANNING AND ZONING BOARD
REGULAR MEETING MINUTES
MARCH 2, 2020

1. CALL TO ORDER

Vice-Chairman Chris Lee called the meeting of the City of Winter Garden Planning and Zoning Board to order at 6:30 p.m. in the City Hall Commission Chambers. A moment of silence was followed by the Pledge of Allegiance.

Quorum was declared present.

Present: Vice-Chairman Chris Lee and Board Members: Steve Ambielli, Joseph Dunn, Jr., Henry Haddock, and Gabe Kotch

Absent: Chairman Will Hawthorne (excused) and Mark Hide (excused)

Staff Present: City Attorney Kurt Ardaman, Community Development Director Steve Pash, Urban Designer Kelly Carson, Senior Planner Shane Friedman, Planner I Soraya Karimi, and recording secretary Kathleen Rathel

2. APPROVAL OF MINUTES

Motion by Joe Dunn to approve the regular meeting minutes of February 3, 2020.

Seconded by Steve Ambielli and carried unanimously 5 – 0.

ANNEXATION / FUTURE LAND USE MAP AMENDMENT / REZONING (PUBLIC HEARING)

3. 356 E Lafayette St & 497 W J Peters Lane (New Maxey ES) ANNEX/FLU AMEND/REZONE

Planner Karimi presented a request for annexation into the City, Future Land Use Amendment from Orange County Low-Medium Density Residential to City Low Density Residential, and a zoning designation of R-2 for the 0.82 +/- acre property located at 356 E. Lafayette Street and 497 W J Peters Lane. The property is currently vacant and is adjacent to the new Maxey Elementary school. The applicant is proposing to use the property as open space or drainage. Staff recommends approval of Ordinances 20-16, 20-17 and 20-18 subject to any conditions listed in the Staff Report.

Motion by Gabe Kotch to recommend approval of Ordinances 20-16, 20-17 and 20-18.

Seconded by Joe Dunn and carried unanimously 5 – 0.

4. 1577 & 894 Beard Road (Winter Garden Self Storage) FLU AMEND/REZONE

(Page 3 of Ord. 20-21 was revised and presented to the Board – see Exhibit A)

Senior Planner Friedman presented a request for Future Land Use Amendment from Low Density Residential to Commercial and a rezoning from R-1 Residential to PCD Planned Commercial Development for the 6.01 +/- acre property located at 1577 and 894 Beard Road. The property at 1577 Beard Road contains a small two-story wood frame house while the property at 894 Beard Road is undeveloped. The applicant is proposing to develop the two properties with 114,641 square feet of personal self-storage consisting of one three-story main building with five single story storage structures surrounding an internal vehicle storage area with canopies for RVs and Boats. Additional improvements to the property include landscaping, storm water pond, and a five-foot sidewalk along Beard Road. Staff

recommends approval of Ordinances 20-20 and 20-21 subject to the conditions outlined in the Staff Report and Ordinances.

Board Member Haddock asked for clarification that the property directly to the south of the site was wetlands. Mr. Friedman replied it was a conservation/wetlands area and no development was proposed for it.

Board Member Dunn inquired about the location of adjacent single family dwellings. Mr. Friedman replied there would still be R-1 zoning to the west and to the east of the site but there would be buffers.

Resident Tom Hagen, 720 Sunburst Cove Lane, Winter Garden Florida, voiced his objection. He cited issues regarding the sharp S-turn on Beard Road, the safety of children walking to and from school, commercial property not appropriate in a residential rural area, environmental impact to an existing eagles' nest, flooding of neighborhood properties with the decrease of green space, and storm water drainage.

Resident John Meyer, 468 Wrangler Road, Winter Garden Florida, voiced his objection also citing the unsafe S-turn. He can see the turn from his house and knows the difficulty school buses have negotiating it so he believes large RVs and boats will also have difficulty with it.

Civil Engineer Selby Weeks of Klima Weeks Engineering, responded to the objections:

- Road safety has been reviewed with City Staff and the turns help with traffic calming
- Sidewalks will be installed from Roper Reserve to the end of the seller's property
- A Commercial project but this usage has one of the least amounts of daily traffic trips
- The three-story main building will help act as a buffer between the turnpike and the residential area
- Utilities are being trenched to conserve the oak trees which also act as buffers
- The eagles' nest buffer radius will be retained as required by the US Fish & Wildlife
- There are no wetland impacts being proposed
- The site meets storm water requirements
- Environmental issues will be addressed

A discussion ensued regarding how adding a commercial project in this area could open the area up for additional commercial sites and the limited single use of the proposed project.

Motion by Joe Dunn to recommend approval of the FLU and PCD Rezoning for 1577 and 894 Beard Road (Ordinances 20-20 and 20-21). Seconded by Steve Ambielli.

Board Member Dunn remarked that many good points were made and countered. He thinks this project meets compatibility criteria and Staff took many issues into account.

Board Member Haddock agreed that Staff has done a great job of addressing issues. He feels additional commercial encroachment should be limited.

Motion carried 4 – 1 with Chris Lee voting against.

5. 12920 & 12921 Reaves Road (Stoneybrook Senior Living) FLU AMENDMENT

Urban Designer Carson presented a request for Future Land Use Amendment from City Low Density Residential to City Medium Density Residential for the 10.75 +/- acre property located at 12920 and 12921 Reaves Road. The Low Density Residential designation had been approved with the annexation and rezoning on October 7, 2019. City Commission tabled the Ordinances to allow the applicant to address issues with the community. The applicant agreed to a number of additional conditions as part of the PUD. The Future Land Use designation change will account for the Independent Living units on site and allow up to

10 dwelling units per acre. The property has strict PUD requirements which severely restricts the use on the land. Staff recommends approval of Ordinances 19-27 and 19-29.

General discussion ensued to clarify the project is all age-restricted senior housing and the number of units was still the same as previously approved.

Motion by Henry Haddock to recommend approval of the Future Land Use Amendment Ordinances 19-27 and 19-29. Seconded by Chris Lee and carried unanimously 5 – 0.

VARIANCE (PUBLIC HEARING)

6. 42 W Vining Street (Vonda Kay (Meyer) & Michael Ogden)

Urban Designer Carson presented a request to amend a variance for the 0.19 +/- acre property located at 42 W. Vining Street. The property received variance approval by Planning and Zoning Board on November 5, 2018 with an extension granted on December 2, 2019 to allow construction of a detached 2-car garage with a side yard setback of 8 feet in lieu of the minimum required 10 feet, a rear yard setback of 5 feet in lieu of the minimum required 30 feet, and 18 feet in height in lieu of the maximum allowed 12 feet. The amended variances would allow the construction to be located at a side yard setback of 5 feet and 16 feet in height, the 5 feet rear yard setback would remain. The property is zoned R-2 with a Low Density Residential Future Land Use designation and is developed with a one-story single family residence. Staff recommends approval subject to the conditions outlined in the Staff Report.

Motion by Gabe Kotch to recommend approval of the variance amendment for 42 W Vining Street [with Staff Recommendations] (as provided in the agenda packet). Seconded by Joe Dunn and carried unanimously 5 – 0.

7. 776 Business Park Blvd (Robert Lizzi)

Senior Planner Friedman presented a request for a variance for the 0.855 +/- acre property located at 776 Business Park Blvd. The property has a Future Land Use Designation of Multi-Office Industrial, is zoned I-1 Light Industrial and Warehousing District, and is currently undeveloped. The applicant is requesting a side yard setback of 20 feet in lieu of the minimum required 25 feet and a front yard setback of 31 feet in lieu of the minimum required 50 feet in order to develop a new 11,465 square foot office/warehouse building. Staff recommends approval of subject to the conditions listed in the Staff Report.

Motion by Steve Ambielli to recommend approval of the variances for 776 Business Park Blvd with Staff Recommendations (as provided in the agenda packet). Seconded by Henry Haddock and carried unanimously 5 – 0.

ADJOURNMENT

There being no further business, the meeting was adjourned at 7:15 p.m. to the next meeting scheduled for April 6, 2020 at 6:30 p.m.

ATTEST:

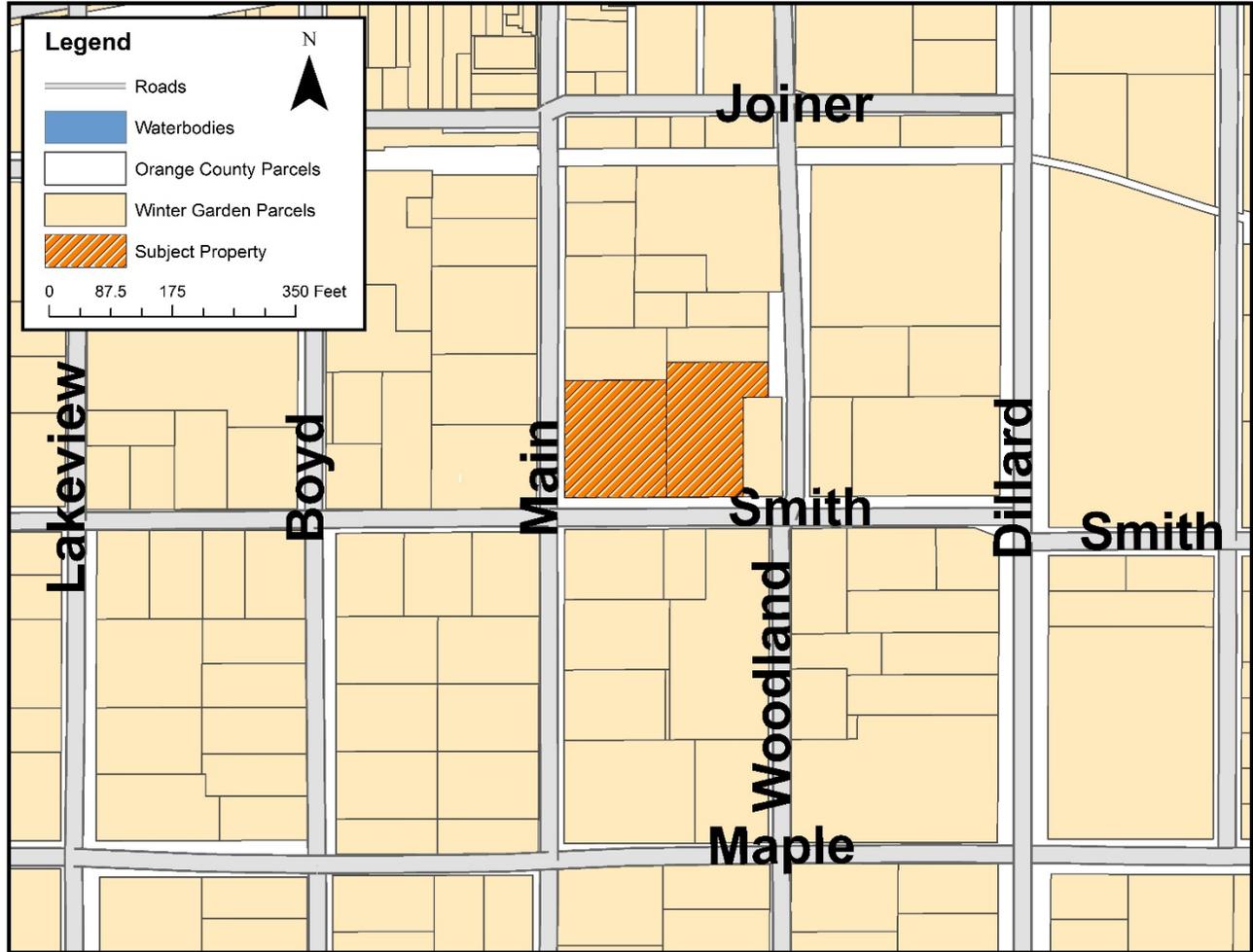
APPROVED:

Recording Secretary Kathleen Rathel

Chairman Will Hawthorne

LOCATION MAP

199 S Main Street & 158 S Woodland Street
PUD Rezoning



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

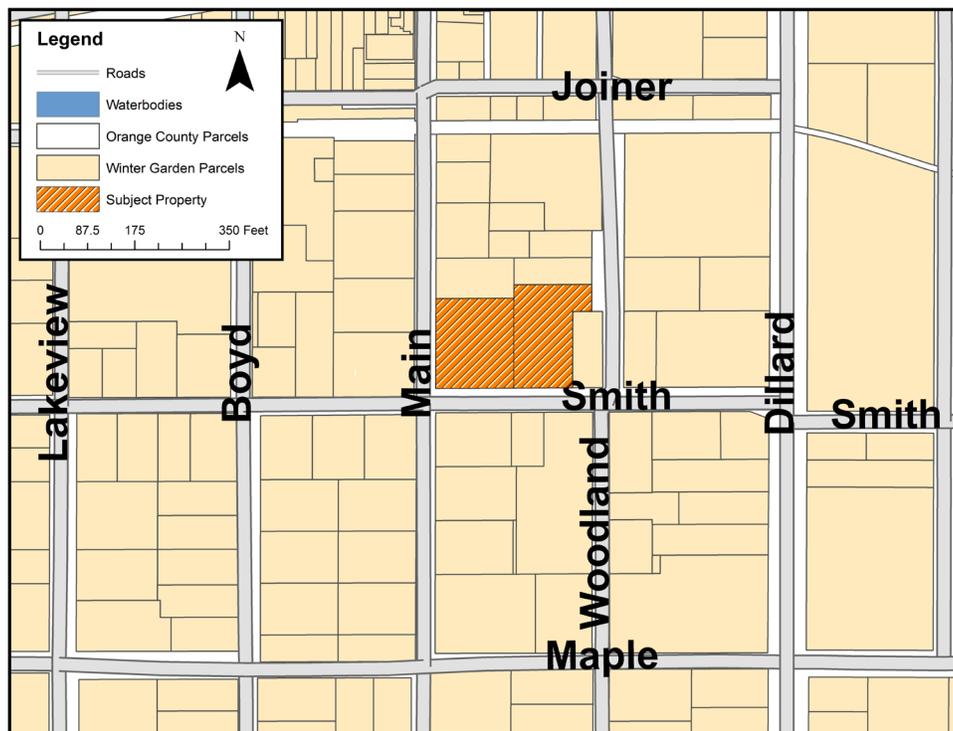
TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: MAY 20, 2020
SUBJECT: REZONING TO PUD
199 S Main Street & 158 S Woodland Street (1.07 +/- ACRES)
Smith Street Luxury Studios
PARCEL ID # 23-22-27-2888-09-064; 23-22-27-7968-00-021

APPLICANT: Sanctuary at Winter Garden LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is generally located at 199 S Main Street and 158 S Woodland Street on the northeast corner of S Main Street and E Smith Street and is approximately 1.07 ± acres in size. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to rezone 1.07 ± acres of land to Planned Unit Development (PUD). The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation C-1 (Central Commercial District) in the City of Winter Garden. The subject property is designated TD Traditional Downtown on the Future Land Use Map of the Comprehensive Plan.

The subject property is located within the City of Winter Garden's Historic Downtown District overlay area.

EXISTING USE

The subject property currently contains a crushed rock parking lot that the City has been leasing from the owner for overflow municipal parking. In 2016, the residential structure that was previously located on the property was demolished, with approval from the City Commission. After demolition, the vacant property was converted by the City into a temporary parking lot while the Municipal Parking Garage was being constructed.

ADJACENT LAND USE AND ZONING

The property located to the west of the subject property is vacant commercial land, zoned C-1 and located within the City of Winter Garden's municipal limits. The two properties to the north are both zoned C-1 and in Winter Garden. One of the properties is developed with multiple dwelling units while the other is developed with a professional office building. The property to the east is also zoned C-1 and located in the City; this property is developed with a single family residence. There are three properties to the south of the subject property. Two of them are zoned R-2 and contain single-family residences. The third is zoned R-NC and is developed with two single family residences. All three of the properties are located in Winter Garden.

PROPOSED USE

The applicant is now proposing to construct a new two-story and three-story, 45,750 +/- square foot apartment building on the subject property. The building would feature 28 one bedroom and 10 two bedroom apartment units in a range of sizes: from 720 square feet at the smallest to 1,030 square feet at the largest. The development will also feature a small café space on first floor of the southeast corner of the building. The building will feature Mediterranean Revival / Mission Style architecture, with light-colored stucco exterior and full barrel tile roof. All of the units will have access to a shared interior courtyard space. The building will be situated along the adjacent road frontages to almost completely obscure the 54 parking spaces located within the site's interior areas. Access to the parking lot will be off of S Woodland St.

PUBLIC FACILITY ANALYSIS

The property will have one vehicular full access point off of S Woodland Street. Pedestrian access will be provided from all three adjacent streets: S Main Street, E Smith Street, and S Woodland Street. Garbage will be collected from a shared dumpster on the premises.

Water, sewer, and reclaimed utilities by the City of Winter Garden will be required for any new development of the property. At such time that the property is developed, all necessary utility lines will be extended and connections made, all extension and connection costs shall be borne by the property owner.

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department

under the First Response System.

All concurrency requirements identified by the City of Winter Garden Code of Ordinances and Comprehensive Plan will be met by the proposed development.

APPROVAL CRITERIA

In accordance with the City's Comprehensive Plan and Land Development Regulations, a proposed planned unit development and its associated preliminary development plan may be approved only after competent, substantial evidence has been presented which allows the following determinations to be made: (staff conclusions/findings are underlined)

- (1) The proposed PUD is consistent with the land development regulations, comprehensive plan and the future land use map;

The proposed PUD is consistent with the City's land development regulations, comprehensive plan, and the future land use map. See other portions of this report concerning consistency with the land development regulations. PUD Zoning is permitted with a Traditional Downtown (TD) Future Land Use Designation.

- (2) The proposed PUD will not substantially devalue or prevent reasonable use and enjoyment of the adjacent properties;

The proposed PUD project will not deprive or prevent adjacent property owners of any rights or abilities to enjoy or continue existing uses of their property or to develop their property in accordance with the City's land development regulations and comprehensive plan goals, objectives, and policies. Further, in accordance with land development regulations and the comprehensive plan, where appropriate, the proposed PUD will provide for adequate buffering against adjoining properties and rights-of-way in the form of either landscaping to create a visual screen and/or perimeter walls/fencing. The site is located within the City's Historic Downtown District, where higher densities are permitted and connectivity is emphasized. The residential property to the east is already buffered from the subject property with an existing 6' tall masonry wall, and the properties to the north are zoned for commercial uses. The City has worked closely with the applicant to implement changes to the proposal that ensure the development is not negatively impacting the residential properties to the south. These changes included reducing the height of a large section of the building along E Smith Street from three stories to two stories, eliminating a proposed vehicular access point along E Smith Street, and reducing the width of E Smith Street adjacent to the proposed development to increase the project's buffer width and decrease vehicular speeds.

- (3) Adequate public infrastructure facilities and water and sewer service to support the development of the proposed PUD are available or an agreement or binding conditions have been established that will provide these facilities, improvements and services in a reasonable time frame;

The existing potable water flow pressure of the City's utility system within the surrounding area is sufficient to support the development of the subject property. The property was previously a water and sewer customer of the City of Winter Garden; utility lines are available in the area to connect to the new development. At such time that the property is developed, additional utility connections may need to be made to serve the new apartment buildings. All extension and connection costs shall be borne by the property owner.

Prior to any board approvals, a Developer’s Agreement detailing the obligations of the developer associated with the proposed PUD may be required. The requirement for a Developer’s Agreement will be determined during the Final Engineering review.

- (4) The proposed PUD will not allow a type or intensity of development that is premature or presently out of character in relationship to the surrounding area;

The proposed PUD project is consistent with the comprehensive plan’s goals, objectives and policies for the Traditional Downtown future land use designation; the PUD zoning criteria; and the City’s land development regulations. The proposed PUD project features a gross residential density of +/- 35.5 dwelling units per acre which is lower than the maximum permitted density of up to 50 dwelling units per acre permitted within the Traditional Downtown future land use designation.

The proposed PUD is not premature or presently out of character in relationship to the surrounding area. The subject property is located on the northeast corner of E Smith Street and Main Street, which is a prominent gateway site to the Downtown District from the south and east from Dillard Street. The Winter Garden downtown district features a range of uses commercial, residential, institutional, mixed-use, etc. – all of which are located within close proximity to each other. Furthermore, there are residential and commercial developments within the surrounding area which have similar density and/or intensity than the proposed PUD project. The most recent project of this type to be completed is the Tremaine Boyd development, located a block away from the subject property at the corner of Tremaine Street and S Boyd Street. This project included a three-story building with 22 upper-story apartment units as well as +/- 10,000 square feet of commercial space on the first floor on a 0.57 acre parcel, making the gross residential density and floor area ratio higher than the proposed project.

- (5) The rezoning will not interfere with an adjacent property owner's reasonable expectation of use or enjoyment; and

In accordance with the City’s comprehensive plan, the zoning designations permitted within the Traditional Downtown future land use designation include Planned Unit Development. Further, in accordance with land development regulations and the comprehensive plan, where appropriate, the proposed PUD will provide for adequate buffering against adjoining properties and rights-of-way in the form of either landscaping to create a visual screen and/or perimeter walls/fencing. The site is located adjacent to the City’s Historic Downtown District, where higher densities are permitted and connectivity is emphasized; the new development should not interfere with the adjacent property owner’s reasonable expectation of use or enjoyment for the reasons detailed in this Staff Report.

- (6) There is availability and adequacy of primary streets and thoroughfares to support traffic to be generated within the proposed PUD and the surrounding area, or an agreement or binding conditions have been established that will provide such transportation facilities to support said traffic in a reasonable time frame.

The adjacent streets have sufficient capacity to support the traffic generated by 38 new multifamily units. In order to minimize potential impacts from traffic and other car-related impacts such as vehicular headlights, the property will only have one access point, located along S Woodland Street. The developer will also provide pedestrian connections to the development along S Main Street and E Smith Street as well and

design internal pedestrian pathways to accommodate increased pedestrian traffic. Furthermore, the location of the development in close proximity to the myriad activities and destinations downtown is anticipated to result in a comparatively lower number of vehicular trips. Parking will be provided on site, with enough capacity to provide at least 1 parking space per bedroom (54 spaces for 28 one bedroom and 10 two bedroom units). Some guest parking can be accommodated on site or within shared downtown parking facilities such as street parking along S Main Street.

- (7) The degree of departure or conformity of the proposed PUD with surrounding areas in terms of character and density.

The proposed PUD project is consistent with the comprehensive plan's goals, objectives and policies for the Traditional Downtown future land use designation, the PUD zoning criteria, and land development regulations. As stated above, the proposed PUD features a gross density of +/- 35.5 dwelling units per acre, which is lower than the maximum density of 50 dwelling units per acre permitted within the Traditional Downtown future land use designation.

- (8) Compatibility of uses and improvements within the PUD and the relationship with surrounding existing or proposed developments.

The proposed PUD project integrates several elements that provide for cohesion between existing and proposed uses surrounding the property. The project includes construction of pedestrian connections to adjacent streets to enhance pedestrian circulation in the area. Several pedestrian amenities will be installed that will be beneficial to both the development and the larger community such as two street-oriented fountain features, benches, landscaping, and other community-oriented amenities. The project will also include the preservation of open space areas in accordance with City Code requirements for common open space. Overall, the PUD features a traditional downtown use that is consistent with the vibrant, mixed-use character of Winter Garden's downtown district. The project is located in close proximity to the Plant Street Market, Tremaine Boyd building, SOBO art gallery, several professional office buildings, as well as single-family and multi-family residences.

- (9) Prevention of erosion and degrading or enhancement of the surrounding areas.

The proposed PUD project will not erode or degrade the environmental quality of the surrounding area. To the greatest extent possible, stormwater management features will be designed as landscape amenities. Proper erosion and sedimentation control measures will be taken during the construction process.

- (10) Provision for recreation facilities, surface drainage, flood control and soil conservation as shown in the preliminary development plan.

The PUD must comply with the open space and recreation requirements of City Code for residential developments. If the project is deficient, they will be required to pay into the City's recreation fund to compensate for the required recreation and/or open area that is unable to be located on site. The amount that the developer will have to contribute to the fund is based on the fair market value of the land that would have otherwise been dedicated to recreation or open space uses.

Stormwater management for the proposed PUD project will be provided in on-site or off-site stormwater management areas to satisfy the City of Winter Garden, St. John's Water Management District and strict requirements of the Wekiva Study Area criteria.

- (11) The nature, intent and compatibility of any common open space, including the proposed method for the maintenance and conservation of the common open space.

The proposed PUD project must comply with the City's requirements for open space. The development includes a 2,693 +/- square foot shared internal courtyard with recreation amenities such as lounge seating, fountain, and an outdoor (summer) kitchen. There is also 6,129 +/- square feet of pervious area as well as pedestrian-oriented courtyard spaces adjacent to the public sidewalks. The open spaces will be owned and maintained by the property owner.

- (12) The feasibility and compatibility of the specified stage(s) or phase(s) contained in the preliminary development plan to exist as an independent development.

The PUD is anticipated to be built in one phase. However, if the developer decides to phase the project, each phase of development of the proposed PUD project must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.

- (13) The availability of existing or planned reclaimed water service to support the proposed PUD.

Reclaimed water capacity is not currently available to serve the property on which the PUD is proposed to be developed. The project must make provisions for connecting to reclaimed lines when they become available in the future. All required utility lines will be connected to serve the development, and all connection costs shall be borne by the property owner.

- (14) The benefits within the proposed PUD development and to the general public to justify the requested departure from standard land use requirements inherent in a PUD classification.

The proposed PUD includes the requirement that the architecture meet a certain level of design and material quality, and also be consistent with the architectural traditions of downtown Winter Garden as well as exhibit aesthetic harmony with surrounding properties. The project will provide much-needed residential space to the downtown district, increasing the diversity of housing types. The apartments will provide dwelling options that emphasize walkability and pedestrian activity, which will help create a more vibrant downtown.

- (15) The conformity and compatibility of the proposed common open space, residential and/or nonresidential uses within the proposed PUD.

As stated previously, the proposed PUD project must comply with the City's requirements for open space or pay into the City's recreation fund to account for any deficits. The residential use will exist harmoniously within the context of the Winter Garden downtown district. There is only one proposed nonresidential use proposed for the project: a small café on the southwest corner. This use is compatible with other existing uses in historic downtown.

- (16) Architectural characteristics of proposed residential and/or nonresidential development.

A variety of architectural requirements have been incorporated into the building design standards for the proposed PUD including requirements for architectural character, varying building massing, roof treatments, building projections and recesses, entryways and arcades, building articulation and theming, walls, and signage. The subject property is in the Historic District, thus the architecture was required to be consistent and compatible with the building styles traditionally found in the Historic Downtown District in order to be approved by the City's Architectural Review and Historic Preservation Board (ARHPB). The proposed project received ARHPB approval on September 17, 2019.

(17) A listing of the specific types of nonresidential uses to be allowed.

The proposed PUD includes one nonresidential use: a proposed café on first floor of the southeast corner of the building. No other nonresidential uses are proposed.

COMMUNITY MEETING

A Community Meeting to discuss the proposed project was held on the evening of October 30, 2019 in the City Commission Chambers. At the meeting, there were multiple questions posed to the developer and City Staff about the project. Adjacent property owners were curious about the proposed buffering and landscaping along the perimeters of the site. Several residents asked if any of the existing trees would be retained – and the developer said every effort would be made to retain some of the trees on site, with the City adding that additional on and off-site mitigation may be required to ensure the City's overall tree canopy is not diminished. Questions were also asked about parking, traffic, lighting, and other miscellaneous details about the project.

One nearby resident had several concerns about various aspects of the project including the trees, the potential for car headlights to shine into the windows of adjacent residential homes, and the overall massing and style of the building being compatible with the surrounding properties. After the meeting concluded, Staff continued to work to address these concerns with the applicant, which included eliminating a driveway off of W Smith St to eliminate headlight impacts, and reducing the building height along W Smith St from three stories to two stories along the majority of the road frontage to be more in line with the heights of existing residential properties to the south. In terms of the architectural style of the building, the project previously received approval from the City's Architectural Review and Historic Preservation Board on September 17, 2019, where City Staff presented examples of how the proposed Mediterranean Revival style of the building is consistent with the historic architectural traditions of Winter Garden.

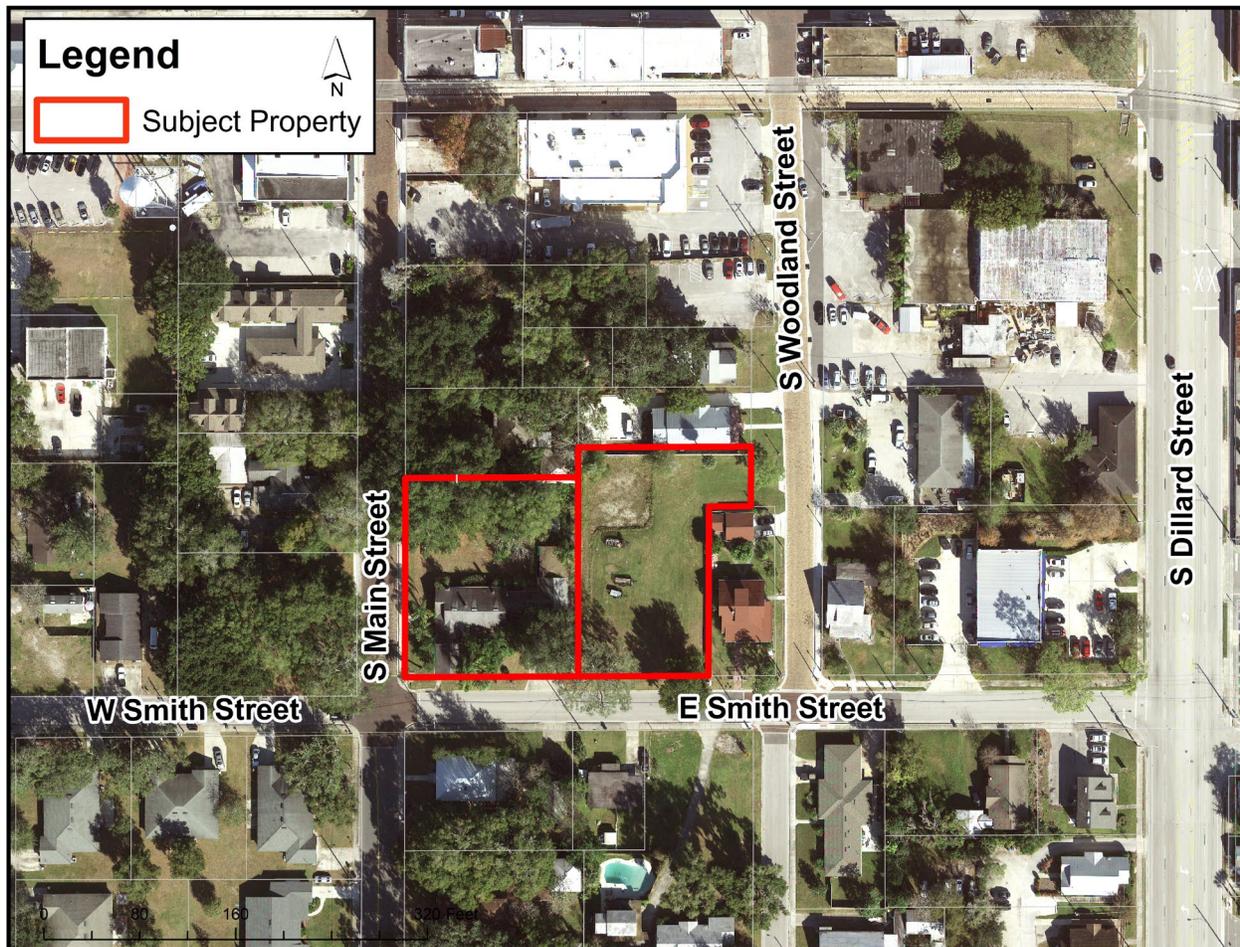
SUMMARY

The proposed development is a reasonable use of the land. The proposed development is consistent with the mixed commercial and residential development in the area. The design of the building is consistent with the Historic District design guidelines and architectural requirements. There will be numerous pedestrian-oriented design features including two street-oriented fountain features, benches, landscaping, and other community-oriented amenities. The project will not generate a significant increase in traffic volume beyond that which is currently generated by other developments in the area. This type of development is consistent with other mixed-use developments that exist in Historic Downtown.

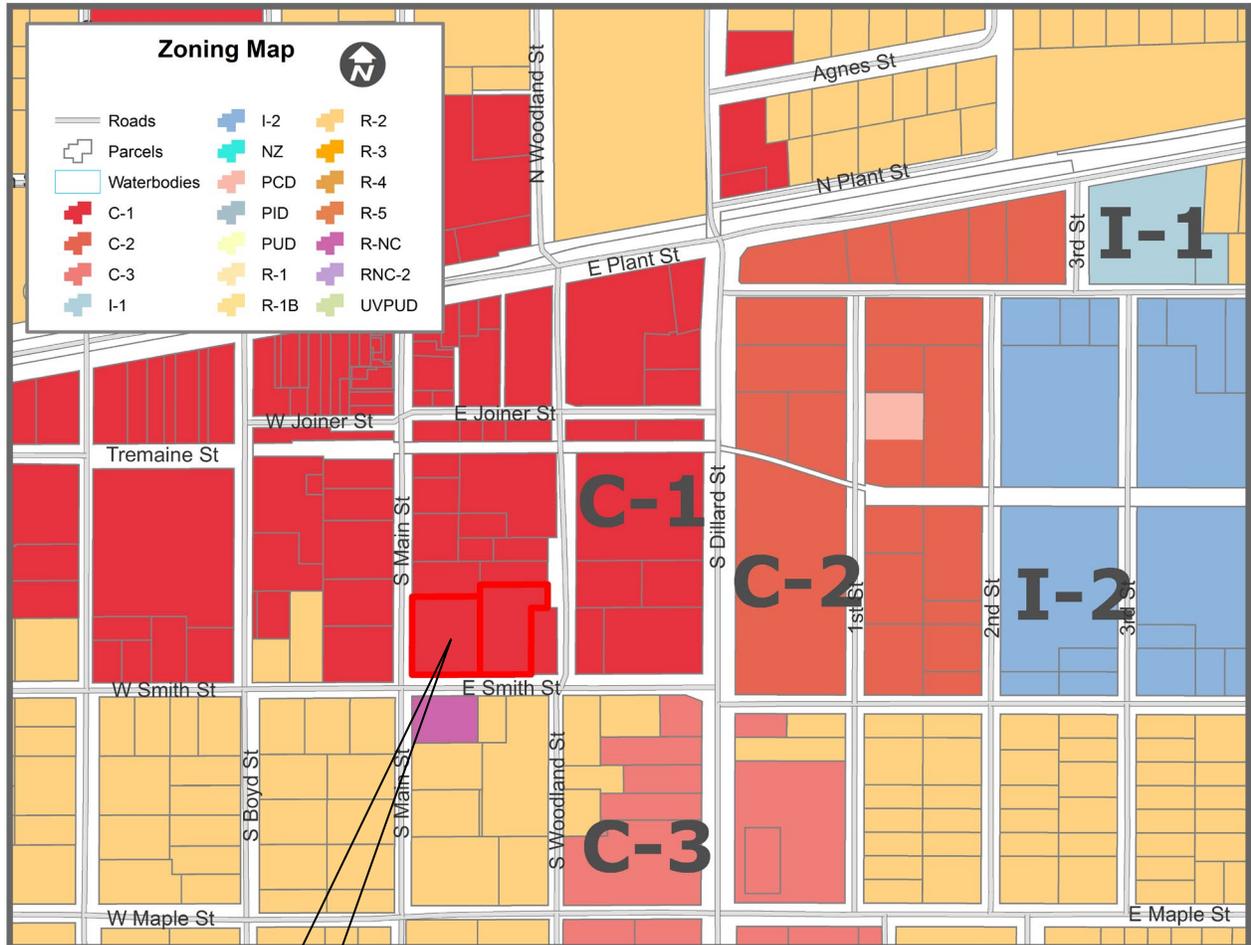
Staff has coordinated with the applicant to ensure that the development of the property will be consistent with the Historic Downtown District in terms of the building architecture, site design, and permitted uses.

The proposed rezoning from C-1 to PUD is consistent with the City’s Comprehensive Plan and the City of Winter Garden’s Code of Ordinances. Staff recommends approval of the proposed Ordinance to rezone the subject property from C-1 to PUD subject to the conditions outlined in Ordinance 20-19.

AERIAL PHOTO
199 S Main Street & 158 S Woodland Street

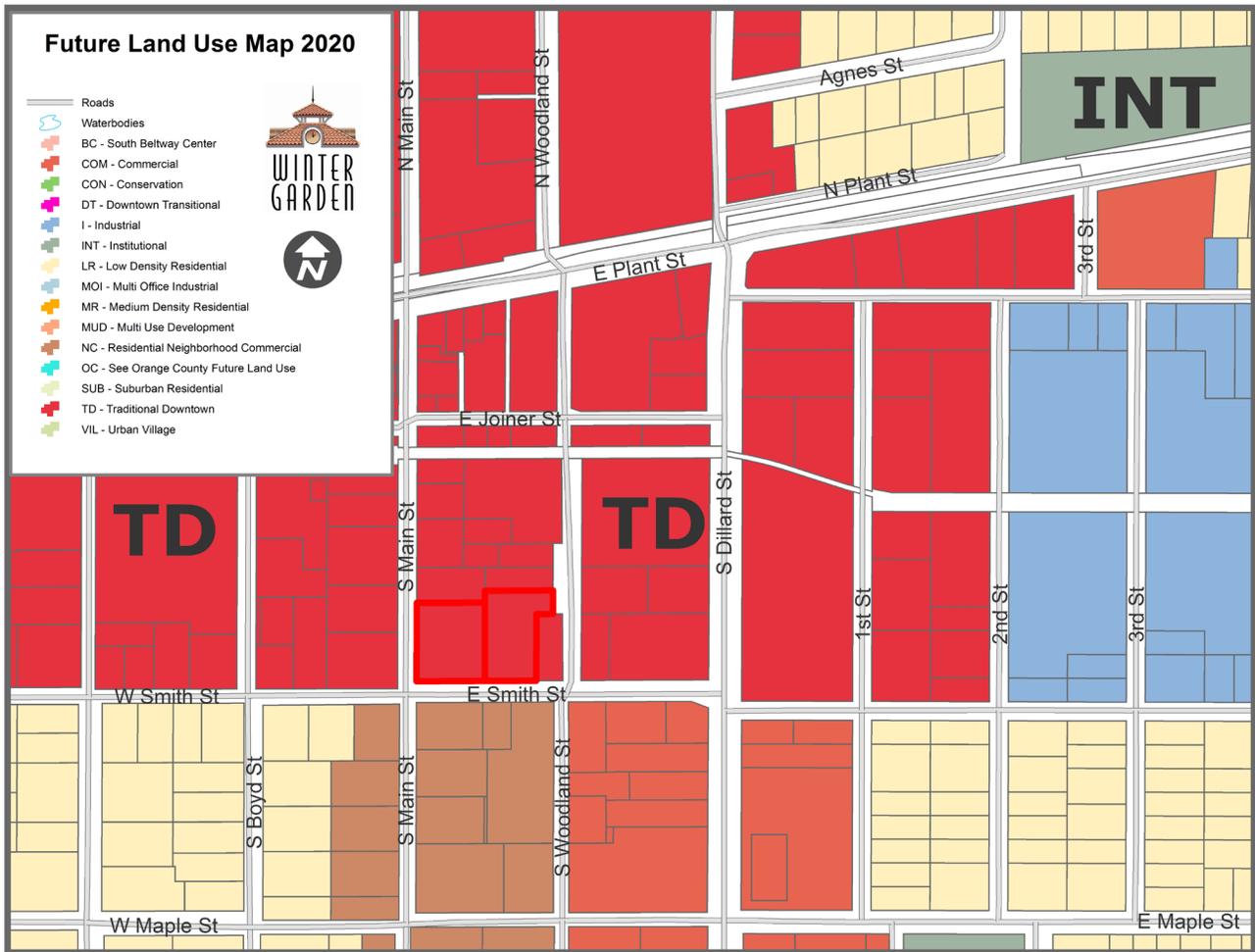


ZONING MAP
199 S Main Street & 158 S Woodland Street



**Change from
C-1 to PUD**

FUTURE LAND USE MAP
199 S Main Street & 158 S Woodland Street



END OF STAFF REPORT

ORDINANCE 20-19

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.07 +/- ACRES OF LAND GENERALLY LOCATED AT 199 S MAIN STREET AND 158 S WOODLAND STREET ON THE NORTHEAST CORNER OF S MAIN STREET AND E SMITH STREET, FROM C-1 (CENTRAL COMMERCIAL DISTRICT) TO PUD (PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE SMITH STREET LUXURY STUDIOS PUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner(s) of real property generally described as approximately 1.07 ± acres of certain real property generally located 199 S Main Street and 158 S Woodland Street on the northeast corner of S Main Street and E Smith Street in Winter Garden, Florida, being more particularly described on Exhibit “A” attached hereto and incorporated herein by this reference (the “Property”), desire to rezone their property from C-1 (Central Commercial) to PUD (Planned Unit Development), and

WHEREAS, the Planning and Zoning Board has considered this Ordinance and made a recommendation to the City Commission concerning its adoption; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the land development regulations set forth in the City of Winter Garden Code of Ordinances; and

WHEREAS, based on competent substantial evidence in the record, the requested rezoning set forth in this Ordinance meets all applicable criteria specified in the City of Winter Garden Comprehensive Plan and the Code of Ordinances;

NOW THEREFORE, BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Rezoning.* The above “Whereas” clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of the Property, as described in Exhibit “A” attached hereto, is hereby rezoned from C-1 (Central Commercial) to PUD (Planned Unit Development) in the City of Winter Garden, Florida subject to the following conditions, provisions and restrictions:

- a. **Applicability/Conflict.** All development of or within the Property shall comply with and is subject to the requirements set forth in this Ordinance.

Unless specifically identified in this Ordinance, all development on the Property identified in Exhibit "A" must comply with the general development standards of the C-1 (Central Commercial District) Zoning district and comply with the standards outlined in Chapter 98, Article VII regarding the City of Winter Garden Historic Downtown District Overlay Requirements. Notwithstanding anything to the contrary herein, all development of or within the Property shall comply with and is subject to all requirements in the City Code, and ordinances, resolutions, and policies of the City. To the extent of any express conflicts between the express provisions of this Ordinance pertaining to permitted uses, special exception uses, prohibited uses, architectural design criteria, and other development criteria and the City Code and ordinances, resolutions, and policies of the City, the requirements set forth herein shall control to the extent of the conflict

- b. **Conceptual Plan-** All development on the Property must substantially conform to the requirements identified in the Smith Street Luxury Studios Planned Unit Development Plan attached hereto as Exhibit "B." Should any conflict be found between this Ordinance and the Smith Street Luxury Studios Planned Unit Development Plan attached hereto as Exhibit "B", then the standards and conditions established by this Ordinance shall control.
- c. **Permitted Uses-** The permitted uses for the Property are as follows:
 - 1. Multi-family residential; a maximum of 38 dwelling units.
 - 2. One (1) retail, office, or small food/beverage service establishment (café) located in the corner unit on the first floor of the building.
 - 3. Customary accessory uses and structures clearly incidental and subordinate to a permitted principal use.
- d. **Prohibited Uses-** The prohibited uses for all areas of the Property are as follows:
 - 1. Any use not specifically outlined under the Permitted Uses.
- e. **Design Criteria/Architectural Standards-**
 - 1. **Architectural Standards-** Any new proposed buildings or structures on the property shall adhere to the aesthetic character and design quality of the proposed architectural exhibits, attached hereto as Exhibit "C". The architecture may be modified to adhere to any conditions of approval imposed by the City's Architectural Review and Historic Preservation Board, if applicable.
 - 2. **Maximum Building Height-** The maximum building height shall not exceed 45 feet.

3. **Building Access-** Ground floor units oriented towards S Main Street or E Smith St shall be permitted a direct access via a sidewalk connection to the frontage sidewalk.
4. **Minimum Living Area-** Minimum living area for each residential unit shall be 650 square feet.
5. **Setbacks and Required Yards-**
 - i. Front (S Main Street):
 - a. Main Building: 5.5' min.
 - b. Balcony/Patio: 3' min.
 - ii. Side (E Smith Street):
 - a. Main Building: 5.7' min.
 - b. Balcony/Patio: 0' min.
 - iii. Side (Interior):
 - a. Main Building: 2.8' min.
 - b. Balcony/Patio: 0' min.
 - iv. Rear: 10' min.
 - a. Main Building: 7' min.
 - b. Balcony/Patio: 10' min.
6. **Outdoor Storage-** Outdoor storage of materials or equipment is prohibited.
7. **Signage-** All signage proposed for the Property shall comply with the residential sign standards in accordance with Chapter 102, Article III, Division 2 of the City Code of Ordinances. The proposed signage shall be reviewed at time of Site Plan Review.
8. **Impervious Surface Area Ratio-** The maximum impervious surface area ratio for the Property shall be consistent with the overall maximum impervious surface area ratio that the property is permitted by Saint John's River Water Management District.
9. **Parking-** A minimum of 54 dedicated off-street parking spaces are required to be provided on site to support the development as depicted in Exhibit 'B'.
10. **Lighting-** all exterior lighting shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles.
 - a) **Street Lighting:** All lighting provided along public streets shall comply with the requirements pertaining to construction and installation of public improvements in accordance with Appendix A, Article II, Section 2.

- b) Site Lighting:** Vehicular, building, and pedestrian site lighting shall be designed as dark skies lighting in a consistent and coordinated manner for the entire project in compliance with the requirements of Chapter 118, Article X, Division 4 of the City Code of Ordinances. During the site plan review, a photometric lighting plan will be required.

- f. Staff Conditions-** All development on the Property must comply with the following staff conditions:
 - 1. The applicant shall continue to work with Staff to fine-tune the architectural elevations to meet the City's Downtown Historic District Overlay standards and the conditions of the Architectural Review and Historic Preservation Board.
 - 2. The landscape plan shown is conceptual and will be required to be developed in much greater detail during the Site Plan Approval process.
 - 3. The applicant shall make every effort to retain as many existing trees on site as possible. Any tree shown as saved as part of this PUD is required to be retained.
 - 4. The proposed lot combination will require City Commission Approval.
 - 5. Any outdoor seating proposed as part of the first floor café unit will require a Sidewalk Café permit.
 - 6. Based on the conceptual plans submitted, several of the first floor units do not appear to meet Florida Building Code Section 1030.1 for Emergency Escape and Rescue. This must be addressed prior to receiving permit approvals.
 - 7. The Applicant shall submit plans and documentation showing adherence to Section 118-68, requirements for site plans, as required by the City Code.
 - 8. General Requirements:
 - a) All gravity sanitary pipe and fittings shall be SDR 26.
 - b) All compaction shall be 98% of the modified proctor maximum density (AASHTO T-180).
 - c) As-built record drawings shall comply with City of Winter Garden requirements available on-line (note on final construction plans).
 - d) All Storm ($\geq 12''$) and Sanitary lines ($\geq 6''$) shall be inspected by CCTV prior to completion.
 - 9. All utilities shall conform to Chapter 78 of the City Code. Impact fees

will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all required water, irrigation and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.

10. Sanitary lines for commercial buildings shall be 6" minimum.
11. An underground exfiltration drainage collection/treatment system is shown. Final plans shall show drainage for the site, to be supported by calculations and soil report.
12. Minimum 5' wide concrete sidewalks shall be constructed along all street frontages pursuant to Code. Smith Street frontage may require a R/W dedication or sidewalk easement. Any damaged, broken or cracked sections (including existing curbs and pavement) shall be replaced prior to issuance of certificate of occupancy.
13. The use of Thermoplastic pipe shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe, laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).
14. Landscaping shall not encroach on required sight lines at intersections or driveways. Design Engineer shall provide certification that sight distance requirements are being met. All irrigation on the site shall be designed to be supplied by reclaimed water when available and shall be served by a jumper to potable water until that time.
15. A separate tree removal permit is required to remove any trees. Coordinate with Building Department.
16. Permit from SJRWMD is required as well as permits or exemptions from FDEP for water, wastewater and NPDES.
17. Streetlighting, both internally and on all street frontages, is required pursuant to City Code – dark skies lighting is required. Provide a photometric plan to be submitted for review by the Planning Department.
18. Use City Standard Detail Sheets for utilities and public works. All on-site utilities shall be privately owned and maintained.
19. Fire sprinkler systems will be required on all buildings over 6,000 s.f. with Point of Service (POS), backflow prevention, etc. shown. All work downstream of the POS shall be performed by a licensed fire sprinkler contractor.

20. All dumpsters shall be enclosed and shall provide 12' minimum inside clearance (each way inside of bollards), and access by solid waste vehicles. Coordinate additional requirements with Public Services Department, Solid Waste Division.
21. Any screen walls or retaining walls shall require a separate permit from the Building Department.
22. All underdrain pipe shall be double wall HDPE pipe or PVC pipe.
23. Internal sidewalks shall connect to the public sidewalks in the right-of-way per ADA.
24. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
25. All work shall conform to City of Winter Garden standards and specifications.
26. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
27. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others, including by way of any development order or permit issued. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City shall not be responsible and any corrective measures required will be the responsibility of the Owner/Developer. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
28. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

SECTION 2: *General Requirements.*

- a. **Development Agreement-** If deemed necessary by City Staff, a

Development Agreement shall be drafted, approval obtained and recorded prior to approval of any site or building permits for the Property.

- b. **Stand Alone Clause-** Each phase of development of the Property must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.
- c. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- d. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- e. **Expiration/Extension-** Expiration of this PUD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.
- f. **Violation -** A violation of this Ordinance is considered a violation of the City of Winter Garden Code of Ordinances and of zoning of the Property.

SECTION 3: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 4: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 5: Effective Date. This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

Exhibit "A"

Parcel ID: 23-22-27-2888-09-064; 23-22-27-7968-00-021

Legal Description:

THAT PART OF THE WEST 253.5 FEET OF LOT 6, BLOCK 1, FRIES PLAT OF WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK E, PAGE 16, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; AND THE SOUTH 1/2 OF LOT 2, S.P. SHEPHERD ADDITION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK G, PAGE 148, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF LOT 6, BLOCK 1, FRIES PLAT OF WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK E, PAGE 16, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, THENCE RUN N01°36'17"W, 166.50 FEET TO THE NORTHWEST CORNER OF THE SOUTH 1/2 OF LOT 2, S.P. SHEPHERD ADDITION, AS RECORDED IN PLAT BOOK G, PAGE 148, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN S88°23'43"E, 144.35 FEET TO THE NORTHEAST CORNER OF SAID SOUTH 1/2 OF LOT 2; THENCE RUN S01°31'16"W, 166.50 FEET TO THE NORTH RIGHT OF WAY OF EAST SMITH STREET; THENCE RUN N88°23'43"W, 144.60 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.55 ACRES, MORE OR LESS.

PARCEL B

THAT PART OF THE WEST 253.5 FEET OF LOT 6, BLOCK 1, FRIES SURVEY OF WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK E, PAGE 16, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; AND LOT 3, S.P. SHEPHERD ADDITION TO WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK G, PAGE 148, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF LOT 6, BLOCK 1, FRIES SURVEY OF WINTER GARDEN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK E, PAGE 16, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, THENCE RUN S88°23'43"E ALONG THE NORTH RIGHT OF WAY LINE OF EAST SMITH STREET, A DISTANCE OF 144.60 FEET TO THE POINT OF BEGINNING. THENCE RUN N01°31'16"E 191.61 FEET TO THE NORTHWEST CORNER OF LOT 3, S.P. SHEPHERD ADDITION TO WINTER GARDEN, AS RECORDED IN PLAT BOOK G, PAGE 148, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN S88°23'35"E ALONG THE NORTH LINE OF SAID LOT 3, A DISTANCE OF 144.28 FEET TO THE WEST RIGHT OF WAY LINE OF SOUTH WOODLAND DRIVE, THENCE RUN S01°22'23"W ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 50.01 FEET; THENCE RUN N88°25'59"W, 35.49 FEET; THENCE RUN S01°36'17"W ALONG THE EAST LINE OF THE WEST 253.5 FEET OF AFORESAID LOT 6, A DISTANCE OF 141.57 FEET TO THE NORTH RIGHT OF WAY LINE OF EAST SMITH STREET; THENCE RUN N88°23'43"W, 108.72 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.52 ACRES, MORE OR LESS.

Exhibit "B"

COVER PAGE

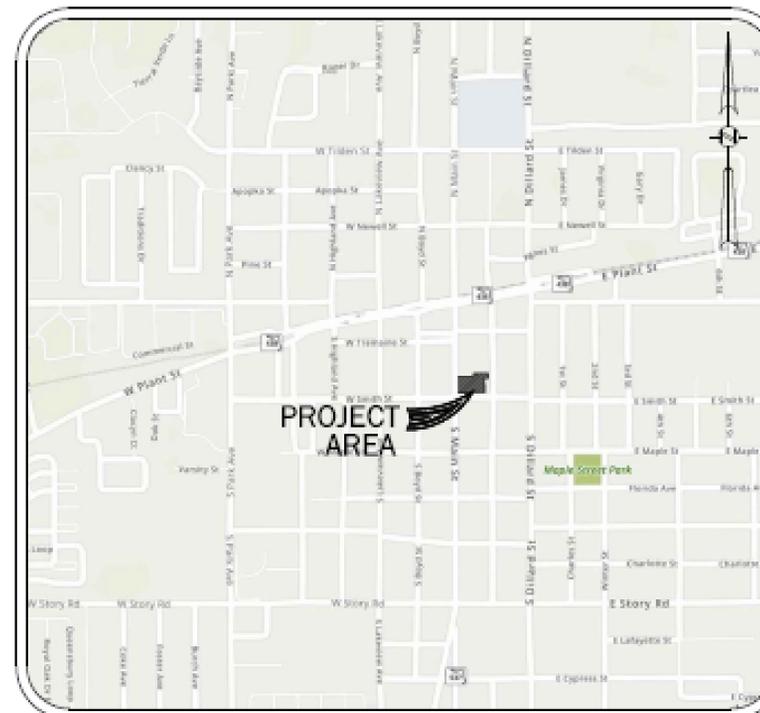
SMITH STREET LUXURY STUDIOS PUD PLAN

(5 PAGES - ATTACHED)

SMITH STREET LUXURY STUDIOS PLANNED DEVELOPMENT 199 S. MAIN STREET & 158 S. WOODLAND STREET WINTER GARDEN, FLORIDA

PARCEL I.D. No. 23-22-27-2888-09-064
No. 23-22-27-7968-00-021

SITE VICINITY MAP



NOT TO SCALE

PLAN INDEX

- C-1 COVER SHEET
- C-2 SURVEY
- C-3 P.D. SITE PLAN
- C-4 P.D. GRADING AND DRAINAGE PLAN
- C-5 P.D. LANDSCAPE-HARDSCAPE PLAN

OWNER: SANCTUARY AT WINTER GARDEN
6965 PIAZZA GRANDE AVE. SUITE 204
ORLANDO, FL. 32835
PHONE: 407-593-5148

SURVEYOR: BISHMAN SURVEYING
32 W. PLANT STREET
WINTER GARDEN, FL. 34787
PHONE: 407-905-8877
FAX: 407-905-8875



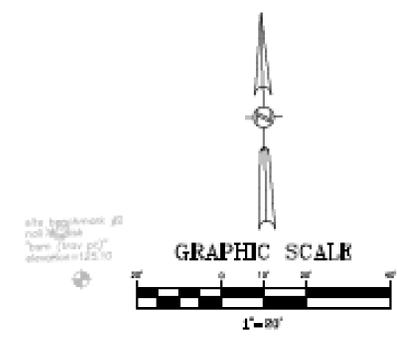
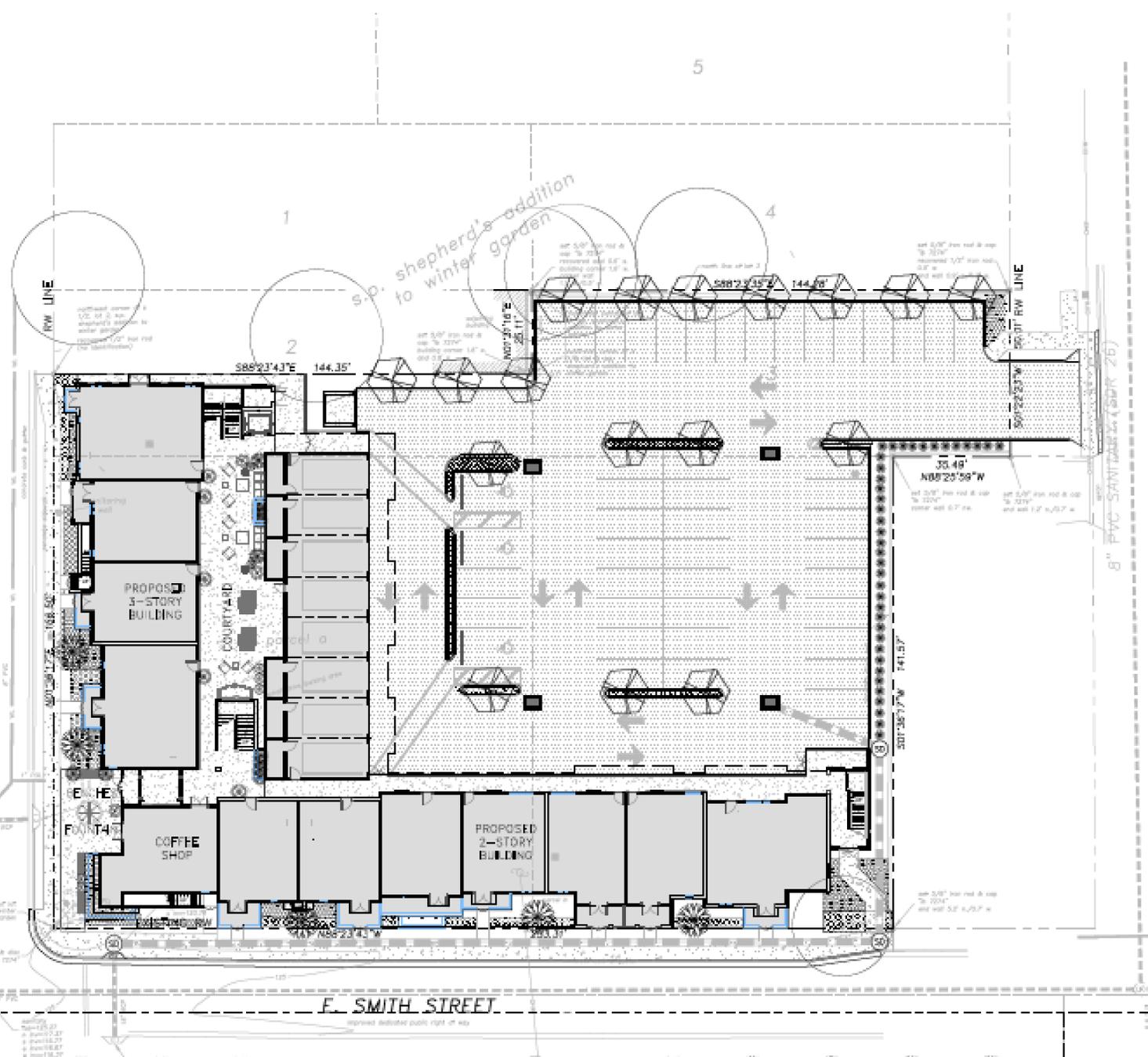
Engineering the Future

5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325

www.feg-inc.us



S. MAIN STREET (STATE ROAD NO. 535)



NOTE:
LANDSCAPE AND HARDSCAPE MAY BE ADJUSTED DURING FINAL DESIGN FOR COMPLIANCE WITH CITY CODE.

06/03/2019	REVISED PER CITY PUD COMMENTS DATED 05/21/2019	DS	WHR
01/08/2020	REVISED SITE PER CITY / CLIENT	JV	WHR
DATE	REVISIONS	BY	CHECKED

**SMITH STREET LUXURY STUDIOS
PLANNED DEVELOPMENT**
199 S. MAIN STREET & 158 S. WOODLAND STREET
WINTER GARDEN, FLORIDA



5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
www.feginc.us

P.D. LANDSCAPE-HARDSCAPE PLAN			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
WHR	JV	WHR	WHR

PROJECT NO.	18-103
SCALE	1"=20'
DATE	APRIL 29, 2019
REVISION NO.	C-5
SHEET	5 OF 5

FLORIDA ENGINEERING GROUP, INC.
CERTIFICATE NO. 08-000695

WILLIAM D. HOOKERSMITH, P.E.
LICENSE NO. 35540

THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY AN ENGINEER, P.E. OR (STATE) USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VISIBLE ON ANY ELECTRONIC COPY.

Exhibit "C"

COVER PAGE

SMITH STREET LUXURY STUDIOS
Architectural Elevations

(4 PAGES - ATTACHED)

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20 DEC 2019

Mark Adams, AIA
 FL. REG.#A00094473

Brooke Leigh Chea, AIA
 FL. REG.#A00099995

Kimberly Day McCann, AIA
 FL. REG.#A00091738

ELEVEN18
 ARCHITECTURE

A WOMEN'S BUSINESS ENTERPRISE
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 407-745-3300

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PROJECT NAME:
**SMITH ST
 LUXURY
 STUDIOS**
 SMITH ST
 WINTER GARDEN, FL 34787

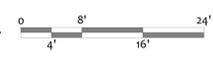
ELEVEN18 PROJECT LEAD:
 Brooke Chea
 407-745-3300
 bchea@eleven18architecture.com

PROJECT TEAM:

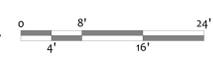
REVISIONS		
#	DATE	DESC.
--	12.20.2019	PD ELEVATIONS



02 NORTH ELEVATION - OPTION A
 3/32" = 1'-0"



01 SOUTH ELEVATION - OPTION A
 3/32" = 1'-0"



A301
 OPTION A
 ELEVATIONS

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20 DEC 2019

Mark Adams, AIA
 FL REG.#AR009473
 Duane Long, CLS, AIA
 FL REG.#AR009995
 Kimberly Day McCann, AIA
 FL REG.#AR007738

ELEVEN18
ARCHITECTURE

A WOMEN'S BUSINESS ENTERPRISE
 & LEAN ORGANIZATION

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 200, Winter Garden, FL 32787
 www.eleven18architecture.com
 Postal Address:
 411 Central Blvd, Apt
 200, Winter Garden, FL 32787
 407.245.5300

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PROJECT NAME:
SMITH ST LUXURY STUDIOS
 SMITH ST
 WINTER GARDEN, FL 32787

ELEVEN18 PROJECT LEAD:
 Brooke Chou
 407-245-5300
 bchou@eleven18architecture.com

PROJECT TEAM

REVISIONS		
#	DATE	DESC.
-	12.20.2019	FD ELEVATIONS



02 WEST ELEVATION - OPTION A
 33'0" x 14'0" 0 4' 8' 12' 14'



01 EAST ELEVATION - OPTION A
 33'0" x 14'0" 0 4' 8' 12' 14'

A302
 OPTION A
 ELEVATIONS



WATER FOUNTAIN, COLORFUL TILE & MEXICAN TERRACOTTA PAVERS



ALLE ELM WITH LOW SHRUB AT STREET
LANDSCAPE TBD PER PLAN



BENCH SEATING AND POTTED PLANTS

BALCONIES PER THE ELEVATION SHOWN

PERGOLA PER PLAN



HEDGE WITH LOWER GROUNDCOVER
LANDSCAPE TBD PER PLAN



ROOF: FULL BARREL TILE



MASONRY 1ST - 3RD FLOOR STUCCO WITH WHITE SAND FINISH



VINE ON WALL
LANDSCAPE TBD PER PLAN



BIRD OF PARADISE IN BUILT-IN PLANTER.
LANDSCAPE TBD PER PLAN



LARGE POTS WITH ITALIAN CYPRESS OR TOPIARIES BY FOUNTAIN.
LANDSCAPE TBD PER PLAN

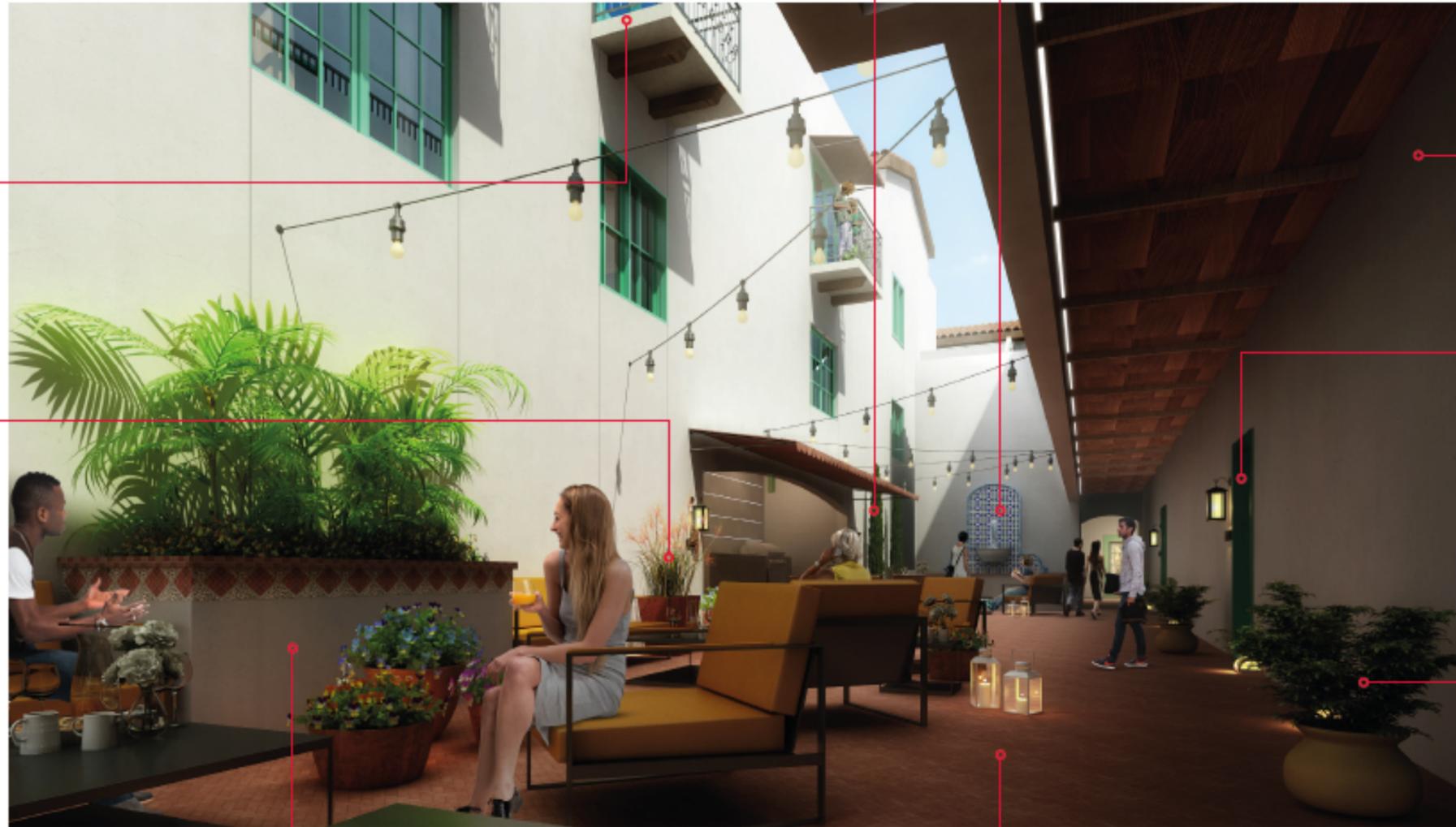
BALCONIES PER THE ELEVATION SHOWN



CLUSTER OF POTTED PLANTS BY SEATING AREAS
LANDSCAPE TBD PER PLAN



PLANTER
LANDSCAPE TBD PER PLAN



COLORED TILE FOR FOUNTAIN



MASONRY 1ST - 3RD FLOOR
STUCCO WITH WHITE SAND
FINISH

FRENCH DOORS TO BE PAINTED
TO MATCH RENDERINGS.
ALL DOORS WILL BE MATCHED
PER RENDERINGS



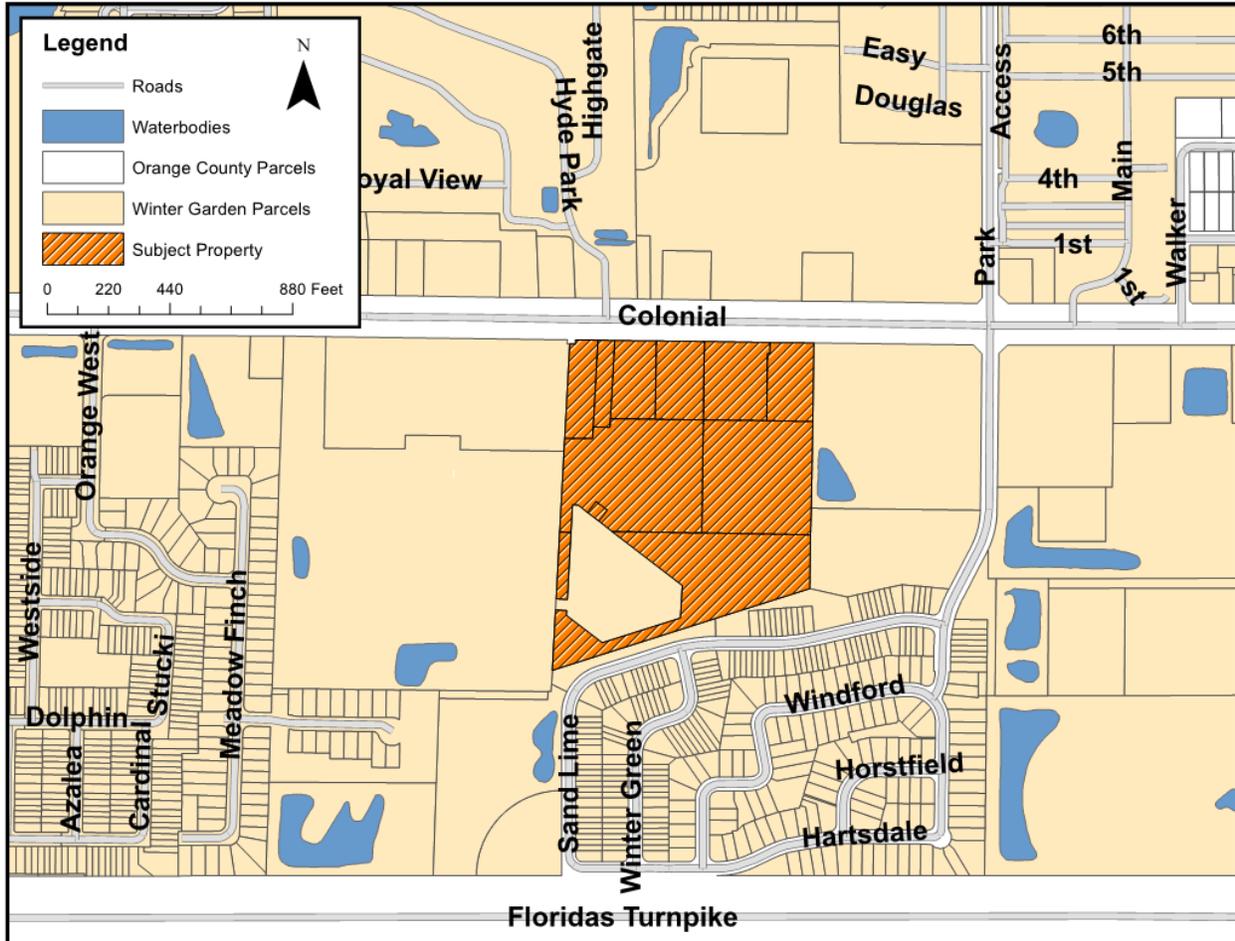
POTTED PLANTS BY EACH UNIT
ENTRANCE DOOR.
LANDSCAPE TBD PER PLAN



PAVERS: MEXICAN TERRACOTTA,
12" X 12", 14" X 14" OR
EQUIVALENT

LOCATION MAP

14180 thru 14234 W. Colonial Drive
PCD Amendment



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

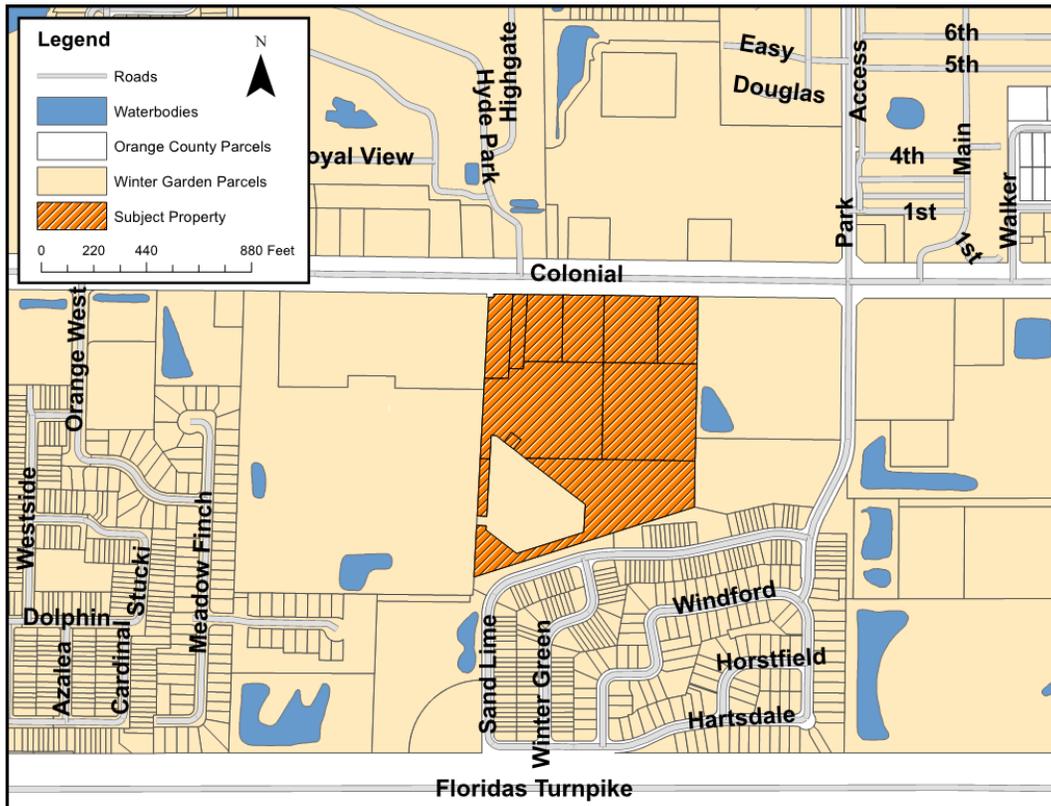
TO: PLANNING AND ZONING BOARD
PREPARED BY: Shane Friedman, Senior Planner
DATE: June 1, 2020
SUBJECT: PCD Amendment
14180 thru 14234 W. Colonial Drive (18.25 +/- ACRES)
PARCEL ID # 27-22-27-9140-00-005, 00-002, 01-000, 02-000, 03-000, 04-000, 05-000, 06-000, and 00-001

APPLICANT: Gardenia Plaza, LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed PCD amendment for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located on the south side of West State Road 50 (West Colonial Drive), west of South Park Avenue and is approximately 18.25 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to amend the West Market Planned Commercial Development (PCD). The West Market PCD was approved by Ordinance 18-09 on February 22, 2018. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation PCD (Planned Commercial Development) in the City of Winter Garden. The subject property is designated COM (Commercial) on the Future Land Use Map of the Comprehensive Plan.

EXISTING USE

The property has since been platted and the common infrastructure and landscaping has been installed. The only project within the PCD that is currently under construction is the Goodwill on Lot 6 in the rear of the development.

ADJACENT LAND USE AND ZONING

The properties located to the north are developed with a commercial shopping center with restaurants, a church, grocery store, bank, and retail shops, zoned C-2, and located in the City. The property located to the east is developed with an RV dealership, zoned C-2, and located in the City. The property to the west is developed with a campground, zoned C-2, and located in the City. The properties to the south are developed with a townhome and single family neighborhood, zoned R-3, and located in the City.

PROPOSED USE

The applicant is amending the PCD Ordinance in order to add an automotive service center and bank with drive-thru to the list of approved uses and an additional Lot 4b which will require a lot split or replat in the future.

SUMMARY

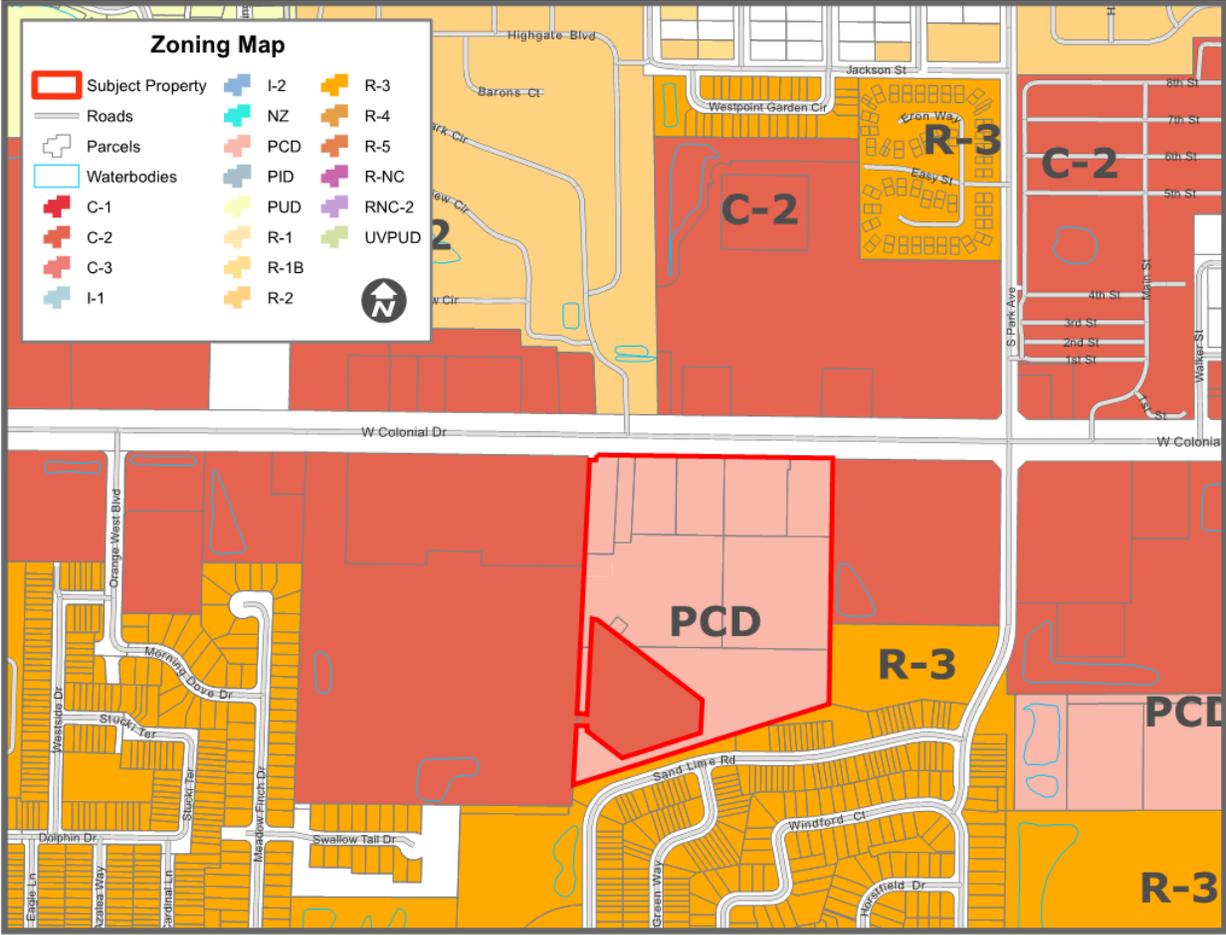
The proposed uses are consistent with the West State Road 50 commercial corridor. Furthermore, any future end users who wish to build an automotive service center or bank are still subject to the design criteria imposed by the West Market PCD. This will ensure that the proposed uses are not out of character with the rest of the West Market PCD development.

Because the uses are appropriate, and the request does not change the design or character of West Market PCD, staff recommends approval of Ordinance 20-23 subject to the conditions outlined in the ordinance.

AERIAL PHOTO
West Market PCD



ZONING MAP
West Market PCD



END OF STAFF REPORT

ORDINANCE 20-23

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING AND REPLACING ORDINANCE 18-09 GENERALLY KNOWN AS THE WEST MARKET PCD PERTAINING TO THE 18.25 +/- ACRE PROPERTY GENERALLY LOCATED SOUTH OF WEST COLONIAL DRIVE, WEST OF SOUTH PARK AVENUE, AND NORTH OF SAND LIME ROAD; AMENDING THE WEST MARKET PCD TO ALLOW AN AUTOMOTIVE SERVICE CENTER AND BANK WITH DRIVE-THRU AS PERMITTED USES, AMENDING THE DEVELOPMENT PLAN AND OTHER DEVELOPMENT RESTRICTIONS; PROVIDING FOR NON-SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on February 22, 2018 the City Commission of the City of Winter Garden approved Ordinance 18-09, which rezoned approximately 18.25 ± acres located at 14120 W. Colonial Drive generally located south of W. Colonial Drive, west of S. Park Avenue, and north of Sand Lime Road from C-2 (Arterial Commercial District) to PCD (Planned Commercial Development), therefore; and

WHEREAS, the owner(s) of the Property have requested to amend the approved PCD by repealing and replacing Ordinance 18-09 with this Ordinance, including the amended PCD requirements identified herein; and

WHEREAS, the permitted uses of a bank with drive-thru and automotive service center are being added to the PCD (Planned Commercial Development) along with a replacement development plan attached as Exhibit "B"; and

WHEREAS, for reference, the provisions underlined in Sections 1 and 2 of this Ordinance are showing additional language added that did not exist in Ordinance 18-09; and

WHEREAS, the Planning and Zoning Board has considered this Ordinance and made a recommendation to the City Commission concerning its adoption; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the City of Winter Garden Code of Ordinances, and

WHEREAS, the City Commission finds based on competent substantial evidence in the record that the PCD amendment approved by this Ordinance meets all applicable criteria for rezoning under the Comprehensive Plan and the Code of Ordinances, therefore

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Rezoning.* The above "Whereas" clauses constitute findings by the City Commission. After due notice and public hearing, PCD Ordinance 18-09 is hereby repealed and replaced with this Ordinance. The Property is zoned PCD (Planned Commercial Development) and development of the Property is subject to the following conditions, provisions, and restrictions:

- a) Applicability/Conflict. All development of or within the Property shall comply with and is subject to the requirements set forth in this Ordinance. Unless specifically identified in this Ordinance, all development on the Property identified in Exhibit "A" must comply with the general development standards of the C-2 (Arterial Commercial District) Zoning district and comply with the standards outlined in Chapter 118 Article IX and X regarding the West State Road 50 Overlay Commercial Development Standards. Notwithstanding anything to the contrary herein, all development of or within the Property shall comply with and is subject to all requirements in the City Code, and ordinances, resolutions, and policies of the City. To the extent of any express conflicts between the express provisions of this Ordinance pertaining to permitted uses, special exception uses, prohibited uses, floor area ratio, architectural design criteria, architectural review, and signage and the City Code and ordinances, resolutions, and policies of the City, the requirements set forth herein shall control to the extent of the conflict.
- b) Intent. This Ordinance is intended to provide flexibility in the development of the Property in order to provide for proper growth and to guide development and construction in an integrated approach in order to promote a dynamic commercial center for commerce and social activity while also providing an aesthetically pleasing and pedestrian oriented development. Due to constraints in traffic at the proposed location, permitted and special exception uses will be established to maintain a safe, well developed project that enhances and supports the City and its citizens without causing distress on the local businesses and roads.
- c) Development Plan. The Property shall be developed in substantial conformance with the Development Plan attached hereto as Exhibit "B". Should any conflict exist between this Ordinance and the Development Plan attached hereto as Exhibit "B", then the standards and conditions established by this Ordinance shall control to the extent of the conflict.
- d) Permitted Uses. The following uses and structures are permitted on the Property:
- i. Retail
 - ii. One (1) bank with drive-thru
 - iii. Office
 - iv. Hotels
 - v. Two (2) restaurants with drive-thru facility
 - vi. Sit-down Restaurants
 - vii. Veterinary/Grooming Services without overnight boarding services
 - viii. Personal Services
 - ix. Entertainment and Recreational uses
 - x. Specialty Grocery Store
 - i. Specialty is defined as a store with a niche in health, community, and majority of goods serviced by local distribution and sustainably sourced. Store must be predominately produce and cater to the local community.
 - xi. One (1) automotive service center use with bay doors facing internally and not towards State Road 50.
- e) Special Exceptions:
- i. Preschools and Day Care
 - ii. Public Facilities

- f) Prohibited Uses: Any use not specifically set forth in this Ordinance as a Permitted or Special Exception Use is prohibited. Without limiting the foregoing, the following are expressly prohibited:
- i. Any use prohibited in the C-2 Zoning Districts not specifically outlined under the Permitted or Special Exception Uses.
 - ii. 24-hour businesses or businesses that extend past the hours between 2am and 5am.
 - iii. Industrial Activities
 - iv. Churches
 - v. Crematories/Funeral Homes
 - vi. Automobile, motorcycle, recreational vehicle or boat sales, rental, storage, painting, service or repair or any combination thereof, except as permitted in Section 1(d)(x) Permitted Uses.
 - vii. Outdoor Displays, Sale and/or Storage not specifically outlined under Permitted or Special Exceptions Uses.
 - viii. Billboard
 - ix. Adult entertainment
 - x. Adult or pornographic book, magazine, video and novelty stores or sales.
 - xi. Pawn shop
 - xii. Tattoo or body art establishments

SECTION 2: Staff Conditions

- a. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
- b. All work shall conform to City of Winter Garden standards and specifications.
- c. Fencing, if proposed, shall meet all City requirements for height, type, etc. Chain link fencing shall be vinyl coated per Code. All construction shall conform to City of Winter Garden Standards, Specifications and Ordinances.
- d. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
- e. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
- f. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility.

Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

- g. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit (minimum site inspection fee is \$500.00).

SECTION 3: *General Requirements*

- a. **Land Development Approvals and Permits** – This Ordinance does not require the City to issue any permits or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- b. **Amendments**- Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- c. **Expiration/Extension** – Expiration of this PCD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.
- d. **Violation** - A violation of this Ordinance is considered a violation of the City of Winter Garden Code of Ordinances and of zoning of the Property.

SECTION 4: *Zoning Map.* The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this Ordinance.

SECTION 5: *Non-Severability.* Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 6: *Repeal and Replace.* This Ordinance repeals and replaces Ordinance 18-09.

SECTION 7: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____ , 2020.

SECOND READING AND PUBLIC HEARING: _____ , 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

Exhibit "A"

LEGAL DESCRIPTION

PARCEL ID's#: 27-22-27-9140-00-005, 27-22-27-9140-00-002, 27-22-27-9140-01-000, 27-22-27-9140-02-000, 27-22-27-9140-03-000, 27-22-27-9140-04-000, 27-22-27-9140-05-000, 27-22-27-9140-06-000, and 27-22-27-9140-00-001

DESCRIPTION:

PARCEL 1:

A PORTION OF THE NORTHEAST ¼ OF SECTION 27, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 27, THENCE NORTH 89 DEGREES 21' 38" WEST ALONG THE NORTH LINE OF THE NORTHEAST ¼ OF SAID SECTION 27, A DISTANCE OF 635.74 FEET; THENCE DEPARTING SAID NORTH LINE, SOUTH 00 DEGREES 49' 03" WEST A DISTANCE OF 75.00 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF STATE ROAD 50, THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE SOUTH 00 DEGREES 49'03" WEST A DISTANCE OF 881.73 FEET TO A POINT OF THE NORTHERLY BOUNDARY OF VILLAGE GROVE PHASE ONE, ACCORDING TO THE PLANT RECORDED IN PLAT BOOK 12, PAGE 113, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE ALONG SAID NORTHERLY BOUNDARY AND NORTHERLY LINE OF VILLAGE GROVE PHASE TWO, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 14, PAGES 15 AND 16, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; A DISTANCE OF 964.46 FEET; THENCE NORTH 02 DEGREES 41'16" EAST A DISTANCE OF 1187.41 FEET TO THE SOUTHERLY RIGHT OF WAY OF STATE ROAD 50; THENCE SOUTH 89 DEGREES 21' 38" EAST ALONG SAID SOUTHERLY RIGHT OF WAY A DISTANCE OF 875.28 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY VIRTUE OF WARRANTY DEED RECORDED AUGUST 8, 2006 IN OFFICIAL RECORDS BOOK 8794, PAGE 4314, DESCRIBED AS FOLLOWS:

COMMENCE AT A 6-INCH CONCRETE MONUMENT WITHOUT IDENTIFICATION AS SHOWN ON FLORIDA DEPARTMENT OF NATURAL RESOURCES CERTIFIED CORNER RECORD DOCUMENT NO.070974 MARKING THE SOUTHEAST CORNER OF THE NORTHEAST ¼ OF SECTION 27, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN NORTH 00 DEGREES 33'36" EAST ALONG THE EAST LINE OF SAID NORTHEAST ¼ OF SECTION 27 A DISTANCE OF 2666.28 FEET TO THE NORTHEAST CORNER OF SAID NORTHEAST ¼ OF SECTION 27; THENCE DEPARTING SAID EAST LINE OF THE NORTHEAST ¼ OF SECTION 27, RUN NORTH 00 DEGREES 07' 46" WEST ALONG THE EAST LINE OF THE SOUTHEAST ¼ OF SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA A DISTANCE OF 1.71 FEET TO A

POINT ON THE CENTERLINE OF SURVEY OF STATE ROAD 50 AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP SECTION 75050, FINANCIAL PROJECT NO. 410983 1, SAID POINT ALSO BEING A POINT ON A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 68,754.94 FEET AND A CHORD BEARING OF NORTH 89 DEGREES 25' 27" WEST; THENCE FROM A TANGENT BEARING OF NORTH 89 DEGREES 37' 36" WEST, RUN WESTERLY ALONG SAID CENTERLINE OF SURVEY AND ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 00 DEGREES 24' 16" A DISTANCE OF 485.45 FEET TO THE POINT OF TANGENCY, SAID POINT ALSO BEING A POINT ON THE NORTH LINE OF THE AFORESAID NORTHEAST ¼ OF SECTION 27; THENCE RUN NORTH 89 DEGREES 13' 19" WEST ALONG SAID CENTERLINE OF SURVEY AND ALONG SAID NORTH LINE A DISTANCE OF 780.34 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST ¼ OF SAID NORTHEAST ¼ OF SECTION 27; THENCE DEPARTING SAID CENTERLINE OF SURVEY AND SAID NORTH LINE, RUN SOUTH 01 DEGREES 14' 52" WEST ALONG SAID EAST LINE A DISTANCE OF 75.00 FEET TO A POINT ON THE EXISTING SOUTH RIGHT OF WAY LINE OF AFORESAID STATE ROAD 50 AS SHOWN ON THE AFORESAID RIGHT OF WAY MAP; THENCE DEPARTING SAID EAST LINE, RUN NORTH 89 DEGREES 13' 19" WEST ALONG SAID EXISTING SOUTH RIGHT OF WAY LINE OF STATE ROAD 50 A DISTANCE OF 242.47 FEET; THENCE DEPARTING SAID SOUTH RIGHT OF WAY LINE OF STATE ROAD 50, RUN SOUTH 03 DEGREES 07' 51" WEST A DISTANCE OF 930.83 FEET FOR A POINT OF BEGINNING; THENCE RUN SOUTH 86 DEGREES 52' 09" EAST A DISTANCE OF 40.00 FEET; THENCE RUN NORTH 03 DEGREES 07' 51" EAST A DISTANCE OF 340.68 FEET; THENCE RUN SOUTH 86 DEGREES 52' 09" EAST A DISTANCE OF 20.00 FEET; THENCE RUN SOUTH 52 DEGREES 12' 58" EAST A DISTANCE OF 472.98 FEET; THENCE RUN SOUTH 03 DEGREES 07' 51" WEST A DISTANCE OF 116.01 FEET; THENCE RUN SOUTH 72 DEGREES 25' 21" WEST A DISTANCE OF 295.12 FEET; THENCE RUN NORTH 52 DEGREES 29' 11" WEST A DISTANCE OF 161.19 FEET; THENCE RUN NORTH 03 DEGREES 07' 51" EAST A DISTANCE OF 17.59 FEET; THENCE RUN NORTH 86 DEGREES 52' 09" WEST A DISTANCE OF 40.00 FEET; THENCE RUN NORTH 03 DEGREES 07' 51" EAST A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING.

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Containing 18.25 acres, more or less.

Exhibit "B"

Development Plan

Exhibit B

West Market Planned Commercial Development

Design Standards

Winter Garden, Florida

December 7, 2017

Revised May 21, 2020

Prepared by:

**Cuhaci & Peterson, Architects
1925 Prospect Avenue
Orlando, Florida 32814
C-P Project # 2170391**

Prepared for:

**Gardenia Plaza, LLC
12200 West Colonial Dr
Suite 303
Winter Garden, Florida 34787**

Table of Contents

I.	Purpose & Intent	3
II.	Applicable Codes	3
III.	Architectural Character Design Criteria	4-5
III.A.	Massing & Articulation	6
III.B.	Building Materials and Theming	7
III.C.	Roof Treatments	8
III.D.	Building Projections & Entryways	9
III.E.	Building Orientation & Site Design	9
IV.	Utilities and Equipment	9
V.	Lighting	10

List of Figures

Figure 1.	Vicinity Plan.....	3
Figure 2.	Example - Grocery	4
Figure 3	Vernacular Examples - Elements.....	5
Figure 4	Example – Small Retail	6
Figure 5	Example – Outparcel.....	8
Figure 6	Example – Outparcel.....	8

West Market

I. Purpose & Intent

The following development standards and design treatments are intended to establish aesthetic requirements for the Planned Commercial Development called "West Market". Located at 14120 W. Colonial Drive in Winter Garden, Florida. West Market is a mix of retail, restaurant, office, and grocery uses intended to attract customers from the City of Winter Garden as well as Orange County and surrounding areas.

The intent of the West Market Design Standards is to create and maintain a positive ambience and identity by providing for architectural and site design treatments that will enhance and improve upon the typical appearance of a retail shopping center.



Figure 1 - Vicinity Plan

II. Applicable Codes

In addition to the West Market Design Standards, all buildings must conform to the current Florida Building Code standards and comply with the Winter Garden, FL Code of Ordinances Article IX West State Road 50 Overlay Commercial Development Standards, unless otherwise noted herein or in PCD Ordinance 17-17.

III. Architectural Character Design Criteria

The overall commercial architectural design of the buildings in West Market will substantially comply with a Florida vernacular architectural style. Final elevations associated with specific site plans will be subject to change by the end user provided the architectural theme is consistent, the standard of quality is maintained, the architectural standards are achieved, and the design is approved by the City.

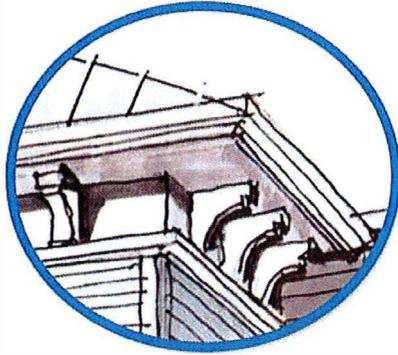
A consistent and compatible standard will be applied to the buildings in the PCD. The following outline of massing, finishes, treatments, colors and use of materials are representative of a theme and a level of quality to be maintained throughout the development. Distinctive and Unique designs are permissible provided the design is not conspicuous within the context of the overall development and helps achieve the overall cohesive style.

All architectural elevations are subject to review and approved by City staff prior to Plan Approval, and there should be consistency between all developments in terms of design style and quality.

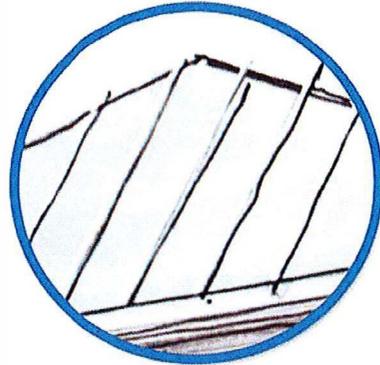


Figure 2 - Vernacular Example – Grocery

VERNACULAR EXAMPLES - ELEMENTS



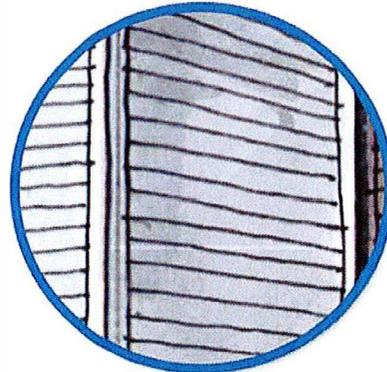
CORNICE WITH BRACKETS



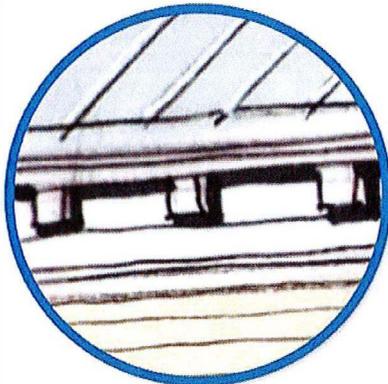
STANDING SEAM METAL ROOF



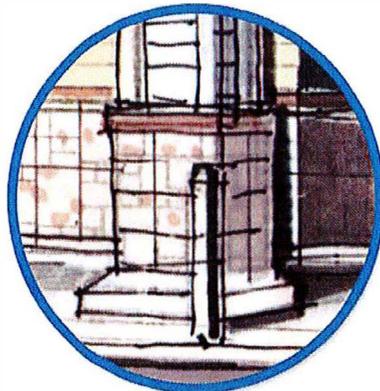
AWNINGS ABOVE GLAZING



SIDING AND TRIM



DECORATIVE TRIM



MASONRY WAINSCOT

III.A. Massing & Articulation

A. The building facades that are visible to pedestrians and/or vehicles along major internal and external circulation routes are required to have architectural variation that is consistent with the Florida Vernacular Style (similar to that depicted in Figure 2). Examples of Florida vernacular style elements include, but are not limited to the following:

- ❖ Cornices
- ❖ Brackets
- ❖ Awnings above glazing
- ❖ Colonnades
- ❖ Contrasting Masonry Base
- ❖ Sloped Roofs
- ❖ Multi-pitched roofs
- ❖ Porticoes
- ❖ Pilasters
- ❖ Columns
- ❖ Gables
- ❖ Siding and Trim
- ❖ Metal Roofs
- ❖ Porches



Figure 4 - Example – Small Retail

B. All buildings should have elements to relieve the sense of a solid monolithic mass and that complement the scale of the surrounding structures and the proposed building. Buildings should be designed to have façade features on multiple planes.

- C. Building facades along major circulation routes shall not have a blank, uninterrupted length that exceeds 100 lineal feet without including at least two of the following:
- ❖ Pilasters
 - ❖ Canopies
 - ❖ Colonnades
 - ❖ Varying Rooflines
 - ❖ Trellis with vines
 - ❖ Columns
 - ❖ Arcades
 - ❖ Dormers
 - ❖ Balconies
 - ❖ Defined Entryways
- D. Architectural design details and window treatments will be utilized to unify all sides of the buildings. Integration of canopies is required to promote a human scale at the entrance and to create visually appealing points of entry that shield visitors from the sun and rain.

III.B. Building Materials and Theming

- A. A consistent architectural theme (as depicted in Figure 3) will be utilized to unify the development, including complimentary colors, finished materials and textures.
- B. Predominant exterior building materials shall be of high quality materials including, but not limited to the following:
- ❖ Stucco
 - ❖ Fiber-cement board siding
 - ❖ Veneer brick or thin brick
- C. Predominant roofing style shall be comprised of the following:
- ❖ Parapets with cornices
 - ❖ Standing seam metal
 - ❖ Standing seam metal shake
 - ❖ Architectural shingles
- D. Prohibited exterior building materials include the following:
- ❖ Smooth faced concrete block
 - ❖ Unfinished tilt-up concrete panels
 - ❖ Prefabricated steel panels
- E. Prohibited roofing materials include the following:
- ❖ Barrel tile
 - ❖ 3-Tab shingles
- F. Rear and side façade materials shall be of materials consistent with that of the primary façade; use of inferior or lesser quality materials shall be prohibited.
- G. Store fronts: False window and door openings defined by frames, sills and lintels, are permitted only when actual doors and windows are not feasible because of the interior use of the building.

- H. Building colors shall be drawn from a light color palette; the color chip shall be submitted to the City for approval. No fluorescent colors are permitted. The use of black, grey, primary and/or secondary colors are prohibited as the predominant exterior building color.
- I. Flat roofs must be screened by a parapet wall finished by a cornice or other architectural detail.



Figure 5 – Example - Outparcel



Figure 6 – Example - Outparcel

III.C. Roof Treatments

- A. Rooftop equipment shall be concealed from public view or located such that the equipment is not visible from public streets or from the parking lot.
- B. In grocery applications only, where the height of the refrigeration equipment, and compressors is such that it becomes impractical to screen the equipment with parapets, equipment screening may be used in lieu of parapets. Mechanical screening may be achieved with materials that do not comprise a parapet provided the height of the screening is equivalent to the height of the equipment and the materials are compatible with the architectural vernacular of the complex. Acceptable screening materials include those noted in section III.B.B. and shall have a cornice similar to that of the parapet walls of the building.
- C. Rooftop parapets shall feature three-dimensional cornice or stylistically appropriate bracketry. Bracketry not incorporated as part of a cornice or frieze will only be permitted in conjunction with a soffit overhang at pitched roof conditions.

III.C. Building Projections & Entryways

- A. Building exteriors will provide shelter from sun and rain. Awnings and overhangs will be provided for pedestrian walkways.
- B. Primary pedestrian entrances will be clearly expressed and be recessed by a sheltering element. This element will preferably be a porch with columns, but elements such as awnings, arcades, and/or porticos may be considered if they achieve the overall intent of these architectural design standards. The minimum height and the maximum depth of these elements shall be 8'.

III.D. Building Orientation & Site Design

- A. Buildings shall be oriented in a manner that will promote and strengthen pedestrian activity. All buildings shall provide sidewalks, with all buildings oriented towards W. Colonial Drive, with pedestrian connectivity throughout the development.
- B. Parking areas shall not visually and physically dominate the road frontages. Parallel to the front face of the building, there shall be no more than two rows (one on either side of an access drive) of angled or 90 degree parking between the front building façade and the adjacent right-of-way.
- C. Parking areas shall provide dedicated pedestrian pathways to primary and secondary building entrances. Pedestrians must also be provided dedicated pathways to adjacent properties.
- D. Site furnishings such as benches, trash receptacles, and bicycle parking facilities shall also be provided on site.

IV. Utilities and Equipment

- A. All utility equipment must be properly screened with walls and/or landscaping. All loading docks and loading areas must be screened from public view with appropriate screen walls, which are architecturally integrated with the main structure.

V. Lighting

- A. Lighting shall be placed or shielded so as not to cause glare, and the placement, intensity, style and direction of lighting shall not create a hazard to vehicular traffic.
- B. Lighting will comply with the design standards, requirements, and regulations pertaining to specified commercial corridors within City of Winter Garden in accordance with Chapter 118, Article X, Division 4.
- C. Poles, globes, and other light fixtures that are of a high design quality are required and shall be consistent with the overall building architecture. Lighting shall not be directly attached to a canopy, or awning without staff review and approval.

Project No.

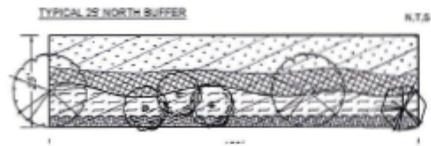
Sheet No.

A 25' - NORTH BUFFER (SR 50 FRONTAGE BUFFER)

LENGTH 885.52 L.F.
 WIDTH 25 L.F.
 AREA 22,188.02 S.F.

PLANTING REQUIREMENTS
 CANOPY TREES 11 / 100 L.F. 15 Required, 13 Provided
 UNDERSTORY TREES 3 / 100 L.F. 28 Required, 26 Provided
 HEDGE 22 / 100 L.F. 284 Required, 258 Provided

COVERAGE REQUIREMENTS
 SHRUBS AND GROUNDCOVERS 30% (11,000.25 S.F.) Required, 95% (13,241.52) Provided



NORTH BUFFER PLANT KEY		
SYM	ABV.	COMMON NAME
⊗	OV	LIVE OAK
⊙	U	GRAPE MYRTLE
⊚	J.	TREE FORM LIQUIDTRUM
⊖	VO	SWEET VIBURNUM
⊞	SB	CORD GRASS
⊠	TA	ASIATIC JASMINE
⊡	SOD	

PLANTS SUBJECT TO CHANGE DURING FINAL SUBMITTAL PROCESS.

INTERIOR STREET PLANT KEY		
SYM	ABV.	COMMON NAME
⊙	U	GRAPE MYRTLE
⊖	VO	SWEET VIBURNUM
⊞	TA	ASIATIC JASMINE
⊡	SOD	

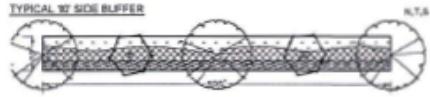
PLANTS SUBJECT TO CHANGE DURING FINAL SUBMITTAL PROCESS.

B 10' - SIDE YARD BUFFERS

EAST LENGTH 425.00 L.F.
 WIDTH 10 L.F.
 AREA 4,250.00 S.F.

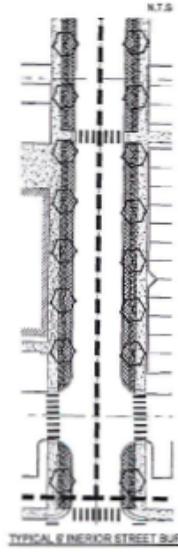
WEST LENGTH 1,151.05 L.F.
 WIDTH 10 L.F.
 AREA 11,491.89 S.F.

PLANTING REQUIREMENTS
 CANOPY TREES 11 / 100 L.F. 30 Required, 25 Provided
 HEDGE 33 / 100 L.F. 658 Required, 658 Provided



SIDE BUFFER PLANT KEY		
SYM	ABV.	COMMON NAME
⊗	OV	LIVE OAK
⊙	UA	WINGED ELM
⊖	VO	SWEET VIBURNUM
⊞	TA	ASIATIC JASMINE
⊡	SCO	

PLANTS SUBJECT TO CHANGE DURING FINAL SUBMITTAL PROCESS.

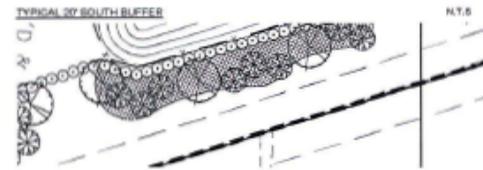


C 20' - SOUTH YARD / POND BUFFER

LENGTH 364.46 L.F.
 WIDTH 20 L.F.
 AREA 7,289.24 S.F.

PLANTING REQUIREMENTS
 CANOPY TREES 11 / 100 L.F. 15 Required, 15 Provided
 UNDERSTORY TREES 3 / 100 L.F. 28 Required, 28 Provided
 HEDGE 33 / 100 L.F. 318 Required, 318 Provided

COVERAGE REQUIREMENTS
 SHRUBS AND GROUNDCOVERS 50% (18,463.02 S.F.) Required, 60% (11,031.36) Provided



SOUTH BUFFER PLANT KEY		
SYM	ABV.	COMMON NAME
⊗	OV	LIVE OAK
⊙	PE	SLASH PINE
⊖	MC	WAX MYRTLE
⊞	SB	CORD GRASS
⊡	SCO	

PLANTS SUBJECT TO CHANGE DURING FINAL SUBMITTAL PROCESS.

D 6' - INTERIOR STREET BUFFER

LENGTH 200 L.F.
 WIDTH 6 FT. WIDE X 2 = 12 L.F.
 AREA 2,704 S.F.

PLANTING REQUIREMENTS
 UNDERSTORY TREES 11 / 100 L.F. 14 Required, 11 Provided
 HEDGE 33 / 100 L.F. 136 Required, 131 Provided

COVERAGE REQUIREMENTS
 SHRUBS AND GROUNDCOVERS 50% (1,352 S.F.) Required, 100% (2,704 S.F.) Provided

NOTE: ALL BUFFER CANOPY TREES SHALL BE A MINIMUM OF 3 INCHES IN CALIPER AND 12 - 15 FEET IN HEIGHT. ALL HEDGES SHALL BE 36 INCHES IN HEIGHT AT INSTALLATION AND BE FULLY OPAQUE WITHIN ONE YEARS AFTER INSTALLATION.

OW Connelly & Wicker Inc.
 Planning - Engineering - Landscape Architecture
 1500 HEDDEN DRIVE, SUITE 210 HEDDEN PARK, HEDDEN, NJ 07033
 TEL: 908.426.1100 FAX: 908.426.1101
 P.O. BOX 3650 L.A. PARISH, LA 70002-0365

LANDSCAPE BUFFER DETAILS

WEST MARKET PCD WINTER GARDEN, FL
 PREPARED FOR GARDENIA PLAZA, LLC

Project No. 17-000007
 Date: 12/01/2017
 Sheet: L101

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM # 5
(Public Hearing)

Date: May 21st, 2020 **Meeting Date:** June 1st, 2020
Subject: 16068 Black Hickory Drive (Variance)
Project Name: 16068 Black Hickory Drive
Parcel ID: 32-22-27-3602-01-890
Issue: The applicant is requesting a variance for the property located at 16068 Black Hickory Drive.

Supplemental Material / Analysis:

Owner / Applicant: Jason Thornton
Current Zoning: PUD
Proposed Zoning: N/A
Current FLU: SUB Suburban Residential
Proposed FLU: N/A

Summary: The applicant is requesting a variance to Ordinance 06-05 for a 0.29 acre property located at 16068 Black Hickory Drive. If approved, this variance will allow a rear yard setback of 9’10”, in lieu of the required 20 feet, in order to build a 600 square foot attached screen enclosure with a solid aluminum panel roof (See Staff Report).

Staff Recommendation(s):

Staff recommends approval of the variance subject to the condition outlined in the Staff Report.

Next Step(s): Follow all City regulations and apply for building permits.

Attachment(s): Location Map
Staff Report

LOCATION MAP

16068 Black Hickory Drive

Building Variance



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: Soraya Karimi, Planner I
DATE: June 1st, 2020
SUBJECT: VARIANCE
16068 Black Hickory Drive (0.29 +/- ACRES)
PARCEL ID # 32-22-27-3602-01-890

APPLICANT: Jason Thornton

INTRODUCTION

The purpose of this report is to evaluate the request for a variance for property located at 16068 Black Hickory Drive in Winter Garden, Florida. The request is to allow a 600 square foot screen enclosure with an solid aluminum panel roof to be constructed with a 9'10" rear setback in lieu of the required 20 foot rear setback.

The subject property, located at 16068 Black Hickory Drive, is an approximately 0.29 ± acre lot. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property carries the zoning designation PUD (Planned Unit Development) and is designated SUB (Suburban Residential) on the Future Land Use Map of the City's Comprehensive Plan.

EXISTING USE

The property contains a two story, 5,055 square foot single-family residence that was built in 2016.

ADJACENT LAND USE AND ZONING

The properties to the north, south, east and west of the subject property are developed with single-family residences, are zoned PUD, and are within the Hickory Hammock subdivision and the City of Winter Garden's Municipal limits.

PROPOSED USE

The applicant is requesting the variance to allow the construction of a 600 square foot attached screen enclosure with a solid aluminum panel roof in the rear yard. The proposed enclosure would be located 9'10" from the northern (rear) property line.

CODE REFERENCE

Ordinance 06-05 addresses minimum yard requirements for single-family dwellings in the Hickory Hammock subdivision. This ordinance states that the rear yard setback for single-family homes on 100' lots is 20'.

The applicant is seeking a variance to the minimum rear yard requirements.

CODE REQUIREMENTS / CRITERIA

Section 118-131 of the City Code that relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue." The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff's comments concerning this particular petition.

(1) Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;

Allowing the attached screen enclosure with solid aluminum panel roof to be built with a 9'10" side setback should not cause a negative impact or interfere with the reasonable enjoyment of adjacent or nearby property owners. The applicant indicates that there is a privacy fence between their lot and their rear neighbor which screens visibility of the back yard, so the sight line impact to rear neighbor is reduced. The height of the proposed enclosure is nine (9) feet at its heighest, so it will only partially be seen over the privacy fence by the rear neighbor. The applicant has provided a letter which was sent to the their rear neighbor, informing them about the enclosure and asking them to sign the document if they agree that the variance should be approved. The letter was signed by the rear neighbor.

The applicant states that the color of the aluminum panel roof will be bronze to match the color of the rest of the enclosure, so the enclosure will provide visual consistency in the event it is seen by the rear or side neighbors. The enclosure will be placed over the existing concrete pad shown in the site photos attached to this report.

- (2) *The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

The proposed variance will allow reasonable use of the property. The applicant states that the enclosure will allow the applicant to shade themselves from direct sunlight in their rear yard, with the applicant adding that they are a previous skin cancer patient. The applicant intends to use the enclosure for activities like grilling and eating. The walls of the enclosure will be screened, so this proposal is comparable to screened roof enclosures, which are allowed with a 5 foot side and rear setback. The applicant provides a comparison from a nearby house to their own proposal, stating that the property owner two doors down owns a patio and pool with a screen enclosure that is five (5) feet from the rear fence. The proposed enclosure is in character with other properties in the Hickory Hammock subdivision, and single family residences in other neighborhoods have approved variances similar in nature to this one.

- (3) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City's land development regulations will not further any legitimate City objective. If the applicant were to shrink the dimensions of the proposed enclosure to accommodate a greater rear yard setback, the use and functionality of the proposed enclosure will be diminished.

- (4) *The granting of the variance is consistent with the city's comprehensive plan; and*
The variance is consistent with the provisions of the City's Comprehensive Plan relating to suburban residential neighborhood character.

- (5) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*

The variance requested is the minimum variances that will make reasonable use of the land. Denying this variance will benefit neither the property owner nor the the City. The applicant states that the 12' wide patio is the minimum width that would still allow normal outdoor recreational activities, such as dining, cooking, and playing, without it being considered cramped and too small.

SUMMARY AND STAFF RECOMMENDATION

City Staff recommends approval of variance to Ordinance 06-05 to allow a 600 square foot attached screen enclosure with a solid aluminum panel roof, with a 9'10" rear yard setback in lieu of the minimum required 20 foot side yard setback, and with the following conditions:

- 1) The lot shall adhere to all other code requirements for development in the Hickory Hammock PUD including setbacks, impervious surface ratios, etc.

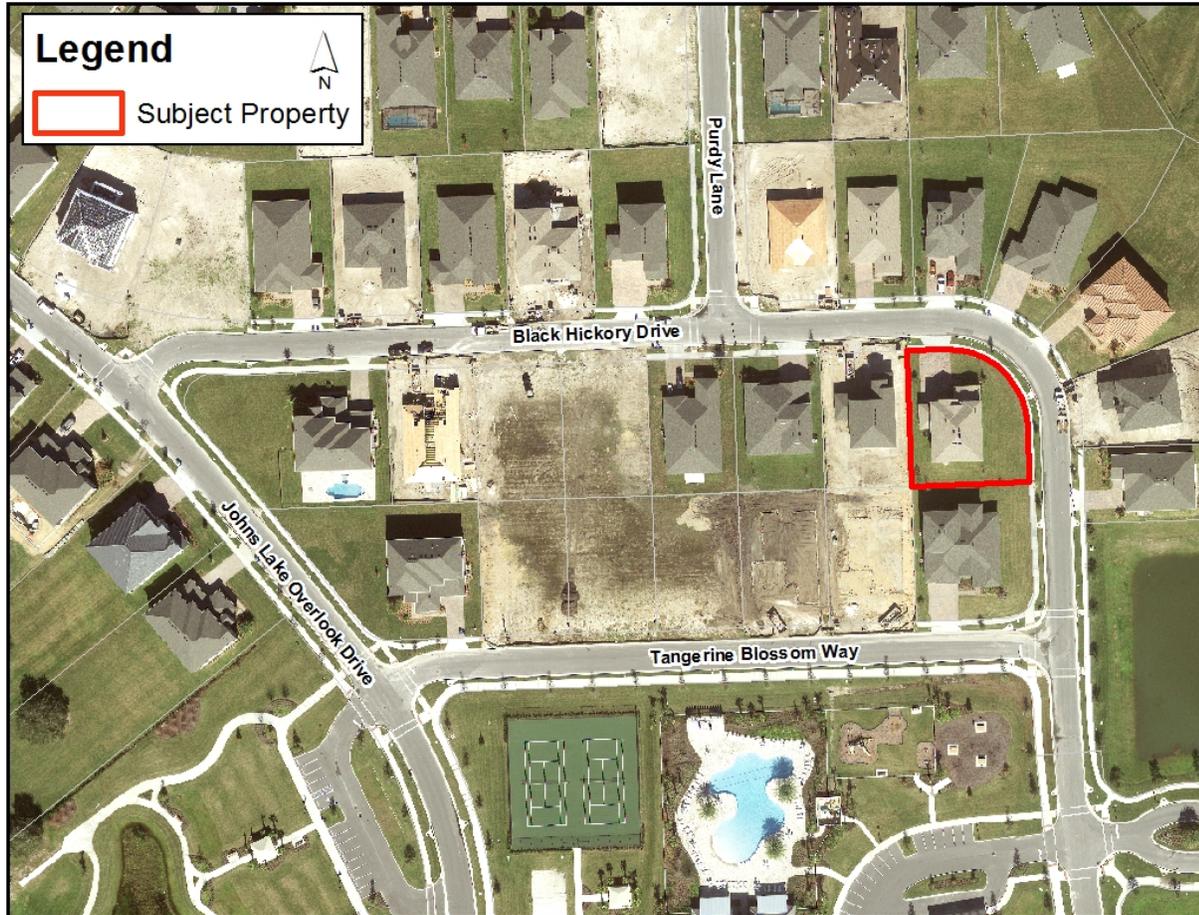
NEXT STEPS

Follow all City regulations and apply for building permits.

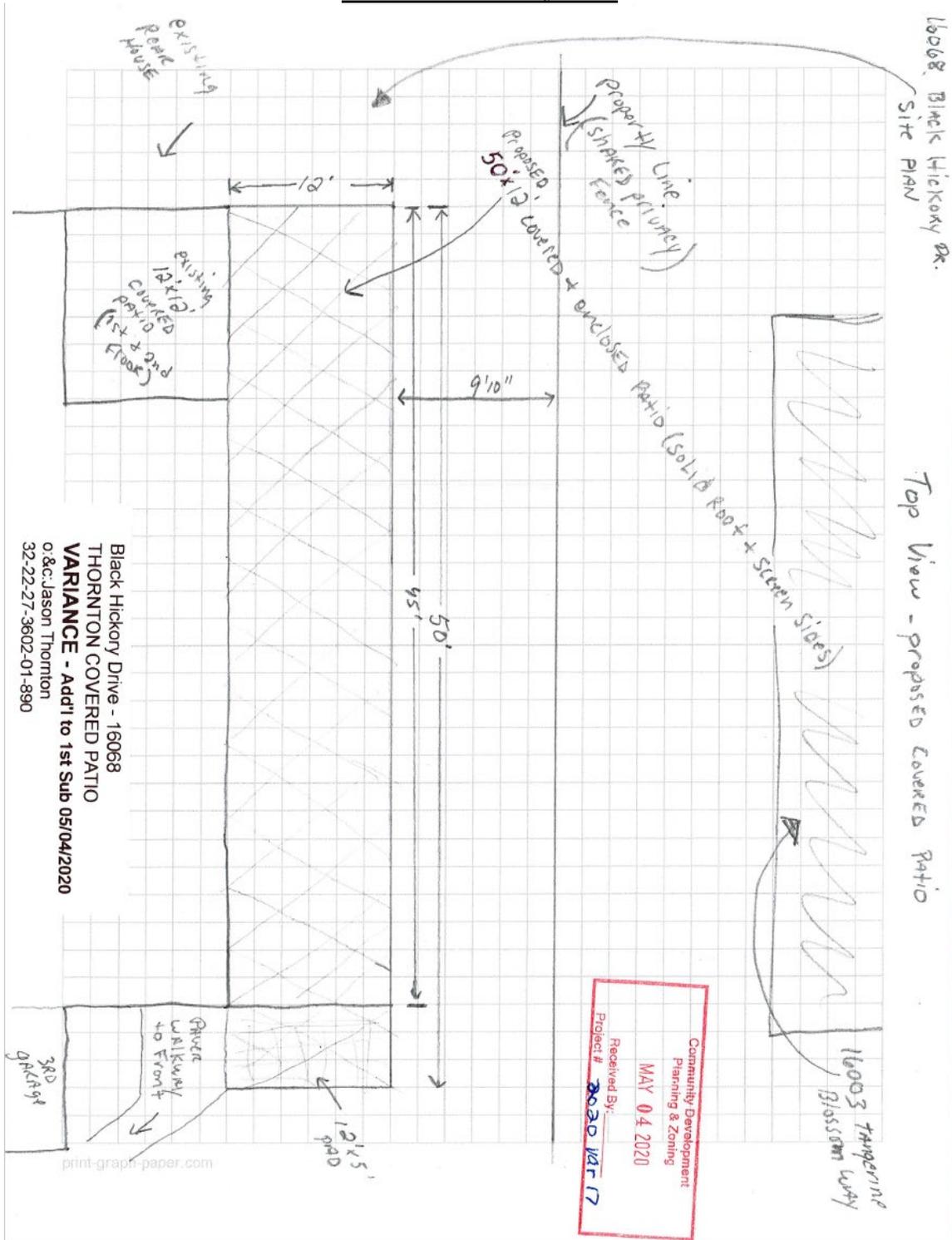
ATTACHMENTS

- Aerial Photo
- Survey
- Proposed Site Plan
- Site Plan Drawing – Side View
- Site Plan Drawing – Top View
- Letter with Signature from Rear Neighbor
- Site Photos

AERIAL PHOTO
16068 Black Hickory Drive



Site Plan Drawing - Top View
16068 Black Hickory Drive



Black Hickory Drive - 16068
THORNTON COVERED PATIO
VARIANCE - Add'l to 1st Sub 05/04/2020
o.s.c.: Jason Thornton
32-22-27-3602-01-890

Community Development
Planning & Zoning
MAY 04 2020
Received By: 2020 JAR 17
Project # 2020 JAR 17

**Letter with Signature from Rear Neighbor
16068 Black Hickory Drive**

Letter From Direct Rear Neighbor

4/29/2020

Jason & Laurie Thornton
16068 Black Hickory Dr
Winter Garden, FL 34787

LANK LENCH
16003 Tangerine Blossom Way
Winter Garden, FL 34787

Dear Neighbors,

I'm writing this letter to make you aware of a variance that I am applying for from the City of Winter Garden to have my rear patio extension covered with a solid roof, with Screened enclosure on the sides. Because I want to always be a considerate neighbor to you and others within our community, I wanted to seek your approval first because of you being the direct rear neighbor of our property, and we share a common privacy fence between our yards. My intent would be for nothing to change in terms of your privacy, or ours, but just to allow us to shade ourselves from the Direct Sunlight that we receive, and make our patio more accessible for the family to enjoy.

As you are probably aware, Winter Garden has deemed 20ft the minimum amount of "setback" allowed for a home in our neighborhood. Although this number does not affect any patio or screened in enclosures, it however does affect our situation because we intend to put a solid panel roof over the patio instead of just a screened enclosure. If we just wanted to screen it in, a variance would not be necessary. I will attach information regarding the type of roof we are intending to install for your reference. Currently our setback is 22ft, and with the proposed single story solid panel roof, our new setback amount will be 10ft. Basically we will just be covering our existing patio.

The product we intend to use is "Elite Aluminum" They match the color of the standard Screened in enclosure that both you and I have on our homes now. It is simply a solid insulated aluminum panel that would be on the roof instead of a screen.

It is my understanding that you will also receive a letter from the Town regarding our application for a Variance, but I wanted to come to you first with the information so you are fully aware of our intentions.

Thank you so much for your understanding, and if you agree that a variance should be given to us, please sign below.

Sincerely,
Jason & Laurie Thornton

LANK LENCH _____ Print

Jason Thornton _____ Sign

SITE PHOTOS
16068 Black Hickory Drive



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM # 6
(Public Hearing)

Date: May 21st, 2020 **Meeting Date:** June 1st, 2020
Subject: 50 E. Palmetto Street (Variance)
Project Name: 50 E. Palmetto Street
Parcel ID: 23-22-27-7828-00-001
Issue: The applicant is requesting a variance for the property located at 50 E. Palmetto Street.

Supplemental Material / Analysis:

Owner / Applicant: Garcia Property
Current Zoning: R-2
Proposed Zoning: N/A
Current FLU: LR Low Density Residential
Proposed FLU: N/A

Summary: The applicant is requesting a variance to Winter Garden Code of Ordinances Section 118-398(1)(b) for a 0.24 acre property located at 50 E. Palmetto Street. If approved, this variance will allow side yard setbacks of 7.5 feet, in lieu of the required 10 feet, in order to build a 2,620.5 square foot single family residence (See Staff Report).

Staff Recommendation(s):

Staff recommends approval of the variance subject to the condition outlined in the Staff Report.

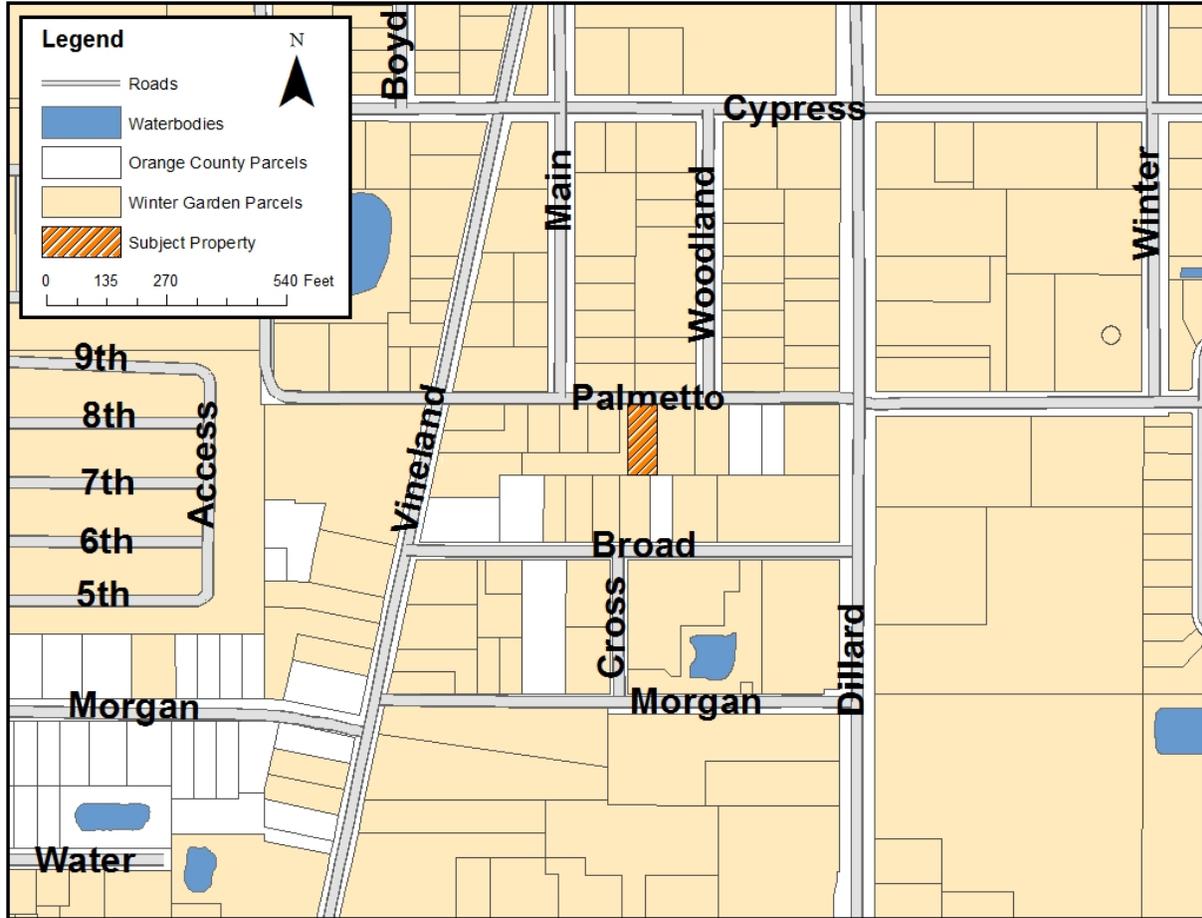
Next Step(s): Follow all City regulations and apply for building permits.

Attachment(s): Location Map
Staff Report

LOCATION MAP

50 E. Palmetto Street

Building Variance



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

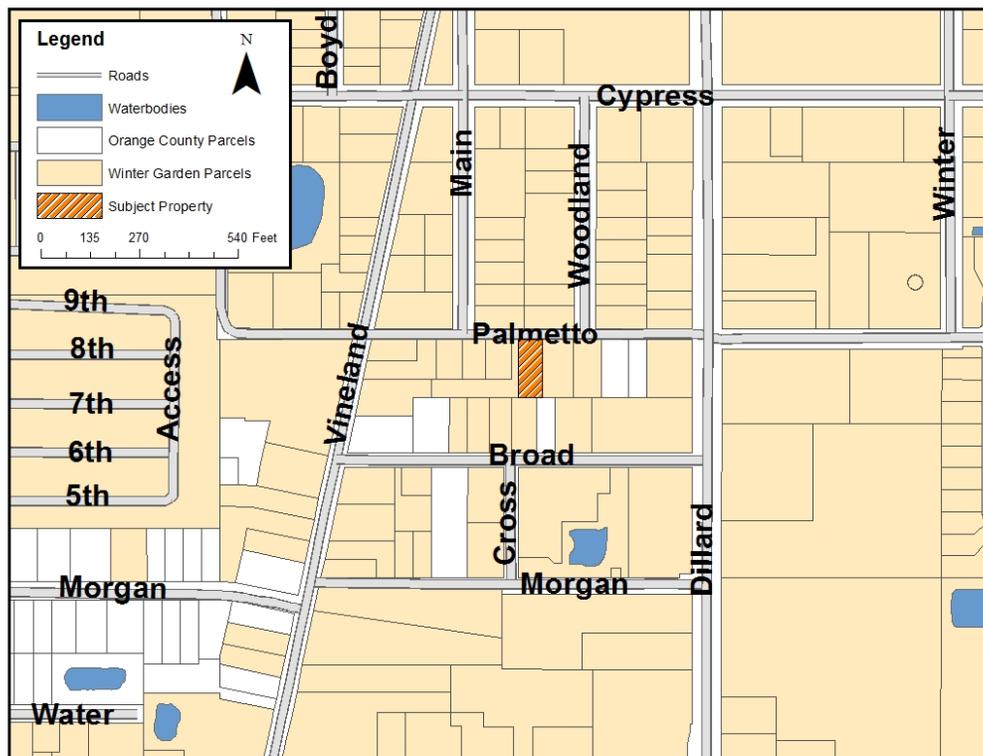
TO: PLANNING AND ZONING BOARD
PREPARED BY: Soraya Karimi, Planner I
DATE: June 1st, 2020
SUBJECT: VARIANCE
50 E. Palmetto Street (0.24 +/- ACRES)
PARCEL ID #23-22-27-7828-00-001

APPLICANT: Garcia Property

INTRODUCTION

The purpose of this report is to evaluate the request for a variance for property located at 50 E. Palmetto Street in Winter Garden, Florida. The request is to allow a 2,620.5 square foot single family residence to be constructed with side yard setbacks of 7.5 feet in lieu of the required ten (10) foot side yard setbacks.

The subject property, located at 50 E. Palmetto Street, is an approximately 0.24 ± acre lot. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property carries the zoning designation R-2 (Single Family Residential District) and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan.

EXISTING USE

The property is currently vacant.

ADJACENT LAND USE AND ZONING

The properties to the north of the subject property are single family residential, zoned R-NC and located within the Borders & Woosley Subdivision and the City of Winter Garden municipal limits. The properties to the east, west, and south of the subject property are single family residential, zoned R-2 and located within the Schenley Park Subdivision and the City of Winter Garden municipal limits.

PROPOSED USE

The applicant is requesting the variance to allow the construction of an 2,620.5 square foot single family residence. The proposed building would be located approximately 7.5' from the western and eastern (sides) property line. The residence would be single story and would include features such as a two car garage, four bedrooms and a lanai.

CODE REFERENCE

Sec. 118-398(1)(b). of the City Code of Ordinances addresses minimum yard requirements for single-family and two-family dwellings in the R-2 Zoning District. This section states,

In the R-2 residential district, the minimum yard requirements are as follows:

(1) Single-family.

...
b. Side: ten feet.

The applicant is seeking a variance to the minimum side yard requirements.

CODE REQUIREMENTS / CRITERIA

Section 118-131 of the City Code that relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue." The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff's comments concerning this particular petition.

(1) Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;

Allowing the single family home be built with 7.5 foot side setbacks should not cause a

negative impact or interfere with the reasonable enjoyment of adjacent or nearby property owners. The applicant states that the “property owners on each side of the subject property have driveways towards the subject lot. Because neither home is at the minimum setback on the adjacent lots there would still be over 20’ of separation between the existing and subject homes if allowed to build on the 7.5’ side setback.” The lot to the west of the subject property is a flag shaped lot, and due to this configuration, the entire length of the subject property’s western property line borders a 20’ driveway. The property to the east of the subject property has a 31.7’ side setback to its western property line (the eastern property line of the subject property). The applicant adds that the new residence will enhance the street because it is new construction with “great architectural detail.” From the elevations, the architectural details of the proposed residence include entry columns, a double gable roof, cedar shake siding, and decorative shutters, which ensures that the home will be a benefit to the surrounding community.

- (2) *The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

The proposed variance will allow reasonable use of the property. The R-2 zoning district is intended for single-family homes and two-family homes, so the proposed use is permitted in the zoning category.

- (3) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City’s land development regulations will not further any legitimate City objective. If the applicant were to shrink the dimensions of the proposed single family residence to accommodate a greater side yard setback, the use and functionality of the proposed residence will be diminished. Denying this application benefits neither the property owner nor the City. The applicant states, “if the City’s objective is to allow new homes to be built that will enhance an older area with newer homes and greater level of architectural style then granting this variance would provide that. The granting of the variance can only add to the value of all adjacent properties as it is newer and larger and has traditional features in its architecture.”

- (4) *The granting of the variance is consistent with the city's comprehensive plan; and*
The variance is consistent with the provisions of the City’s Comprehensive Plan relating to low density residential neighborhood character.

- (5) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*

The variance requested is the minimum variance that will make reasonable use of the land. The proposed single family residence has a beneficial configuration for both the property owners and the adjacent property owners.

SUMMARY AND STAFF RECOMMENDATION

City Staff recommends approval of variance to Section 118-398 (1)(b) to allow the construction of a 2,620.5 square foot single family residence with 7.5 foot side yard setbacks in lieu of the minimum required ten (10) foot side yard setbacks, with the following conditions:

- 1) The lot shall adhere to all other code requirements for development in the R-2 zoning district including setbacks, impervious surface ratios, etc.

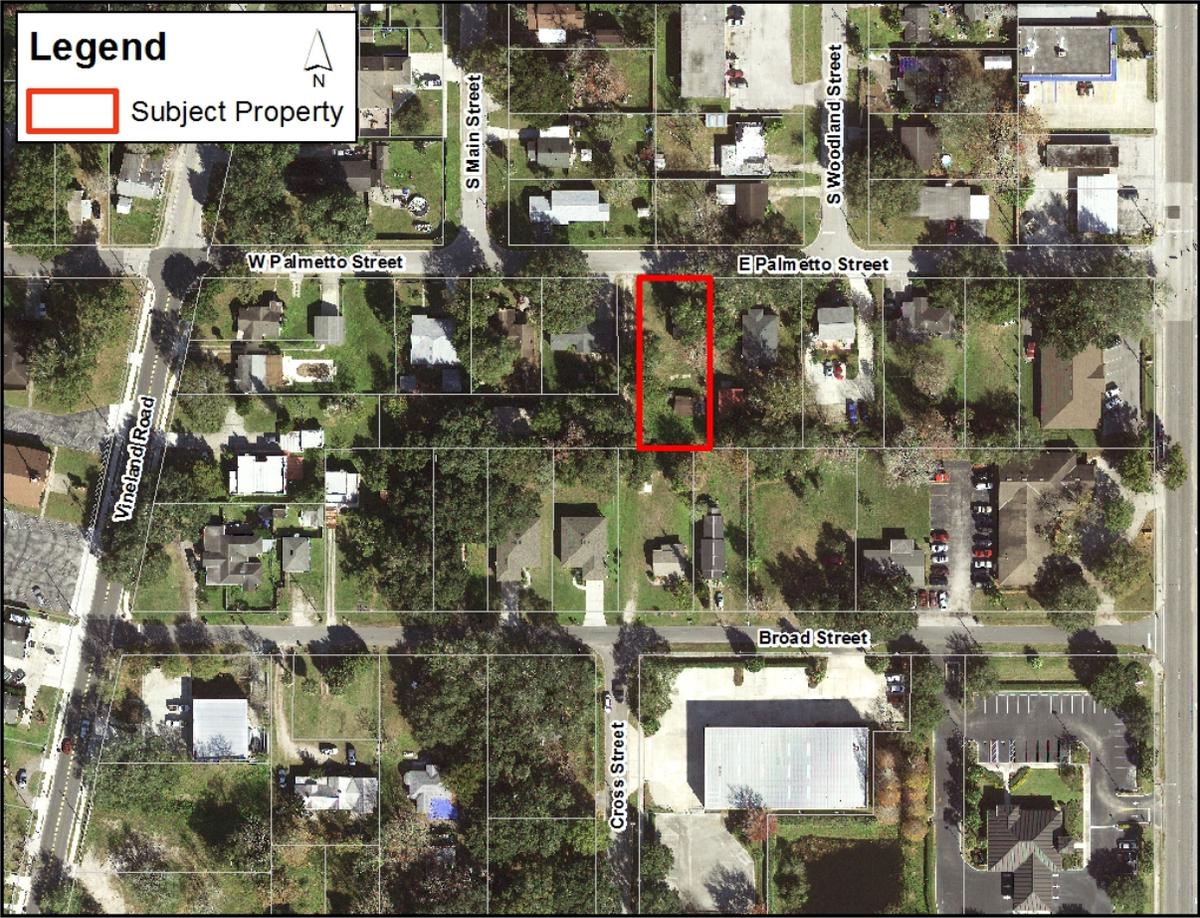
NEXT STEPS

Follow all City regulations and apply for building permits.

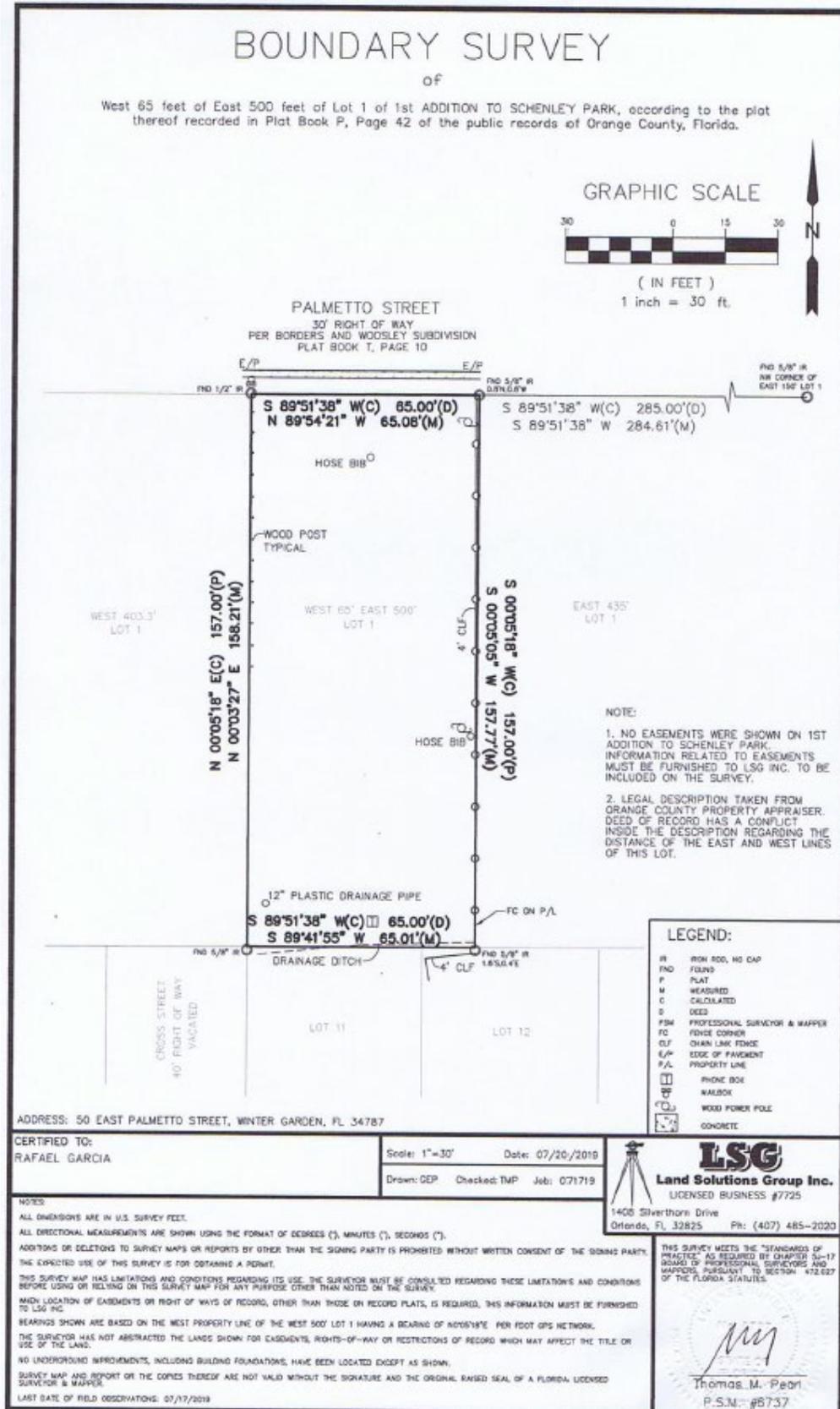
ATTACHMENTS

- Aerial Photo
- Survey
- Proposed Site Plan
- Site Photos

AERIAL PHOTO
50 E. Palmetto Street



SURVEY
50 E. Palmetto Street



SITE PHOTOS
50 E. Palmetto Street



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM # 7
(Public Hearing)

Date: May 21st, 2020 **Meeting Date:** June 1st, 2020
Subject: 428 South Main Street (Variance)
Project Name: 428 South Main Street
Parcel ID: 23-22-27-2888-11-075
Issue: The applicant is requesting a variance for the property located at 428 S Main Street.

Supplemental Material / Analysis:

Owner / Applicant: Torrez Property
Current Zoning: R-2
Proposed Zoning: N/A
Current FLU: LR Low Density Residential
Proposed FLU: N/A

Summary: The applicant is requesting a variance to Winter Garden Code of Ordinances Section 118-398(1)b&c for a 0.24 acre property located 428 S Main Street. If approved, this variance will allow a rear yard setback of zero (0) feet in lieu of the required 22 feet, and a side yard setback of 2.78 feet in lieu of the required 10 feet, for an accessory building in order to build a covered porch that is 4' x 17' (See Staff Report).

Staff Recommendation(s):

Staff recommends approval of the variance subject to the condition outlined in the Staff Report.

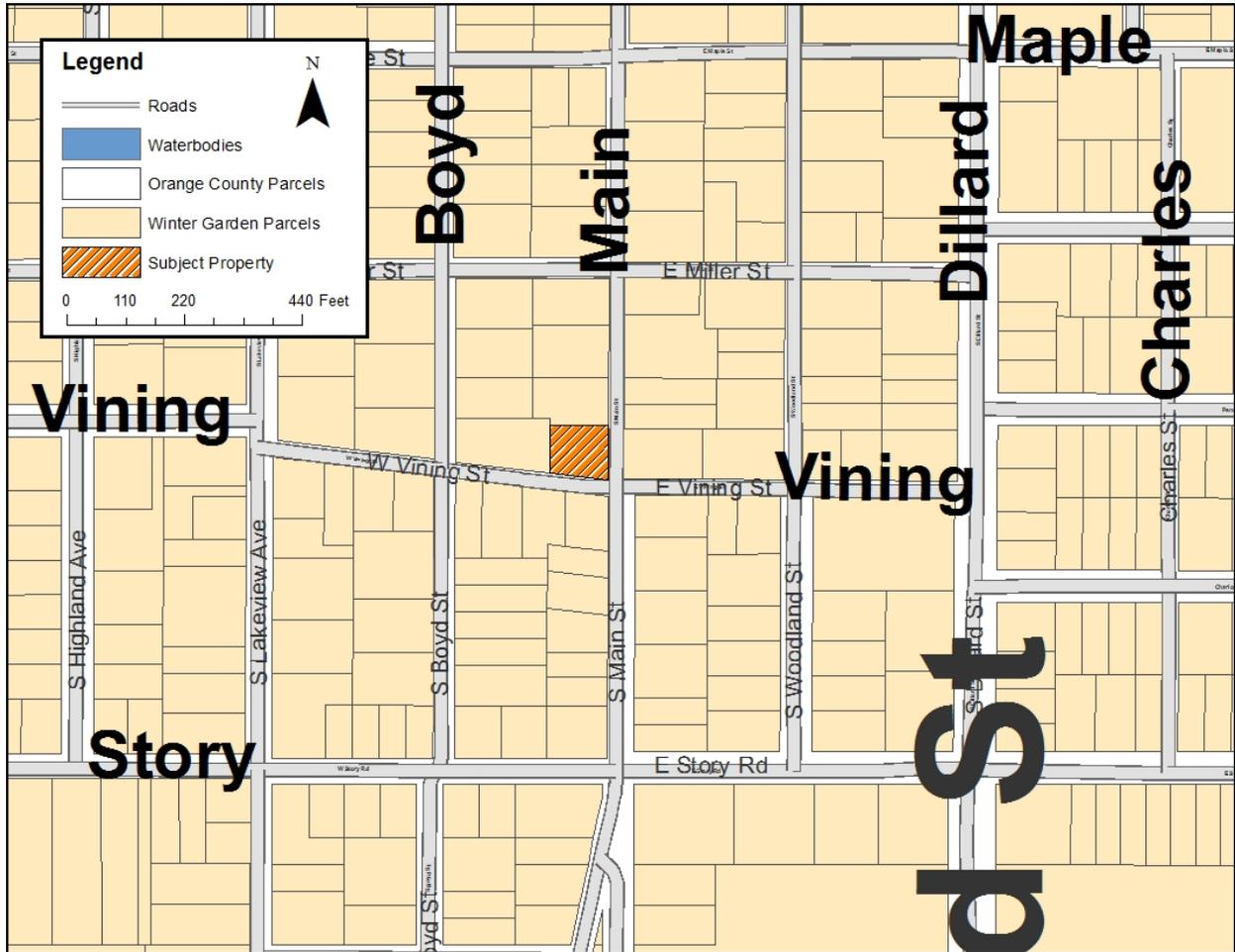
Next Step(s): Follow all City regulations and apply for building permits.

Attachment(s): Location Map
Staff Report

LOCATION MAP

428 S Main Street

Variance



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: Shane Friedman, Senior Planner
DATE: June 1, 2020
SUBJECT: VARIANCE
428 South Main Street (0.24 ± ACRES)
PARCEL ID #23-22-27-2888-11-075

APPLICANT: Michael & Karen Torrez

INTRODUCTION

This variance request will allow a rear yard setback of zero (0) feet in lieu of the required 22 feet, and a side yard setback of 2.78 feet in lieu of the required 10 feet, for an accessory building in order to build a covered porch. The porch on the accessory dwelling unit would be 4' x 17'. The subject property, located on South Main St, is an approximately 0.24 ± acre lot. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property carries the zoning designation R-2 (Residential District) and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan.

EXISTING USE

The property is developed with a single-family home and a detached, accessory dwelling unit.

ADJACENT LAND USE AND ZONING

All of the properties abutting the subject property are developed with single-family residences, are zoned R-2, and are in the City of Winter Garden's Municipal limits.

PROPOSED USE

The applicant is requesting the variance to allow the construction of a covered porch that will be 4' x 17' in dimension.

CODE REFERENCE

Sec. 118-398. of the City Code of Ordinances addresses the minimum yard requirements for single-family dwellings in the R-2 Zoning District. This section states,

In the R-2 residential district, the minimum yard requirements are as follows:

- (1) Single-family.*
 - a. Front: 30 feet*
 - b. Side: ten feet each*
 - c. Rear: 20 percent of depth of lot.*

The applicant is seeking a variance to the rear yard setback in order to construct a covered porch.

CODE REQUIREMENTS / CRITERIA

Section 118-131 of the City Code that relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue." The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff's comments concerning this particular petition.

- (1) Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;*

The current home, and primary structure, was built in 1940. The accessory dwelling unit was bought with the home decades ago. Allowing the variance for the accessory dwelling unit's front porch will not change the continuing use or impact of the accessory dwelling unit and should cause little if any interference with the reasonable enjoyment of the adjacent property owners.

- (2) The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

The requested variance does not change the residential nature of the property. The applicant

is requesting to construct a porch on an already existing accessory dwelling unit. A front porch is consistent with the residential nature of the property and surrounding properties and should not be out of character with this property's zoning district.

- (3) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City's land development regulations will not further any legitimate City objective. The accessory dwelling is already existing.

- (4) *The granting of the variance is consistent with the city's comprehensive plan; and*
The variance is consistent with the provisions of the City's Comprehensive Plan relating to low density residential neighborhood character. The front porch maintains the character of the property's residential zoning district.

- (5) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*

The variance requested is the minimum variance that will make reasonable use of the land as the request is to add a covered porch to an already existing accessory dwelling unit. Denying this variance does not benefit the property owner or the City.

SUMMARY

City Staff recommends approval of a variance to Section 118-398(1)b&c to allow a rear yard setback of zero (0) feet in lieu of the required 22 feet, and a side yard setback of 2.78 feet in lieu of the required 10 feet, for an accessory building in order to build a covered porch that is 4' x 17'.

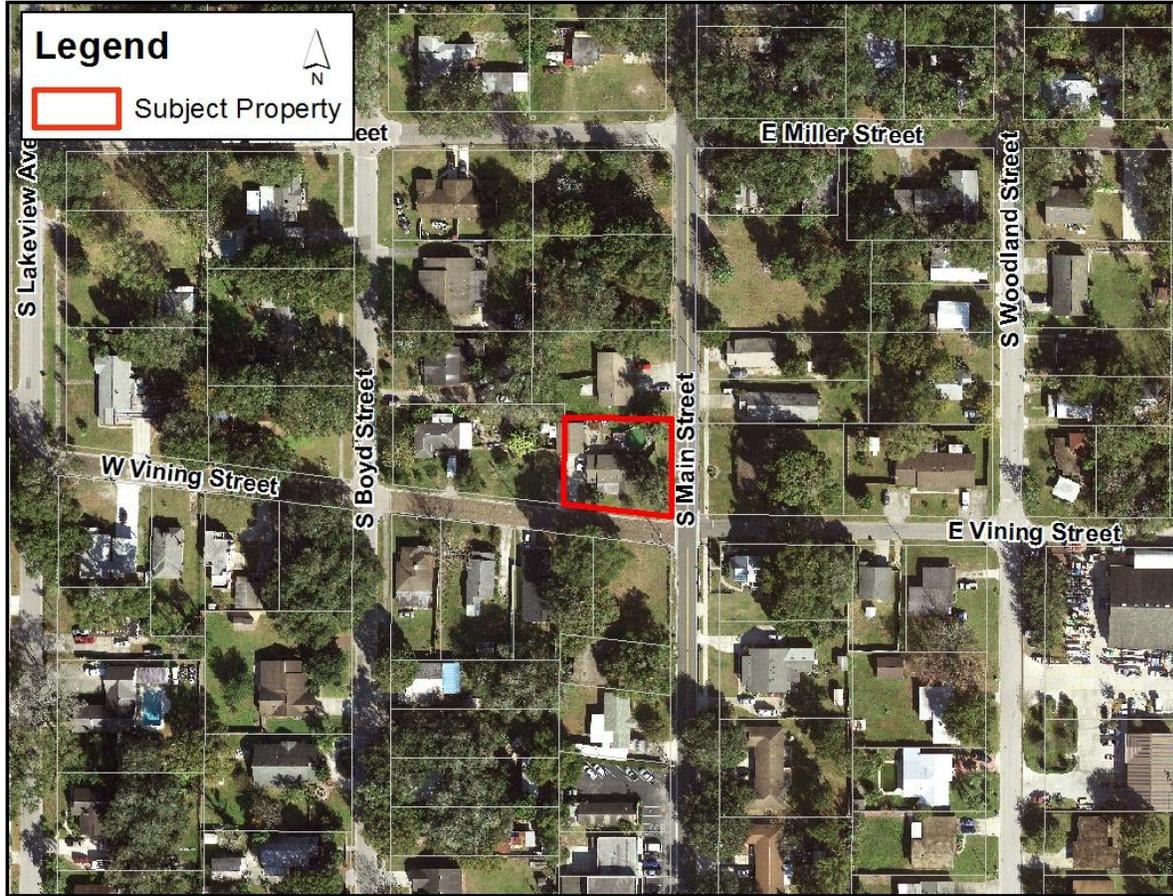
NEXT STEP

Follow all City regulations and apply for building permits.

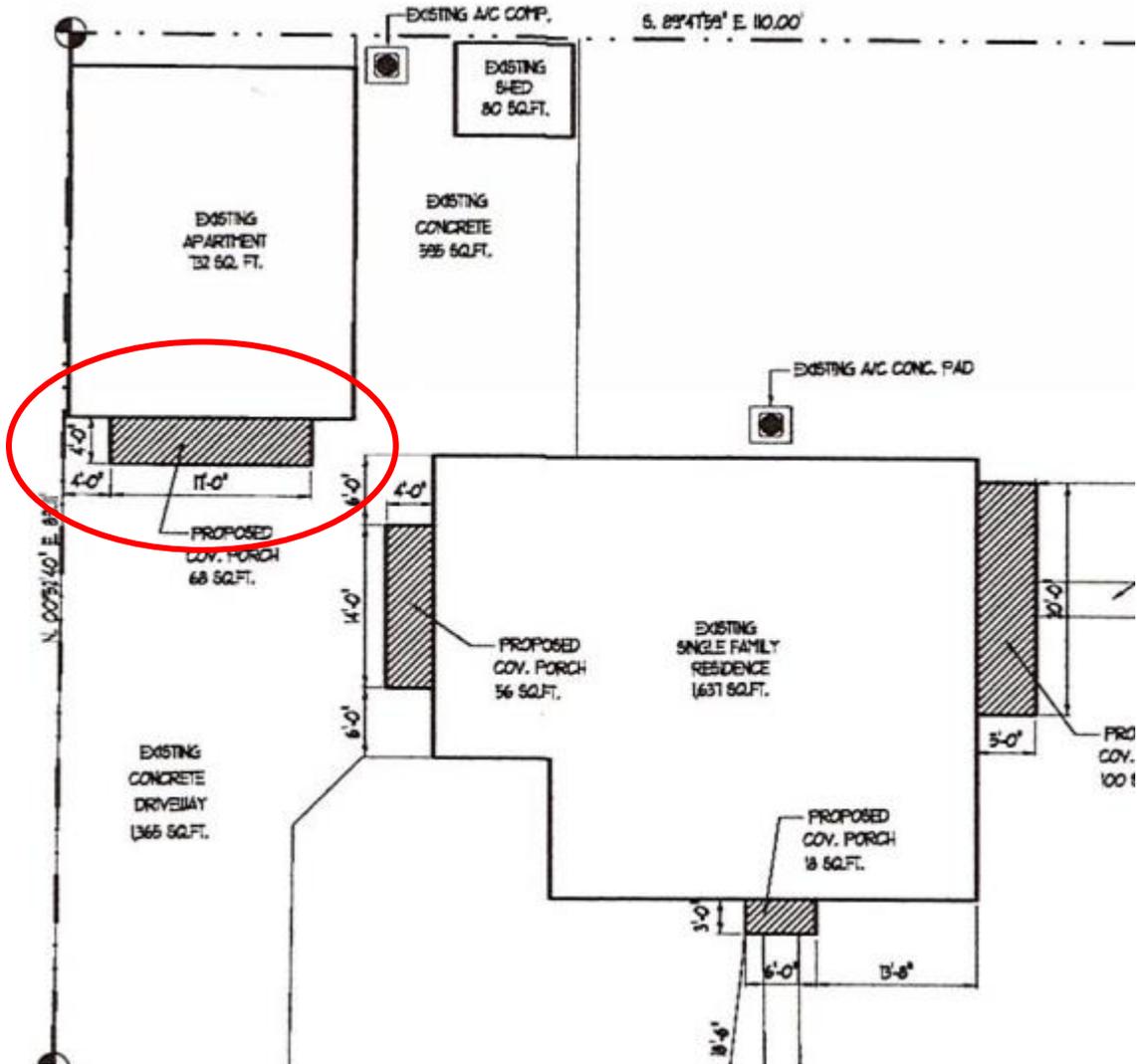
ATTACHMENTS

- Aerial Photo
- Site Plan
- Elevation
- Site Photos

AERIAL PHOTO
428 S. Main St.



Site Plan
428 S. Main St.



Elevation
428 S. Main St.



REAR ELEVATION

SCALE 1/4\"/>



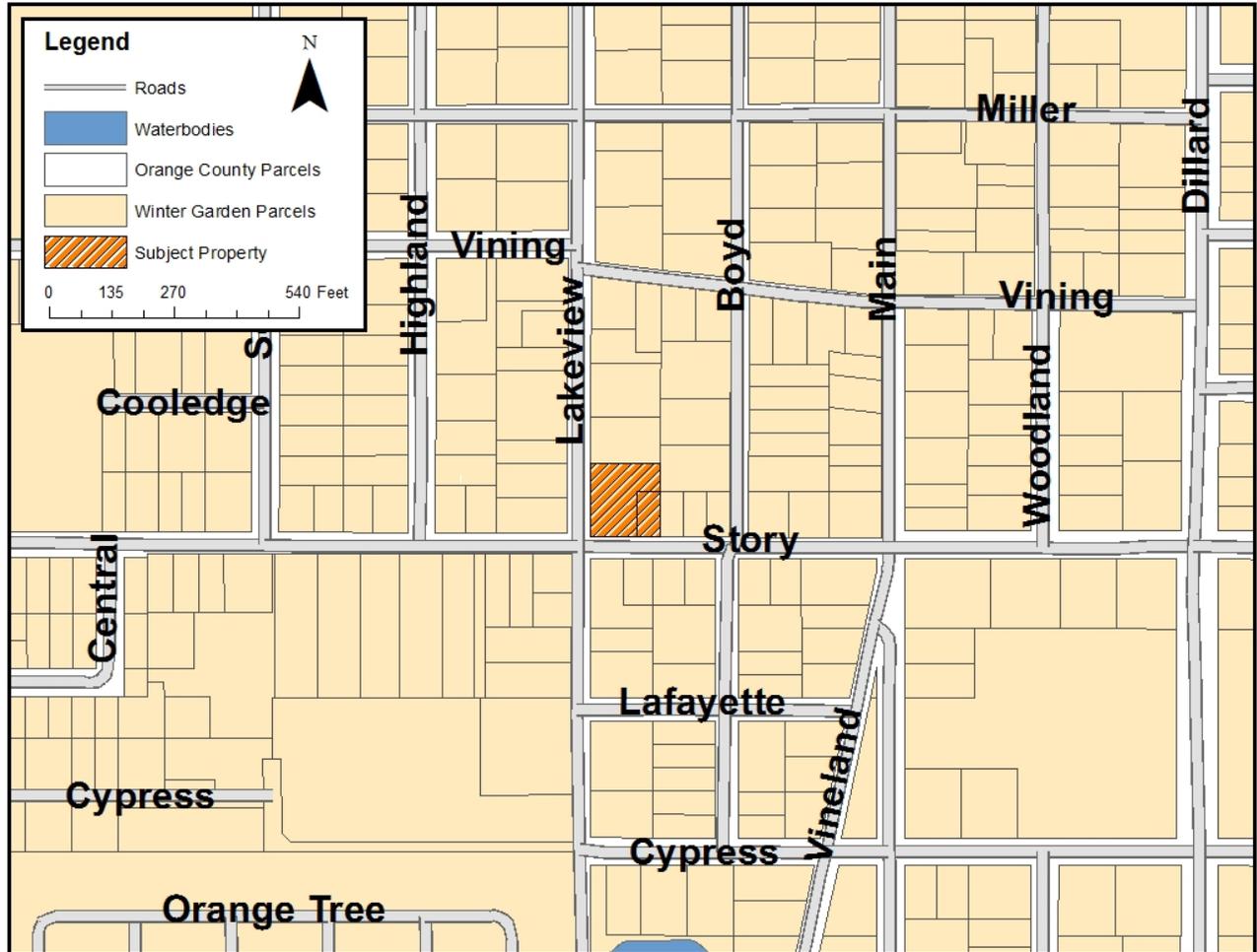
SITE PHOTOS
428 S. Main St.



END OF STAFF REPORT

LOCATION MAP

537 S Lakeview Ave & 39 W Story Rd
Variance



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: Soraya Karimi, Planner I and Kelly Carson, Urban Designer
DATE: MAY 19, 2020
SUBJECT: VARIANCE
537 S Lakeview Avenue & 39 W Story Road (0.552 +/- ACRES)
PARCEL ID # 23-22-27-2468-00-700 & 23-22-27-2468-00-680

APPLICANT: Robbie & Thelma Robinson

INTRODUCTION

The purpose of this report is to evaluate the request for variances for the subject property, located at 537 S Lakeview Avenue & 39 W Story Road in Winter Garden, Florida. The purpose of the variance requests is to clean up multiple nonconformance issues that would be created with a proposed lot split/reconfiguration of the properties. The lot split/reconfiguration of the subject property is also on the Planning & Zoning Board agenda for consideration.

The subject property, located at 537 S Lakeview Avenue & 39 W Story Road, is approximately 0.552 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject properties carries the zoning designation R-2 (Residential District) and are designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan.

EXISTING USE

537 S Lakeview Avenue currently contains two single story residences and two sheds. 39 W Story Road currently contains one garage building and one single story accessory building.

ADJACENT LAND USE AND ZONING

The properties to the north, east and west of the subject property are developed with single-family residences, are zoned R-2, and are within the City of Winter Garden's Municipal limits. The properties to the south of the subject property are a duplex and single family residences, all of which are zoned R-2 and are within the City of Winter Garden's Municipal limits.

PROPOSED USE

The applicant is requesting the variances to allow a lot split/reconfiguration of the subject property. The lot split/reconfiguration will result in two similarly-sized parcels; the northern parcel will be +/- 0.29 acres and the southern parcel will be +/- 0.26 acres. Because of the existing structures on the property, some of which were constructed over 90 years ago, multiple code nonconformance issues would result from the lot split/reconfiguration. The variances that are required to address the lot split/reconfiguration nonconformance issues are as follows:

a. North Parcel

- i. Side setback: A variance to allow an accessory building greater than 160 square feet to have a side setback of 4.4' in lieu of the minimum required 10'.
- ii. Rear setback: A variance to allow an accessory building greater than 160 square feet to have a rear setback of 20' in lieu of the minimum required 30'.
- iii. Rear setback: A variance to allow an accessory building less than 160 square feet (shed) to have a rear setback of 2.5' in lieu of the minimum required 5'.
- iv. Rear setback: A variance to allow an accessory building less than 160 square feet (shed) to have a rear setback of 4.9' in lieu of the minimum required 5'.
- v. Front setback: A variance to allow the primary structure to have a front setback of 15' in lieu of the minimum required 30'.
- vi. Number of accessory buildings: A variance to allow three (3) accessory buildings on one lot in lieu of the maximum permitted two (2).
- vii. Distance between accessory buildings: A variance to allow an accessory building to be located 0.5' from the other two accessory buildings on the lot in lieu of the minimum required 4' separation.

b. South Parcel

- i. Side setbacks: Variances to allow an accessory building greater than 160 square feet (garage) to have side setbacks of 4.5' (each side) in lieu of the minimum required 10'.

- ii. Rear setback: A variance to allow an accessory building greater than 160 square feet (garage) to have a rear setback of 5.2' in lieu of the minimum required 30'.
- iii. Accessory building: A variance to allow an accessory building (garage) to be 575 percent the size of the principal building in lieu of the maximum permitted 50 percent.
- iv. Accessory building: A variance to allow an accessory building greater than 160 square feet (garage) to occupy 40% of the rear yard in lieu of the maximum permitted 25%.

After the lot split/reconfiguration, the applicant intends to rezone the southern parcel to R-NC, and use the existing garage on the property as a hair salon studio.

CODE REFERENCE

Sec. 118-398(1)(a), 118-398(1)(b), and 118-398(1)(c) of the City Code of Ordinances addresses minimum yard requirements for single-family and two-family dwellings in the R-2 Zoning District. This section states,

In the R-2 residential district, the minimum yard requirements are as follows:

- (1) *Single-family and two-family.*
 - a. *Front: 30 feet.*
 - b. *Side: ten feet.*
 - c. *Rear: 20 percent of the depth of the lot.*

Sec. 118-1310(a)(3), 118-1310(b), 118-1310(c)(1)(a), 118-1310(c)(1)(b), 118-1310(c)(2)(a) and 118-1310(c)(2)(c). of the City Code of Ordinances addresses code requirements for accessory buildings and structures. This section states,

(a) Definitions. For the purpose of this section, the following will be used as definitions:

Accessory buildings. An accessory building for both residential and nonresidential development is defined as a building that:

- ...
 - (3) *The total square footage of all accessory buildings are less than 50 percent of the size of the principal building; and*

...
(b)...

No more than two such accessory buildings may be located on any lot.

...
(c) *Setback and separation requirements for detached accessory buildings.*

- (1) *Accessory buildings—160 square feet or less. Accessory buildings that are detached from the principal building and are 160 square feet or less shall be:*
 - a. *Located no less than five feet from a side or rear property line, and have the same sideyard setback as the principal building when located on the street side of a corner lot.*
 - b. *Be closer than four feet to any other accessory building on the same lot*

...
(2) *Accessory buildings—Greater than 160 square feet. An accessory building greater*

than 160 square feet shall comply with the above requirements with the following exceptions:

a. An accessory building greater than 160 square feet must comply with all the setback requirements of the principal structure.

...

c. An accessory building greater than 160 square feet shall not occupy more than 25 percent of the rear yard.

...

CODE REQUIREMENTS / CRITERIA

Section 118-131 of the City Code that relates to the review criteria states that, “A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue.” The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff’s comments concerning this particular petition.

(1) Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;

No new buildings are being constructed and no existing buildings are being expanded, so allowing the variances to approve the lot split/reconfiguration will not cause or allow interference of the reasonable enjoyment of the adjacent or nearby property owners. The lot split/reconfiguration will not impact nearby property owners. The applicant states that they have spoken with their neighbors and “they have no concerns”— however, staff has not received any written documents from nearby property owners corroborating the applicant’s statement.

(2) The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;

The proposed variances will allow reasonable use of the property. The parcels resulting from the lot split will be comparable in size and shape to other lots in the area, if not slightly larger, and no buildings are being expanded or constructed.

(3) In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;

Strict compliance with the City’s land development regulations will not further any legitimate City objective. The benefits to the applicants of granting the variances outweigh the benefits under the criteria if the variances were denied.

(4) The granting of the variance is consistent with the city's comprehensive plan; and

The variances are consistent with the provisions of the City’s Comprehensive Plan relating to low density residential neighborhood character.

(5) The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.

The variances requested are the minimum variances that will make reasonable use of the land. The variances will enable the lot split/reconfiguration, which will further allow the applicants to reach their goals for the property. Denying this variance will benefit neither the property owner nor the City.

SUMMARY AND STAFF RECOMMENDATION

City Staff recommends approval of variances to Sec. 118-398(1)(a), 118-398(1)(b), 118-398(1)(c), 118-1310(a)(3), 118-1310(b), 118-1310(c)(1)(a), 118-1310(c)(1)(b), 118-1310(c)(2)(a) and 118-1310(c)(2)(c) to allow a lot split/reconfiguration with multiple conformance issues to be processed, with the following conditions:

- 1) The lots shall adhere to all other code requirements for development in the R-2 zoning district including setbacks, impervious surface ratios, etc.
- 2) Rezoning, future land use amendment, and site plan approval are required for the proposed commercial use on the southern lot.

NEXT STEPS

Follow all City regulations and apply for building permits. The applicant shall apply for rezoning and future land use amendment for the southern parcel to permit a commercial use on the property, as well as a site plan application to ensure conformance with the City's commercial site development standards.

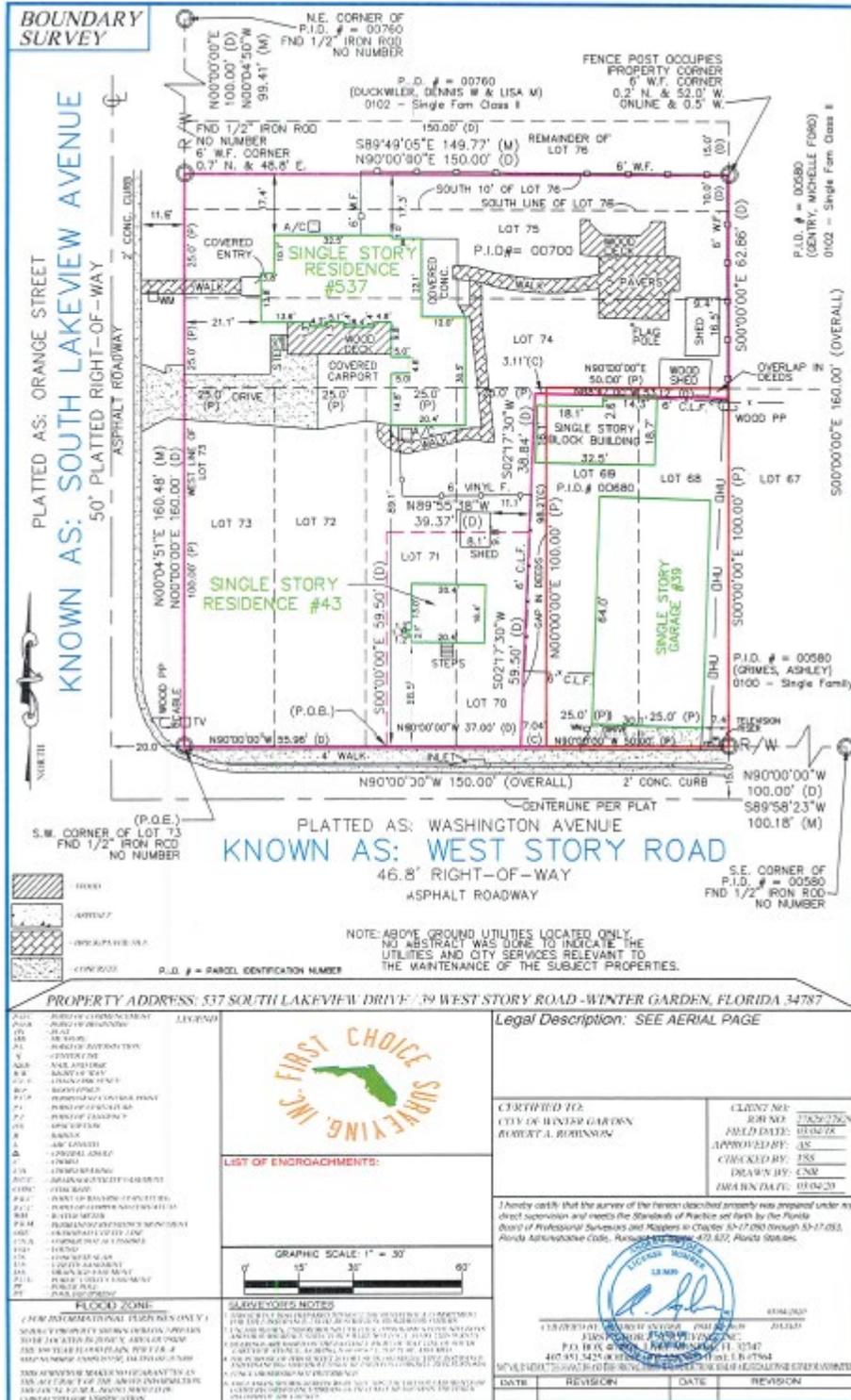
ATTACHMENTS

- Aerial Photo
- Survey
- Proposed Site Plans
- Site Photos

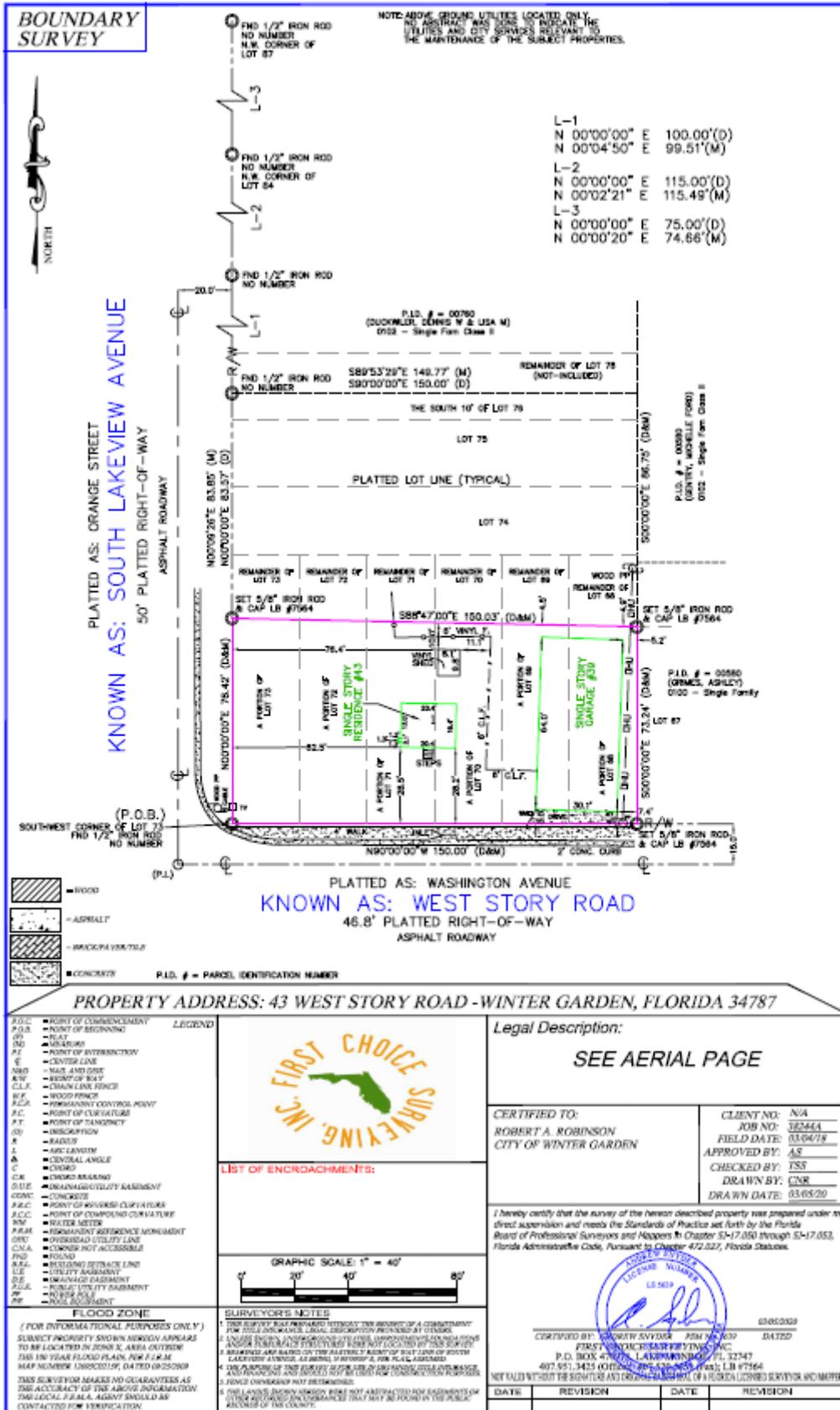
AERIAL PHOTO
537 S Lakeview Avenue & 39 W Story Road

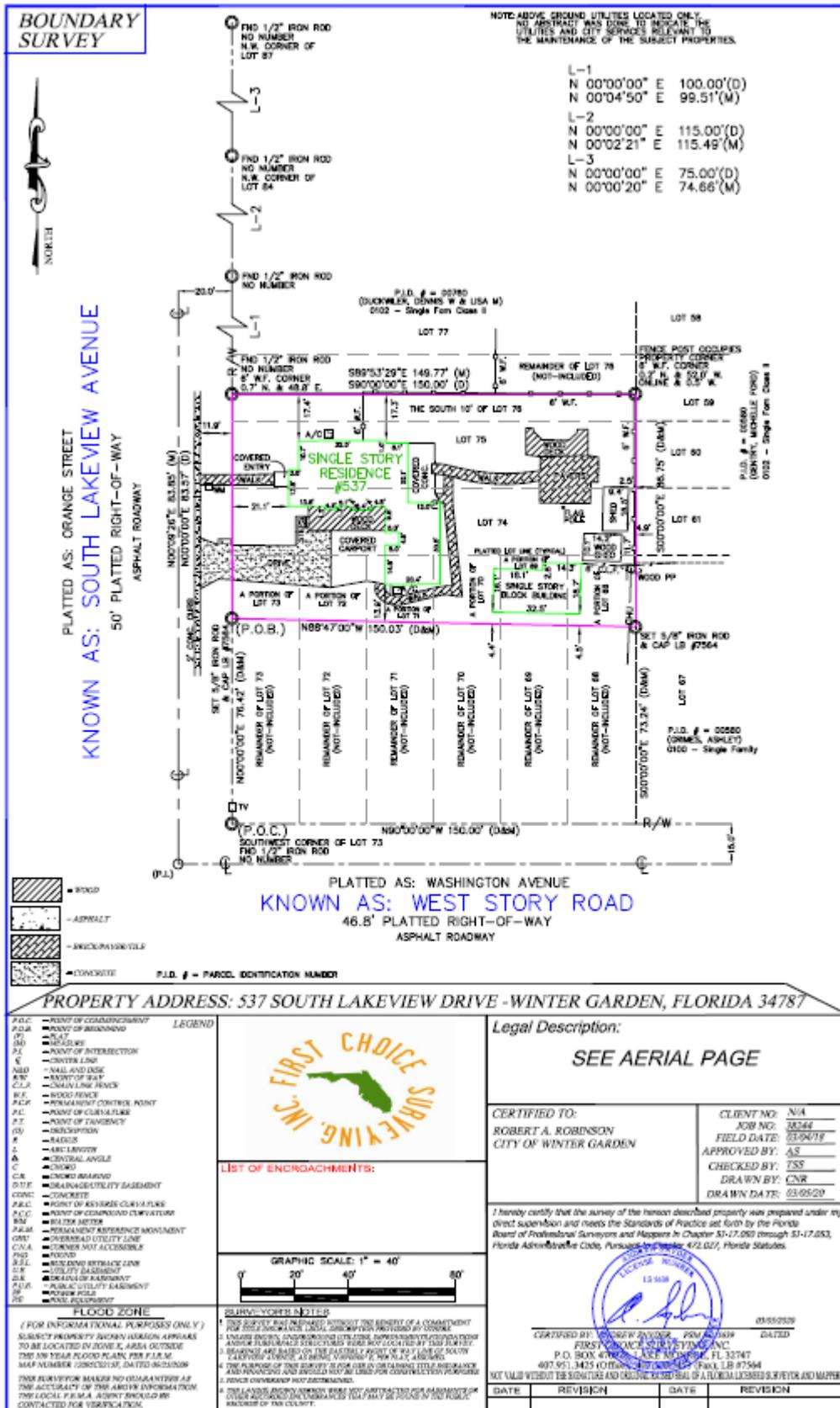


SURVEY – EXISTING
537 S Lakeview Avenue & 39 W Story Road



LOT SPLIT SURVEYS
537 S Lakeview Avenue & 39 W Story Road





SITE PHOTOS
537 S Lakeview Avenue & 39 W Story Road

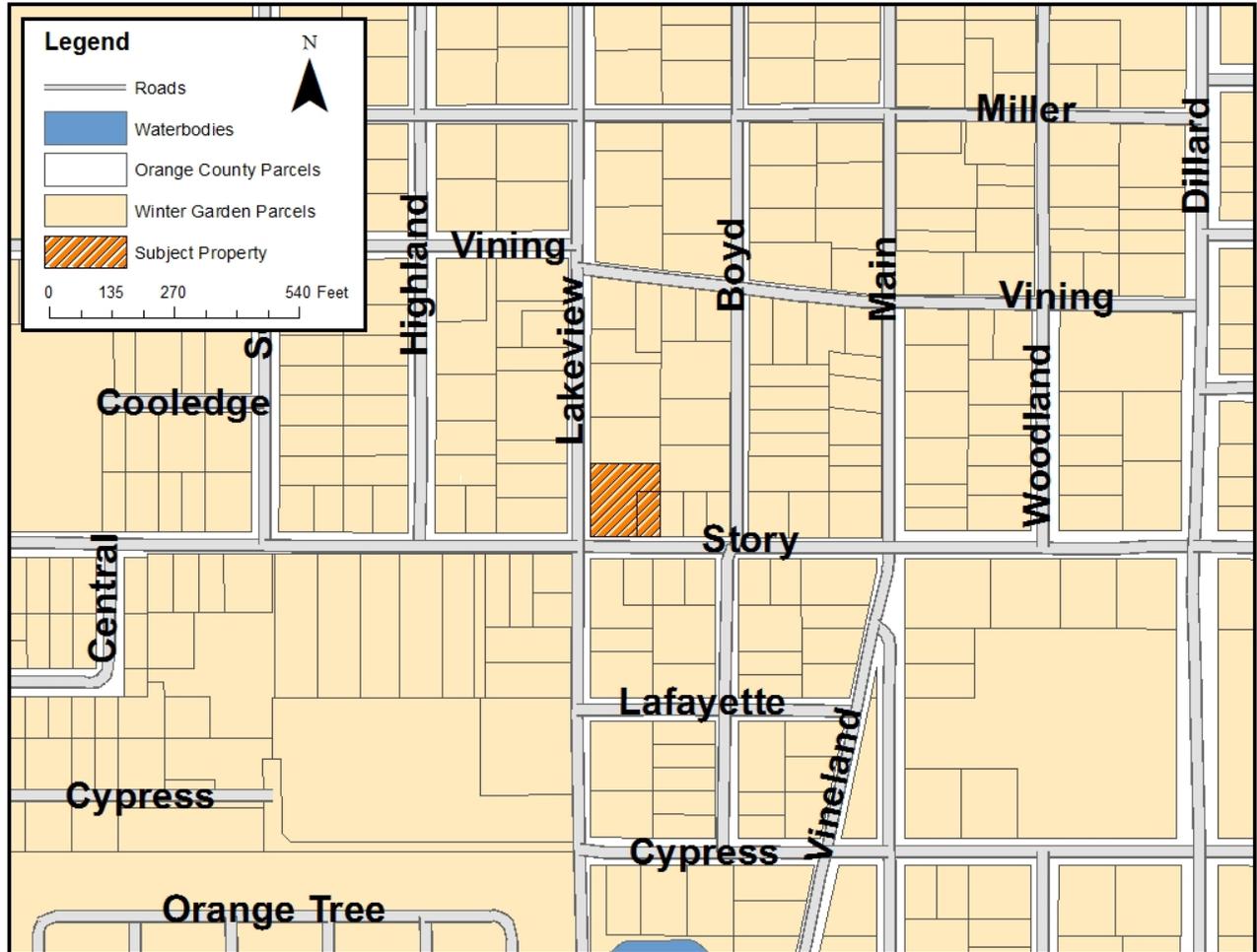




END OF STAFF REPORT

LOCATION MAP

537 S Lakeview Ave & 39 W Story Rd
Lot Split



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

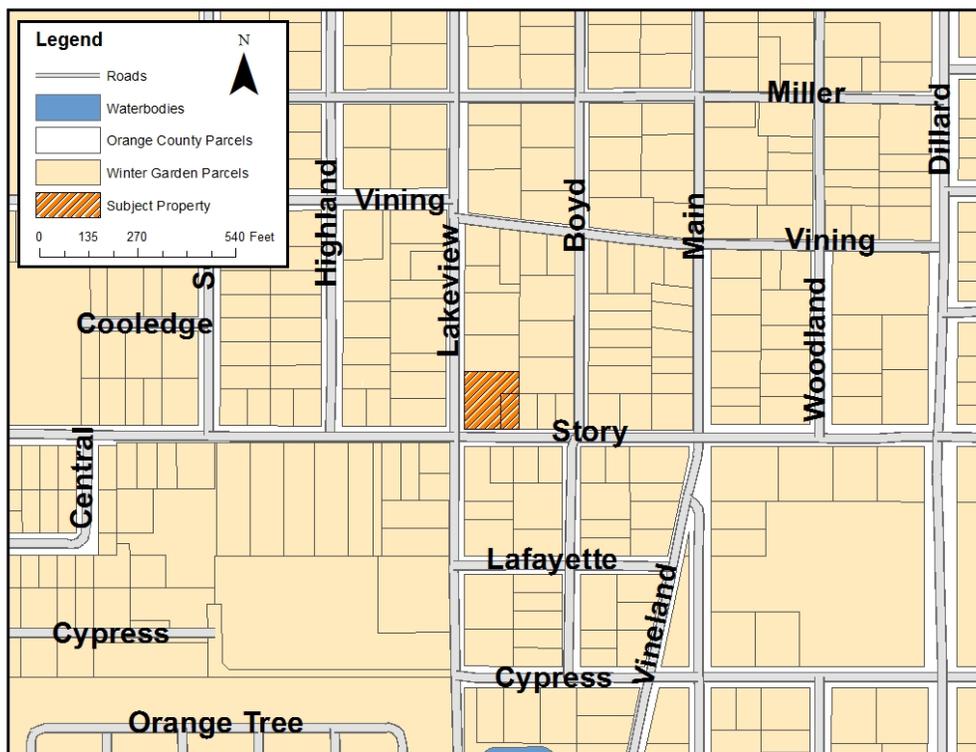
TO: PLANNING AND ZONING BOARD
PREPARED BY: Kelly Carson, Urban Designer
DATE: MAY 19, 2020
SUBJECT: LOT SPLIT
537 S Lakeview Avenue & 39 W Story Road (0.552 +/- Acres)
Parcel ID # 23-22-27-2468-00-700 & 23-22-27-2468-00-680

APPLICANT: Robbie & Thelma Robinson

INTRODUCTION

The purpose of this report is to evaluate the request for a lot split/reconfiguration of the subject property, located at 537 S Lakeview Avenue & 39 W Story Road in Winter Garden, Florida. Multiple variance requests related to this lot split request are also on the Planning & Zoning Board agenda for consideration.

The subject property, located at 537 S Lakeview Avenue & 39 W Story Road, is approximately 0.552 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property carries the zoning designation R-2 (Residential District) and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan.

EXISTING USE

537 S Lakeview Avenue currently contains two single story residences and two sheds. 39 W Story Road currently contains one garage building and one single story accessory building.

ADJACENT LAND USE AND ZONING

The properties to the north, east and west of the subject property are developed with single-family residences, are zoned R-2, and are within the City of Winter Garden's Municipal limits. The properties to the south of the subject property are a duplex and single family residences, all of which are zoned R-2 and are within the City of Winter Garden's Municipal limits.

PROPOSED USE

The applicant is requesting to reconfigure the existing lot lines of the two existing lots. No additional lots will be created by this request. The lot split/reconfiguration will result in two similarly-sized parcels. After the reconfiguration, the northern parcel will be +/- 0.29 acres in size and the southern parcel will be +/- 0.26 acres in size. The applicant has also submitted an application for the multiple variances needed to address the nonconformities created by the new lot configuration. After the lot split/reconfiguration, the applicant intends to rezone the southern parcel to R-NC, and use the existing garage on the property as a hair salon studio.

CODE REFERENCE

Sec. 110-96. - Proposed subdivision of existing lot.

- (a) Whenever a proposed subdivision is a proposal for the division of a single existing lot into two lots, in lieu of complying with division 3 of this article, the subdivider may conform to the procedural requirements set out in this division or he may comply with the procedure for subdivision or resubdivision contained in this chapter at the applicant's option. This procedure shall not apply to a subdivision into more than two lots or additional lot splits on contiguous land or within the same existing subdivision. The intention being that this procedure may only be used once as it pertains to all or any portion of the lands involved in or previously utilizing or subject to this procedure.
- (b) A subdivider shall apply to the city manager on an application form, promulgated by the director of planning, for the subdivision of a single existing lot into two lots, stating the subdivider's plans for development with the following minimum criteria:
 - (1) A sketch showing the lot size, location of proposed buildings, location of easements, names of bordering streets, building setbacks, names and locations of all bodies of water, marshlands, drain fields, and all other waterways and watercourses abutting or encroaching upon subject property. This sketch must also show existing buildings and lot dimensions.
 - (2) A brief description of all utilities and city services, including sewers, potable water facilities, and fire hydrants electric and telephone poles, streetlights, storm drains and

any other utilities or services relevant to the maintenance of subject properties.

- (3) A listing of the names and addresses of the record owners abutting subject property.
- (4) A boundary survey of the lands subject to this procedure, as existing (i.e., prior to the proposed lot split) and as proposed (i.e., after the proposed lot split), performed and prepared under the responsible direction and supervision of a professional surveyor and mapper shall be certified to and submitted to the city. Said surveys shall include the depiction of existing improvements thereon.

- (c) Lot split procedure. Once the application is determined to be complete, the city staff shall review the request for compliance with the code (e.g. compliance with lot dimensions requirements, setbacks for existing buildings etc.).

Upon review by the city staff, with or without conditions or restrictions, the application, together with the recommendations, conditions and restrictions, shall be presented to the planning and zoning board at its next regular meeting or session, following action by the city staff, for approval or disapproval. The planning and zoning board may take the following actions:

- (1) Approve the application as recommended by the city staff.
- (2) Approve the application, deleting or supplementing the conditions and restrictions of the city staff.
- (3) Approve the application, adding conditions and restrictions as determined by the planning and zoning board.
- (4) Disapprove the application.

The planning and zoning board shall have the option to take such action as it deems necessary and proper upon one hearing.

SUMMARY

The applicant has submitted a request for a lot split to reconfigure the lot lines of two existing parcels. Based on the property's R-2 zoning and Future Land Use designation of Low Density Residential, the applicant meets all of the criteria to obtain a lot split and reconfigure the lots lines, however the applicant will need multiple variances to address the nonconformities created by the reconfiguration; the variance requests are being considered concurrently with this application.

STAFF RECOMMENDATION

Staff recommends approval of the proposed lot split subject to the following condition(s):

- (1) Applicant must be approved for the requested variances that are running concurrently with this lot split application.
- (2) The lots shall adhere to all other code requirements for development in the R-2 zoning district including setbacks, impervious surface ratios, etc.
- (3) Rezoning, future land use amendment, and site plan approval may be required for the proposed commercial use on the southern lot.

NEXT STEP

Follow all City regulations and apply for building permits. The applicant shall apply for rezoning and future land use amendment for the southern parcel to permit a commercial use on the property, as well as a site plan application to ensure conformance with the City's commercial site development standards.

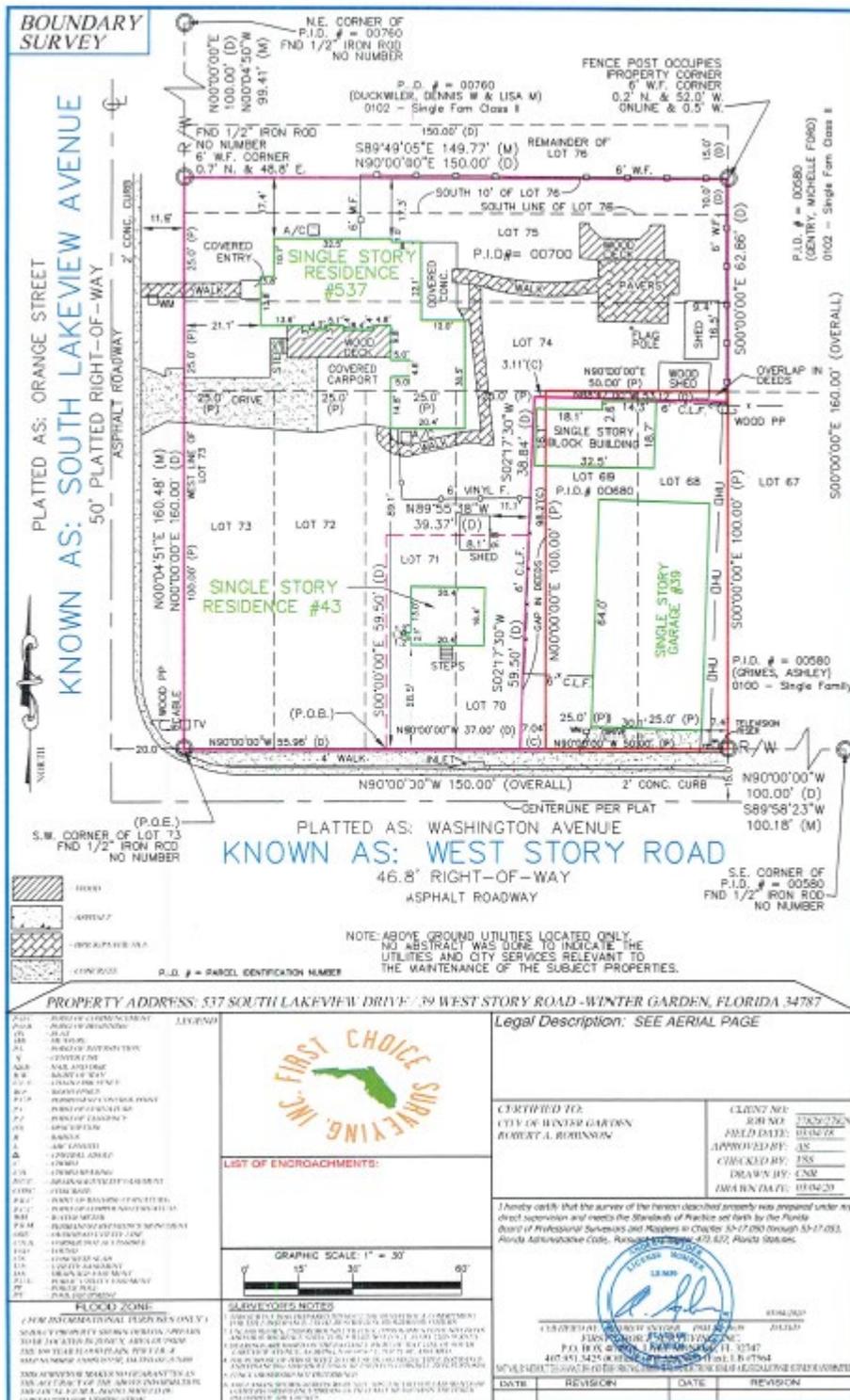
ATTACHMENTS

- Aerial Photo
- Survey
- Lot Split Surveys
- Site Photos

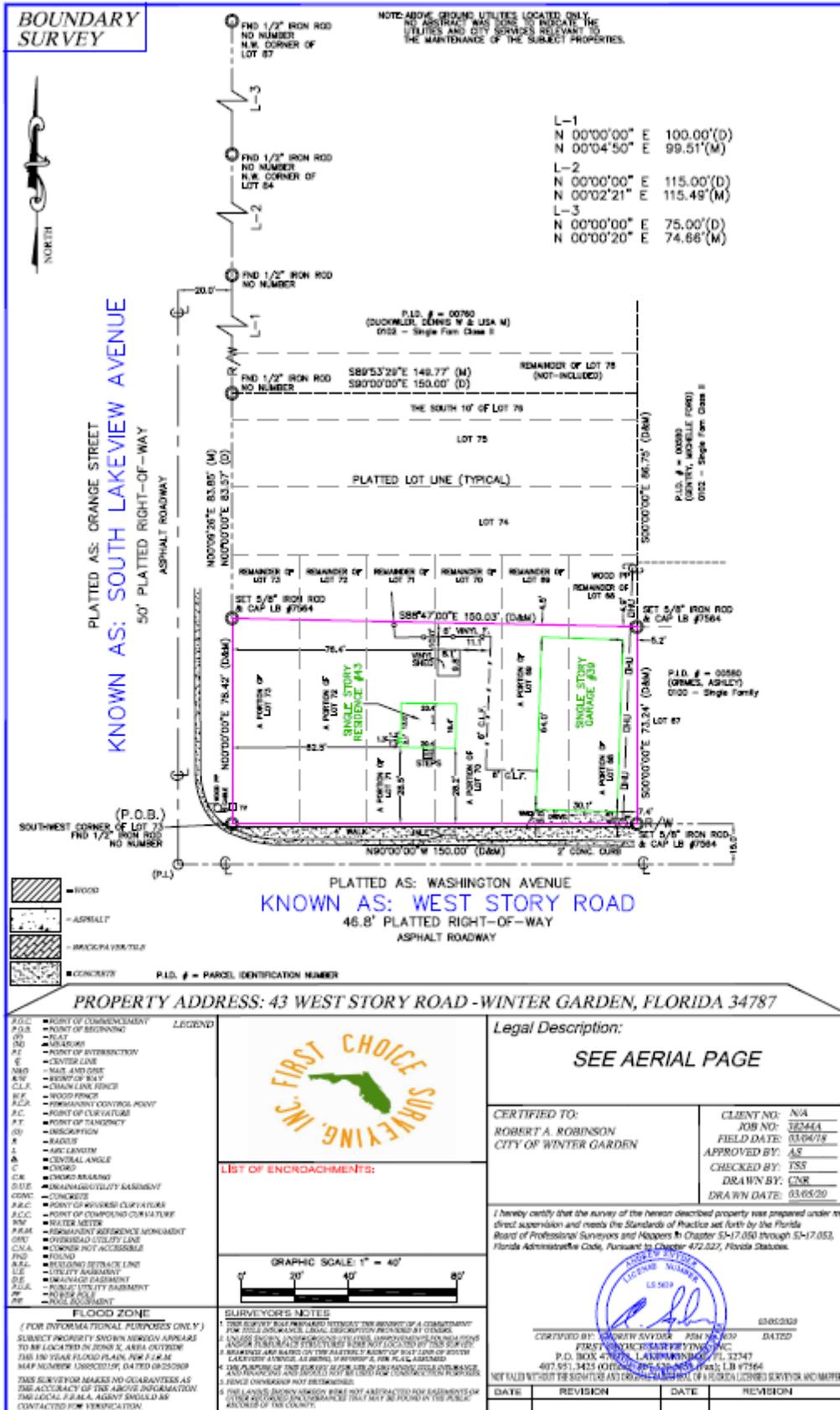
AERIAL PHOTO
537 S Lakeview Avenue & 39 W Story Road



SURVEY – EXISTING
537 S Lakeview Avenue & 39 W Story Road



LOT SPLIT SURVEYS
537 S Lakeview Avenue & 39 W Story Road



SITE PHOTOS
537 S Lakeview Avenue & 39 W Story Road





END OF STAFF REPORT

LOCATION MAP

14950 & 14908 Tilden Road
Preliminary Plat



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

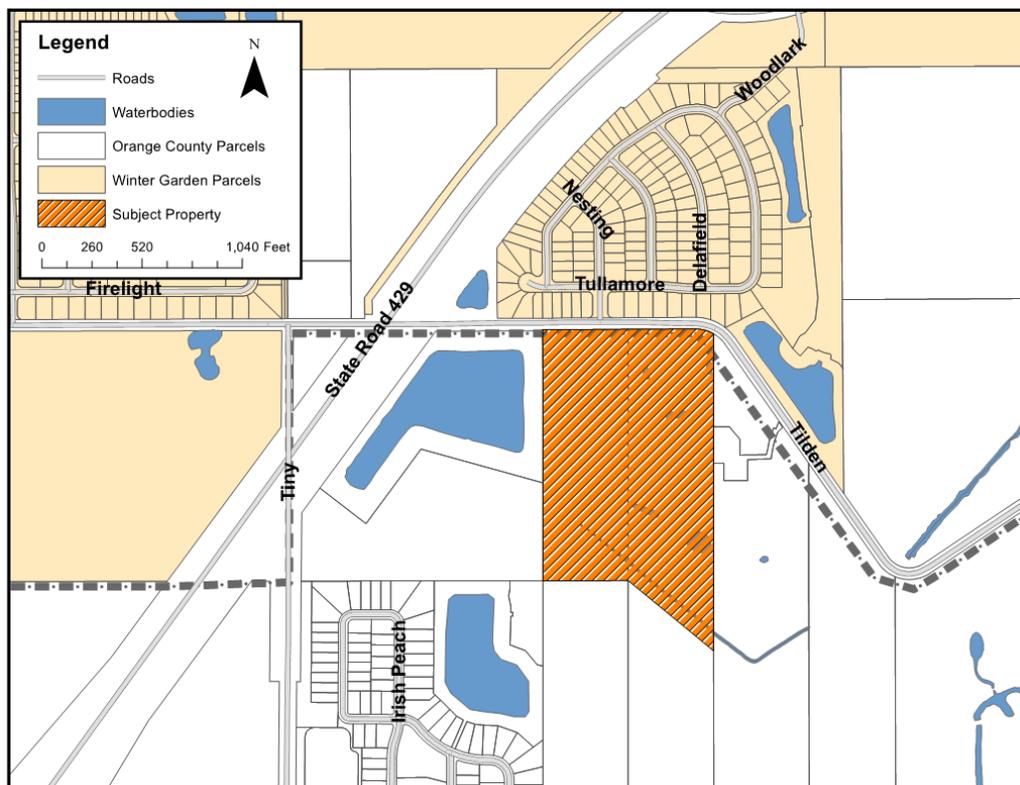
STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: Shane Friedman, Senior Planner
DATE: June 1, 2020
SUBJECT: PRELIMINARY PLAT
14950 & 14908 Tilden Road (28.32 +/- ACRES)
PARCEL ID # 10-23-27-0000-00-034 & 10-23-27-0000-00-033

APPLICANT: Thistledown Farm, Inc. & Sunny Brook Farms // Poulos & Bennett, LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan. The subject property, generally located on the south side of Tilden Road, east of State Road 429, west of Winter Garden Vineland Road is approximately 28.32 ± acres in size. The map below depicts the location of the subject property outside the City of Winter Garden municipal limits:



The applicant is requesting approval of Preliminary Plat of the 28.32 ± acre property, which is the Tilden Road Planned Unit Development (PUD), for 55 new residential lots. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation PUD (Planned Unit Development) in the City of Winter Garden. The property's PUD zoning was established by Ordinance 19-38. The subject property is designated Suburban Residential (SUB) on the Future Land Use Map of the Comprehensive Plan.

EXISTING USE

The property located at 14908 currently has a manufactured home, accessory structures and operates as a horse farm. The property located at 14950 has a greenhouse, several accessory structures, and operates as an agricultural farm. The gross land area is 28.32 ± acres with 9.75± acres of that being wetland.

ADJACENT LAND USE AND ZONING

The properties to the west of the subject properties are owned by the Central Florida Expressway Authority, is zoned County A-1, and are used for stormwater. The properties to the north, are within the City's municipal boundaries, and are zoned PUD and developed with single-family homes located in the Emerald Ridge subdivision. The properties to the south are zoned County P-D and developed with single-family homes. The property to the east is zoned County A-1 and is a horse farm.

PROPOSED USE

The developer intends to plat the property with 55 lots in order to construct 55 new single-family residential homes. The neighborhood will offer a range of lot sizes, and subsequent housing styles, in the range of 50 feet to 85 feet wide lots. The PUD, approved with Ordinance 19-38, has design criteria and exhibits showing what is to be expected of future homebuilders which will include facades with varying mixes of material, articulated frontages, front porches, and quality design.

SUMMARY

Staff and DRC recommend conditional approval of the proposed Preliminary Plat, subject to the following conditions:

1. Sheet C2.00 – Site Plan:
 - a. A westbound left turn lane on Tilden Road will be required. Orange County approval required for any work in the Tilden Road right-of-way.
 - b. The minimum width for an easement within the City of Winter Garden is 30', with the facility centered within the easement. Easements having more than one pipe shall adhere to Section 110-203 of the City Code requiring easement widths based on the following:
Minimum Easement Width = (2) x (Depth of Pipe) + (Pipe Diameter + 7').
2. Sheet C4.00 – Drainage & Utilities Plan:
 - a. The minimum width for an easement within the City of Winter Garden is 30', with the facility centered within the easement. Easements having more than one pipe shall adhere to Section 110-203 of the City Code requiring easement widths based on the following:
Minimum Easement Width = (2) x (Depth of Pipe) + (Pipe Diameter + 7').
 - b. The proposed reclaimed water main shall be 8" minimum diameter.

- c. Water main shall be 8” minimum diameter and looped at cul-de-sacs per City Standard Detail.
 - d. A westbound left turn lane on Tilden Road will be required. Orange County approval required for any work in the Tilden Road right-of-way.
 - e. The rear-lot environmental swales shall be within an easement or tract to be maintained by the HOA.
 - f. All sanitary pipes and fittings shall be SDR 26 per City standards. Final plans shall use City Standard Detail Sheets for utilities and public works.
 - g. If Thermoplastic pipe is used it shall meet all City material and installation requirements as specified in the City’s Standards & Specifications including Class I bedding, HP polypropylene pipe (**not N-12**), laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).
3. Sheet C5.00 – Typical Sections & Details:
 - a. Section “B” – will be reviewed in more detail with final construction plans. The 5’ wide concrete sidewalk/walking trail shall be ADA and Florida Accessibility Code compliant.
 - b. Final plans shall designate which side parking will be allowed (allowed on one side only).
 4. Walls and landscaping shall be located within a landscape and wall tract, to be maintained by the HOA. Any screen walls or retaining walls shall require a separate permit from the Building Department.
 5. Underdrains are required and shall be shown on the Typical Section. All underdrain pipe shall be double wall HDPE pipe or PVC pipe.
 6. Geotechnical report was submitted as requested and will be reviewed in more detail with the final plans.
 7. Proposed 5 ft building side setbacks will only be approved provided that no obstructions of any kind are allowed within the 5 ft setback area. Minimum 5 ft wide utility and drainage easements shall be provided on each side and rear lot line; 10’ drainage, utility and sidewalk encroachment easements required adjacent to R/W.
 8. Informational: Final plans and drainage calculations shall show the maximum impervious surface allowed on each lot, based on the approved SJRWMD permit. In any case however, this cannot exceed 65% ISR per the PUD zoning, but must be supported by the approved St. Johns calculations/permit.
 9. Typical Section: Right-of-way width shall be a minimum of 50 feet with minimum roadway pavement width of 24’ as required by City Code (12’ minimum each lane); 16’ minimum lane width for any divided portion (additional width may be required if parking is allowed); 18” of clean fill with no more than 5% passing a #200 sieve required under the 12” thick stabilized subbase; 98% density required on all compaction; 2” minimum asphalt thickness; 10” minimum soil cement or crushed concrete base thickness; minimum 24” wide concrete curb and gutter required (or Miami curb); 5’ wide concrete sidewalks required on both sides of street; minimum 10’ wide drainage, utility and sidewalk encroachment easements required adjacent to all rights-of-way. All construction shall meet City of Winter Garden requirements for drainage, roadways and utilities (see City Standard Details available on-line at cwgdn.com). If requested by the Developer, 1” of asphalt can be installed prior to C of C, and the second lift of 1” can be installed after home construction, if covered by a performance bond or letter of credit.
 10. Provide approvals from FFWCC prior to construction that any species identified have been addressed.

11. Some of this property may require adherence to the City's Wekiva protection regulations. Wekiva Protection requirements as outlined in the Comprehensive Plan shall be met.
12. A Developers Agreement addressing the phasing, utilities and other commitments of the development's master plan shall be approved by the City Commission and recorded prior to the issuance of any site or building permits. City staff will draft the D.A. that shall include, but not be limited to the following: project phasing; utilities upsizing; R/W conveyances; adherence to all City Codes and Standards; etc.
13. All irrigation on the site shall be designed to be supplied by reclaimed water (minimum 8" internal main size).
14. Any areas developed within the 100 year flood plain shall be compensated for; LOMR with FEMA is required for any development within the 100 year flood zone and shall be applied for prior to final plat approval.
15. As shown on the plans, the project will be gated. While portions of the right-of-way may be dedicated to the City, maintenance of special pavements, landscaping, irrigation, hardscaping, etc. shall be performed by the HOA under a R/W maintenance agreement (required at platting).
16. All proposed easements shall be 30' minimum width for sanitary, water and storm; improvements shall be centered within the easement. Common areas not abutting right-of-way shall include a tract (not easement) for access and maintenance.
17. All utilities shall conform to Chapter 78 of the City Code. Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 50% of all required water, irrigation and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits. Final plans shall detail all connections including fire protection, lift station, reuse water and domestic water supply. A sanitary lift station will be required as shown.
18. Direct vehicular access to Tilden Road will not be allowed – final plat shall dedicate access rights to the City.
19. Minimum 40' radius to edge of pavement is required at cul-de-sacs as shown.
20. Easements will need to be vacated prior to final plan approval and platting.

Per the PUD approval: Prior to final construction plan and plat approval, documentation that the easements, agreements, and leases affecting the property have been accommodated, relocated or vacated.
21. All utilities shall conform to Chapter 78 of the City Code. Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 50% of all required water, irrigation and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.
22. A lift station will be required as shown. Lift stations serving more than one property shall be

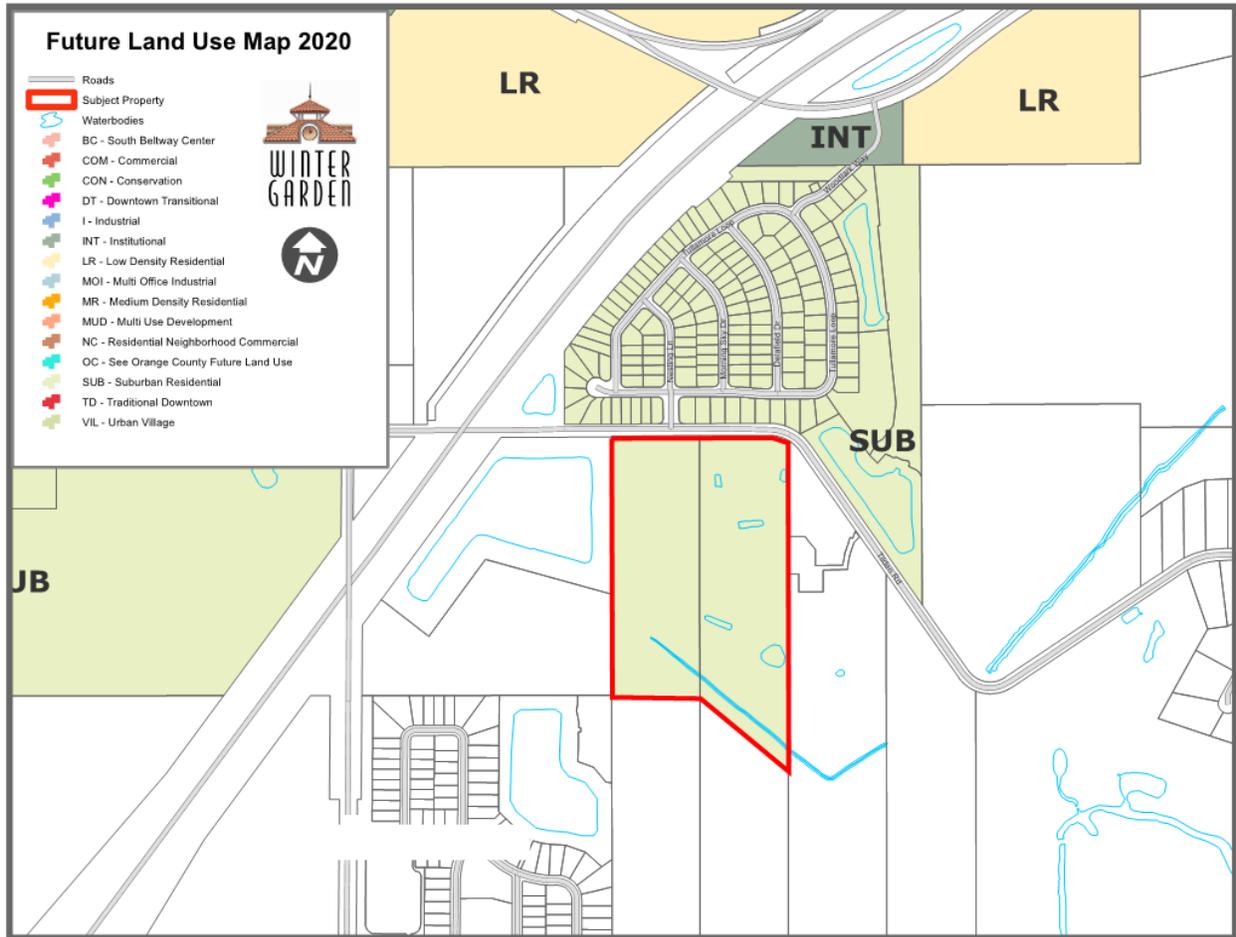
designed to City Standards to be dedicated to the City for ownership and maintenance. Lift station site (minimum 30' X 30') shall be conveyed to the City fee simple via warranty deed.

23. The Developer is required to have street lights installed along all street frontages (including Tilden Road), including payment of the first year of operation. Streetlighting must be installed and operating as a condition of issuing the Certificate of Completion. Other than for model homes as specified in Code, no building permits or certificates of occupancy will be granted on any house until all of the above have been completed and accepted by the City and the Certificate of Completion has been issued. Streetlighting shall be pursuant to City Code, including frontage on Tilden Road, meeting dark skies requirements (Code Section 118-1536(k)). Submit streetlighting plan from Duke Energy prior to preconstruction meeting.
24. The updated Traffic Impact Analysis shall be reviewed by the City's transportation consultant. Additional intersection improvements may be required including right-of-way dedications to accommodate additional (turn) lanes, etc.
25. Drainage methodology and preliminary calculations shall be submitted with the next submittal. Potential adverse impacts to surrounding properties shall be avoided.
26. Minimum 5' wide concrete sidewalks shall be constructed along all street frontages (including Tilden Rd.) pursuant to City Code. Existing sidewalks, curbs, & pavement will be checked at completion and any damaged sections shall be replaced.
27. Permits or exemptions shall be provided from SJRWMD for stormwater, Orange County (for Tilden Road), and FDEP for water, wastewater and NPDES NOI.
28. The Tilden Road Planned Unit Development (PUD) Ordinance will require a resolution to amend the general site data on Sheet 3.00 reflecting the change in lot widths. The amended PUD must be approved by the City Commission prior to Final Plat approval.

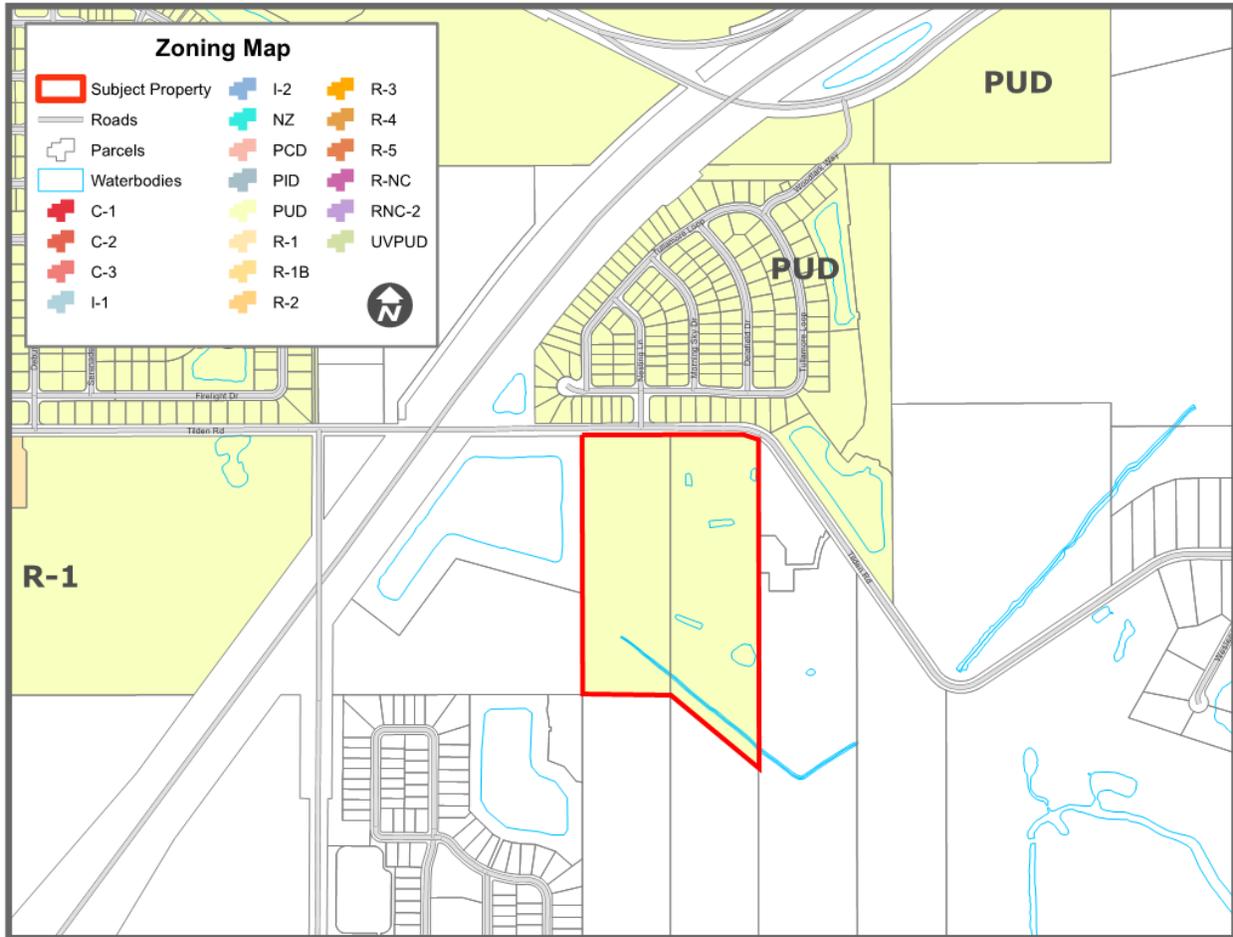
AERIAL PHOTO
14908 & 14950 Tilden Road



Future Land Use Map 14908 & 14950 Tilden Road



Zoning Map
14908 & 14950 Tilden Road



END OF STAFF REPORT

Preliminary Plat for Tilden Road PUD

Winter Garden, FL

Legal Description:

A parcel of land lying in Section 10, Township 23 South, Range 27 East, Orange County, Florida, being more particularly describes as follows:

Commence at the Northwest corner of said Section 10, thence S00°02'35"E along the West line of the Northwest quarter (1/4) of said Section 10 for 30.00 feet to the Point of Beginning, said point being a point on the South right-of-way line of Tilden Road as described in Official Records Book 72, pages 71 and 72 of the Public Records of Orange County, Florida, thence N89°42'20"E along said South right-of-way line for 791.79 feet to the point of curvature of a curve concave to the Southwest, thence Southeast along said South right-of-way of Tilden Road and along the arc of said curve having a radius of 188.93 feet; through a central angle of 29°35'24" for 97.57 feet to a point on the East line of the West two-thirds (2/3) of the West half (1/2) of said Northwest quarter (1/4); thence S00°04'53"E along said East line for 1643.32 feet to a point on the North line of Exhibit "B" of the Agreement Regarding Zoning and Land Use as described in Official Records Book 10700, Page 2125; thence N50°40'33"W along said North line of Exhibit "B" for 573.95 feet, thence S89°38'15"W for 99.07 feet to a point on the North line of Exhibit "C" of the Agreement Regarding Zoning and Land Use as described in Official Records Book 10700, Page 2125; thence continue S89°38'15"W along said North line of Exhibit "C" for 343.50 feet to a point on the West line of aforesaid Northwest quarter (1/4) of Section 10; thence N00°02'35"W along said West line for 1302.50 feet to the Point of Beginning.

Containing 28.518 acres, more or less.

Parcel ID No.:

10-23-27-0000-00-034
10-23-27-0000-00-033

Applicant:

Laga Enterprises, LLC
John Laga
424 Campus St.
Celebration, Florida 34747

Owner:

Sunny Brook Farms/Susan and Daniel Berry Thistledown Farm Inc./James Thomas
542 Duff Dr 14908 Tilden Rd
Winter Garden, FL 34787 Winter Garden, FL 34787

Owner:

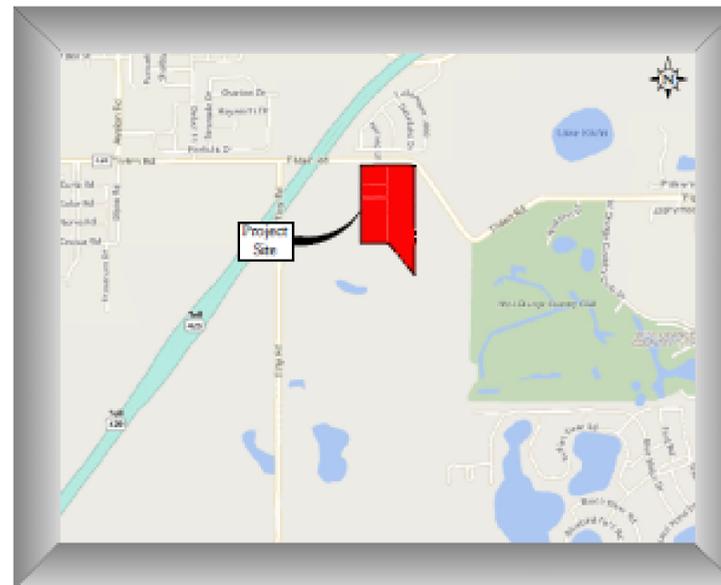
Sheet Id.	Sheet Title	Subm./Rev.				
		1	2	3	4	5
C1.00	Existing Conditions Plan	■	■			
C2.00	Site Plan	■	■	■		
C3.00	Site Data	■	■	■		
C4.00	Drainage & Utilities Plan	■	■	■		
C5.00	Typical Sections & Details	■	■	■		

SITE / LOT DATA	
NUMBER OF UNITS	55
MAX BUILDING HEIGHT	35' (2 STORIES)
MIN. LOT AVERAGE SIZE (50' LOTS)	5750 SF
MIN. LOT AVERAGE SIZE (80' LOT)	5000 SF
MIN LOT WIDTH	30'

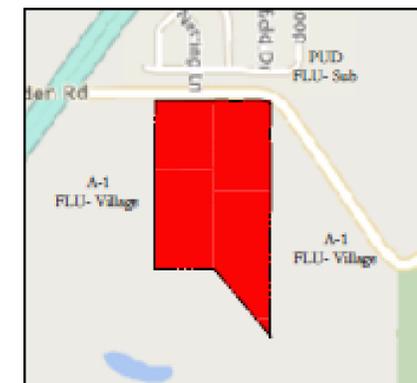
Reference Drawings

Boundary Survey (Municipal Annexation Agreement)

Date	Description
- 1/17/2020	Submit to City of Winter Garden
01 3/16/2020	Resubmit To City of Winter Garden
02 5/11/2020	Resubmit To City of Winter Garden
03 5/20/2020	Resubmit To City of Winter Garden



Vicinity Map
Scale: 1" = 1,500'



Zoning/Landuse Map
Scale: N.T.S.

- Water & Reclaim**
City of Winter Garden
300 W. Plant St.
Winter Garden, FL 34787
407.656.4111
- Gas**
Lake Apopka Natural Gas
1320 Winter Garden Vineland Rd.
Winter Garden, FL 34788
565.2734677.1862
- Cable**
Spectrum
2251 Lucien Way
Maitland, FL 32751
407.215.5944
- Wastewater**
City of Winter Garden
300 W. Plant St.
Winter Garden, FL 34787
407.656.4111
- Phone**
Century Link
555 Lake Border Dr.
Apopka, FL 32705
407.889.6269
- Electric**
Duke Energy
3250 Bonnet Creek Rd.
Lake Buena Vista, FL 32771
407.938.6890

- Applicant:**
Poulos & Bennett, LLC
2602 E. Livingston Street
Orlando, FL 32805
407.487.2594
- Planner / Civil Engineer:**
Poulos & Bennett, LLC
2602 E. Livingston Street
Orlando, FL 32805
407.487.2594

- Surveyor:**
ESE Land Surveying
2946 Commerce Park Dr., Suite 100
Orlando, FL 32819
407.345.6050
- Environmental:**
Bio-Tech Consulting, Inc.
3025 E. South Street
Orlando, FL 32805
407.894.5969



DATE: May 20, 2020

POULOS & BENNETT
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567
P&B Job No.: 17-156

FEMA Flood Classification	
Zone	Zone Description
A	No Base Flood Elevation determined
X	Area Outside The 100 Year Flood. Areas Of 0.2% Annual Chance Flood Areas Of 1% Annual Chance Flood With Average Depths Of Less Than 1 Foot Or With Drainage Areas Less Than 1 Square Mile And Areas Protected By Levees From 1% Annual Chance Flood

Source: FEMA Map Service Center, Orange Co., Flood Map No. 12095C0380F, Panel 380 of 750, Date Revised: 09/25/2009 and Map No. 12095C0215F, Panel 215 of 750, Date Revised: September 25, 2009.

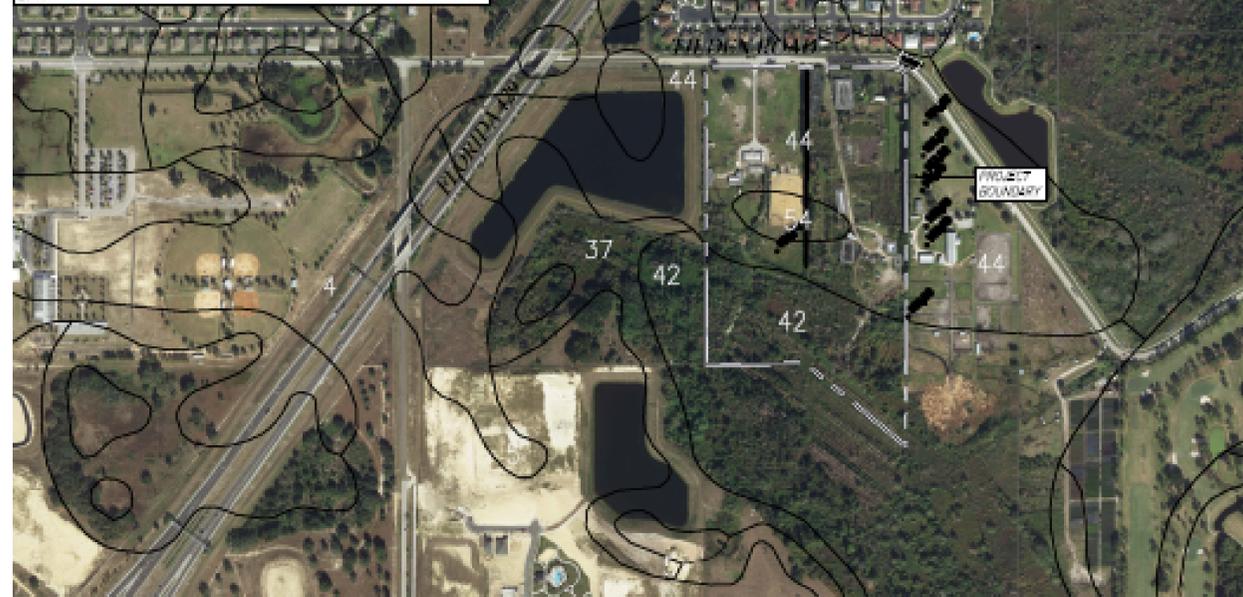


FEMA FLOODPLAIN MAP

SCALE: 1" = 80'

Soil Classification		
Soil #	Soil Name	Hydrologic Group
37	St. Johns Fine Sand	B/D
42	Sanded Muck	A/D
44	Orange-Orange, Wet. Rie Sand, 0 To 2 % Slopes	A/D
54	Zolfo Rie Sand, 0 To 2 % Slopes	A

Source: USDA Web Soil Survey - Orange County, FL, Date: September 2016

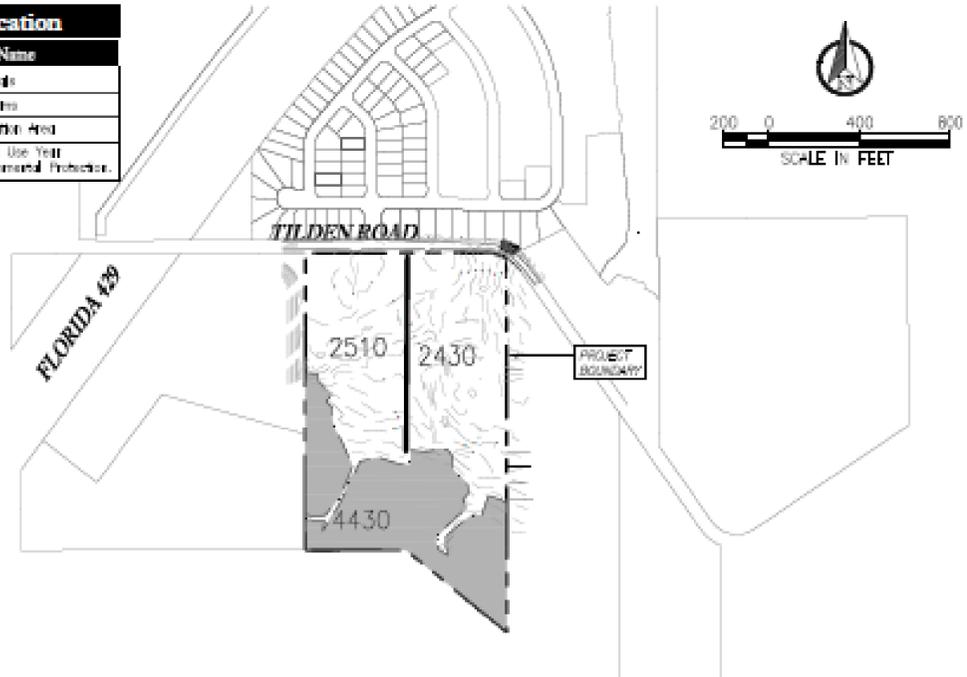


AERIAL & SOILS MAP

SCALE: 1" = 80'

FLUCFCS Classification	
FLUCFCS #	FLUCFCS Name
2430	Openwater
2510	Water Filter
4430	Forest Regeneration Area

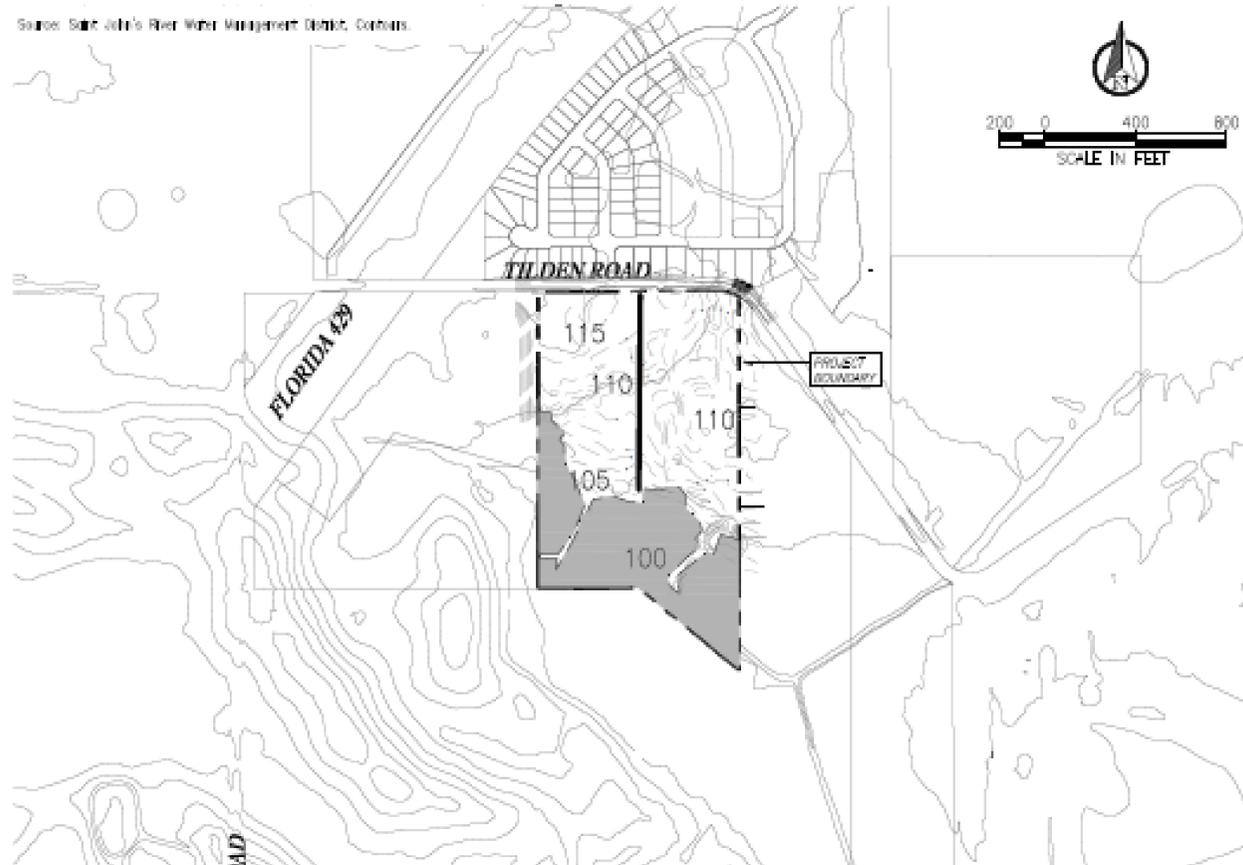
Source: State Land Use Code, Land Use Year 2010-2016, Florida Department of Environmental Protection.



FLUCFCS MAP

SCALE: 1" = 80'

Source: Saint John's River Water Management District, Citrus.



TOPOGRAPHY MAP

SCALE: 1" = 80'

Key Map

Condition

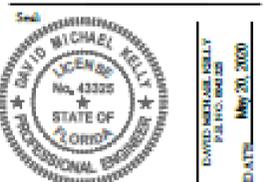
10/26/2009	RESUBMIT TO CITY OF WINTER GARDEN
10/26/2009	RESUBMIT TO CITY OF WINTER GARDEN
11/26/2009	RESUBMIT TO CITY OF WINTER GARDEN
10/17/10	RESUBMIT TO CITY OF WINTER GARDEN
10/1/10	DISCUSSION
	SUBMISSIONS/REVISIONS
VERTICAL DATUM: NAD 83	
JOB NO.:	17456
DESIGNED BY:	HAL
DRAWN BY:	HAL
CHECKED BY:	DK
APPROVED BY:	DK
SCALE IN FEET:	1" = 80'

Project Name
**TILDEN ROAD PUD
PRELIMINARY
PLAN**

Jurisdiction
CITY of WINTERGARDEN

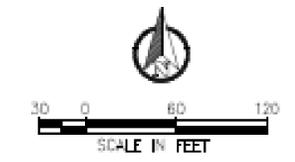
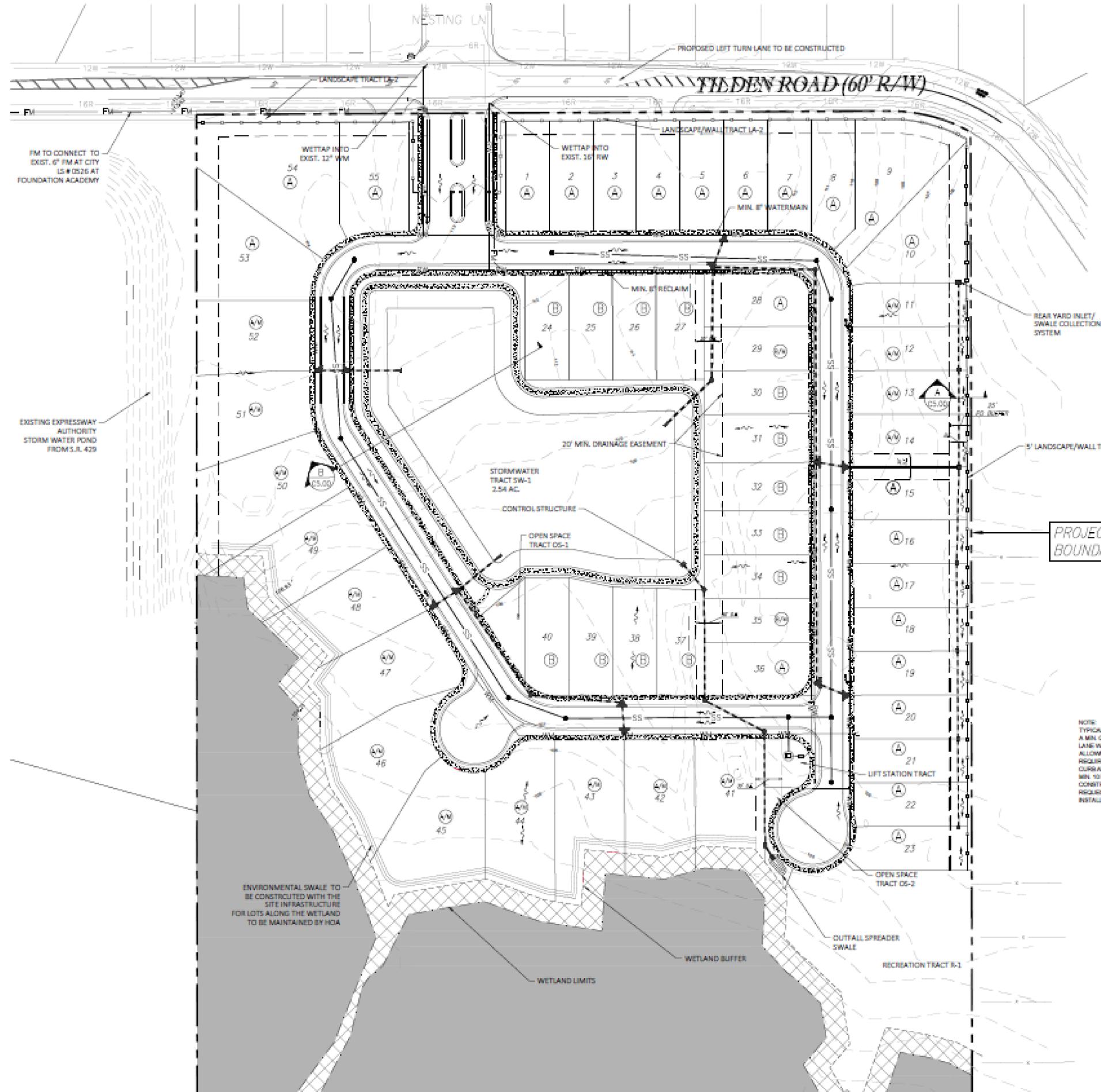
Sheet Title
**EXISTING
CONDITIONS
PLAN**

Sheet No.
C1.00



POULOS & BENNETT

Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.872.2504 www.poulosandbennett.com
Eng. Reg. No. 25567



TILDEN ROAD PROPERTY
PRELIMINARY STORMWATER CALCULATIONS

THE SITE HAS A POSITIVE OUTFALL, I.E. DRAINING UNDER TILDEN ROAD AND EVENTUALLY NORTH TO LAKE APOPIA VIA LAKE TILDEN, BLACK LAKE AND JOHNS LAKE. THEREFORE THE SITE WILL BE REQUIRED TO MEET THE CITY OF WINTER GARDEN AND SRP/WD DESIGN CRITERIA FOR POLLUTION ABATEMENT AND DISCHARGE RATE MANAGEMENT OF THE 25-YEAR 24-HOUR DESIGN STORM EVENT. BELOW ARE PRELIMINARY POND SIZING CALCULATIONS:

WITH PRE ON OF T&S, RESULTANT RUNOFF IN ACRES-FT = 10.16 AC-FT

TILDEN ROAD
Existing Conditions Storm Hydrology Calculations

Pre-Development Storm Hydrology Calculations

Curve Number (CN) Calculations	Sub Area (Acres)	Runoff (Inches)	Volume (Ac-Feet)
1	0.10	0.10	0.10
2	0.10	0.10	0.10
3	0.10	0.10	0.10
4	0.10	0.10	0.10
5	0.10	0.10	0.10
6	0.10	0.10	0.10
7	0.10	0.10	0.10
8	0.10	0.10	0.10
9	0.10	0.10	0.10
10	0.10	0.10	0.10
Total	1.00	1.00	1.00

TILDEN ROAD
Post Development Storm Hydrology Calculations

Post-Development Storm Hydrology Calculations

Curve Number (CN) Calculations	Sub Area (Acres)	Runoff (Inches)	Volume (Ac-Feet)
1	0.10	0.10	0.10
2	0.10	0.10	0.10
3	0.10	0.10	0.10
4	0.10	0.10	0.10
5	0.10	0.10	0.10
6	0.10	0.10	0.10
7	0.10	0.10	0.10
8	0.10	0.10	0.10
9	0.10	0.10	0.10
10	0.10	0.10	0.10
Total	1.00	1.13	1.13

THE DIFFERENCE IN PRE-POST RUNOFF = 11.73-10.16 = 1.56 AC-FT, OR A POND STORAGE VOLUME OF THE SAME.

THE POND STORAGE VOLUME IS BELOW BASED ON THE PROPOSED POND:

Stage (ft - NAVD)	Area (sq-ft)	Volume (cu-ft)	Stage
100	1.38	0.00	0.00
105	1.50	1.42	0.50
110	1.68	2.88	1.00
115	1.75	4.95	1.50
120	1.90	6.48	2.00
125	2.28	8.55	2.50

THE POND THEREFORE HAS MORE THAN ADEQUATE STORAGE FOR THIS SITE.

NOTE:
TYPICAL SECTIONS SHALL COMPLY WITH CITY STANDARDS AND INCLUDE THE FOLLOWING: RIGHT-OF-WAY WITH SHALL BE A MIN. OF 30 FT. MIN. ROADWAY PAVEMENT WIDTH OF 24 FT. AS REQUIRED BY CITY CODE (12' MIN. EACH LANE), 18 FT. MIN. LAKE WIDTH FOR ANY DIVIDED PORTION AND ONE-WAY ROADWAYS (ADDITIONAL WIDTH MAY BE REQUIRED IF PARKING IS ALLOWED) 1" OF CLEAN FILL WITH NO MORE THAN 5% PASSING A #100 SIEVE REQUIRED UNDER THE SURFACE; MIN. DENSITY REQUIRED ON ALL COMPACTIONS: 2" MIN. ASPHALT THICKNESS; 10" MIN. SOIL CEMENT BASE THICKNESS; MIN. 34" WIDE CONCRETE CURB AND GUTTER REQUIRED (OR WIDE CURB) 5 FT. WIDE CONCRETE SHOULD BE REQUIRED ON BOTH SIDES OF STREETS; MIN. 10 FT. WIDE DRAINAGE UTILITY AND SEWER LAYOUT REQUIRED ADJACENT TO ALL SIDEWALK-WAY. ALL CONSTRUCTION SHALL MEET CITY OF WINTER GARDEN REQUIREMENTS FOR DRAINAGE, ROADWAYS AND UTILITIES. IF REQUESTED BY THE DEVELOPER, 1" OF ASPHALT CAN BE INSTALLED PRIOR TO C&C, AND THE SECOND LIFT CAN BE INSTALLED AFTER HOME CONSTRUCTION, IF COVERED BY A PERFORMANCE BOND OR LETTER OF CREDIT.

Existing	Utility Type	Proposed
—W—	WATER MAIN (WM)	—W—
—SS—	SANITARY SEWER	—SS—
—FM—	FIRE MAIN (FM)	—FM—
—RW—	RECLAIM WATER MAIN	—RW—
—HC—	Fire Hydrant Assembly	—HC—
-----	Storm Pipe	-----
●	Storm Manhole	●
▲	Storm Inlet	▲
—SS—	Sanitary Sewer Pipe	—SS—
●	Sanitary Sewer Manhole	●

MIN. 8" WATERMAIN
MIN. 8" RECLAIM

RENUMBERED LOTS

Contract

01/15/2020 SUBMIT TO CITY OF WINTER GARDEN
02/15/2020 SUBMIT TO CITY OF WINTER GARDEN
03/15/2020 SUBMIT TO CITY OF WINTER GARDEN
04/15/2020 SUBMIT TO CITY OF WINTER GARDEN

NO. DATE DESCRIPTION

SUBMISSIONS/REVISIONS

VERTICAL DATUM NAD 83

JOB NO. 17-156

DESIGNED BY: HAL

DRAWN BY: HAL

CHECKED BY: DK

APPROVED BY: DK

SCALE IN FEET 1" = 8'

Project Name

**TILDEN ROAD PUD
PRELIMINARY
PLAT**

Jurisdiction
CITY of WINTER GARDEN

Sheet Title
**DRAINAGE &
UTILITIES PLAN**

Sheet No.
C 4.00

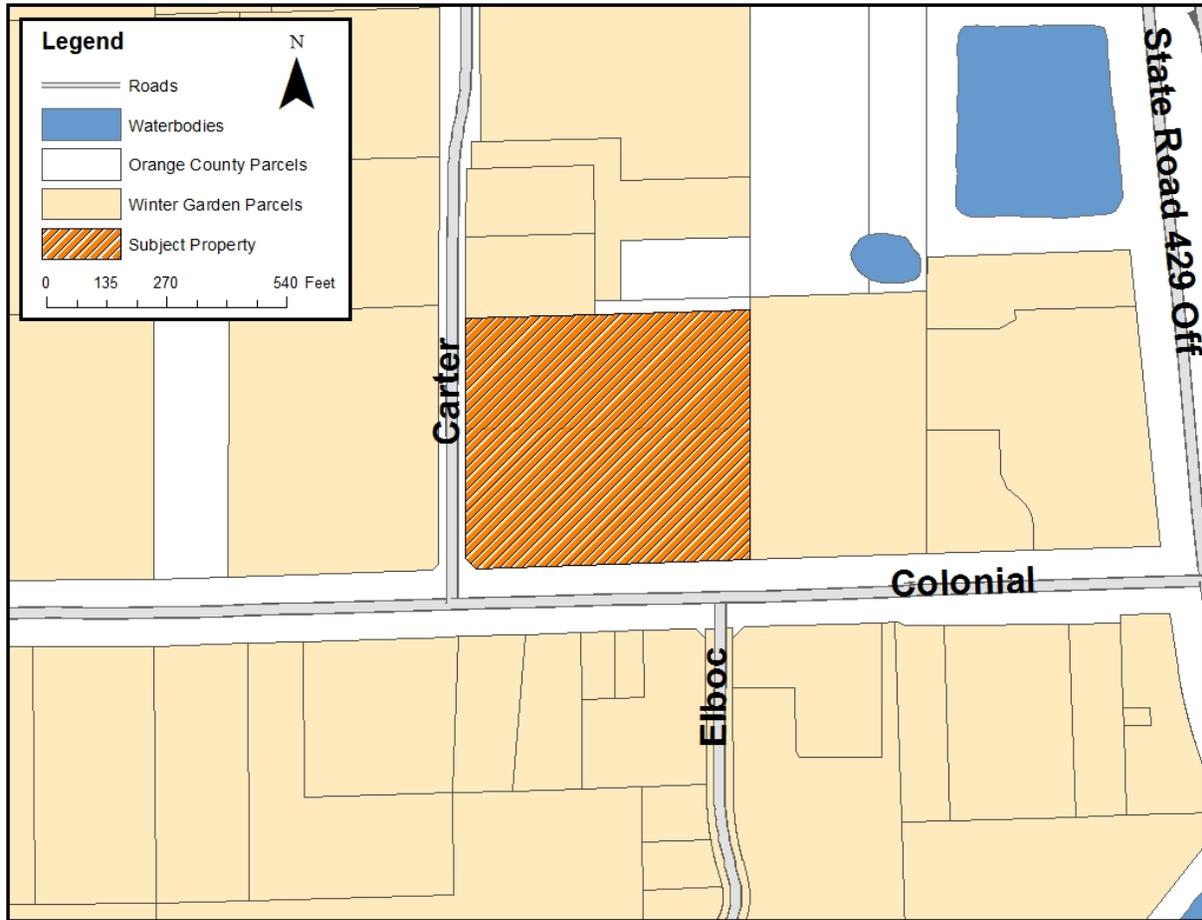


Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32808
Tel: 407.467.2594 www.poulosandbennett.com
Reg. Bus. No. 2962

LOCATION MAP

12301 W. Colonial Drive

Preliminary Plat



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

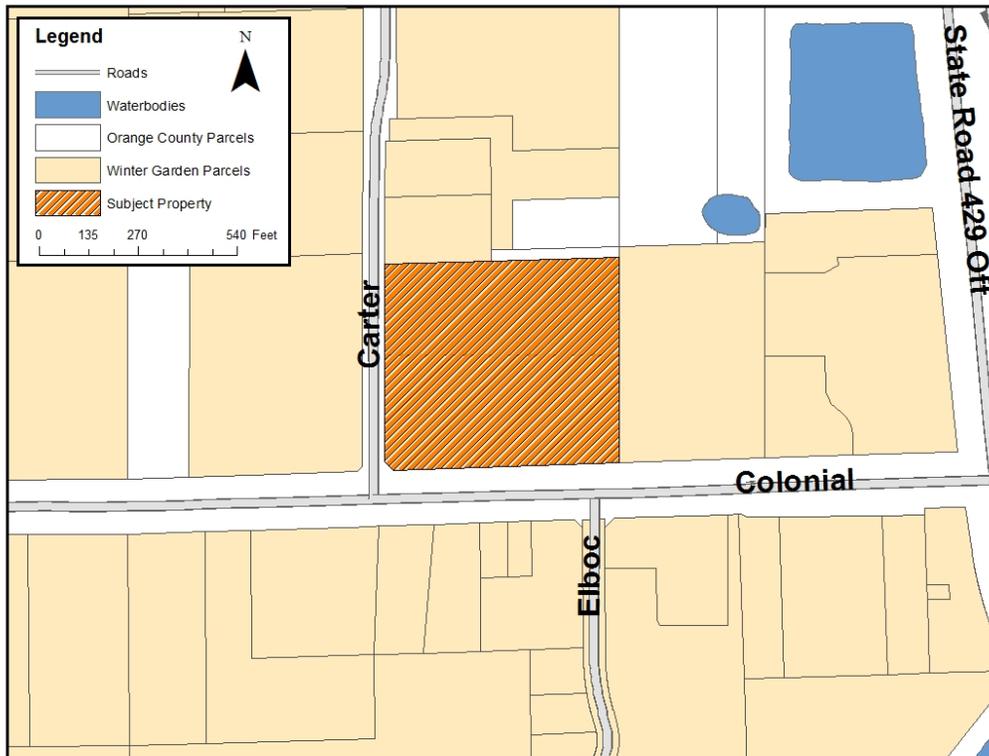
TO: PLANNING AND ZONING BOARD
PREPARED BY: Soraya Karimi, Planner I
DATE: June 1st, 2020
SUBJECT: PRELIMINARY PLAT
12301 W. Colonial Drive, People's Plaza (8.251 +/- ACRES) PARCEL ID # 24-22-27-0000-00-016

APPLICANT: Dale Parsons

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 12301 W. Colonial Drive on the northeast corner of West Colonial Drive and Carter Road and is approximately ± 8.251 acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits.



The applicant is requesting approval of the Preliminary Plat of the ± 8.251 acre property, which is the People's Plaza, for four (4) commercial lots and one (1) common area tract. The subject property is zoned Planned Commercial Development (PCD) and has a designation of Commercial (COM) on the Future Land Use Map of the Comprehensive Plan. The property was rezoned with the People's Plaza PCD, which was established by Ordinance 00-78 and adopted by the City Commission on December 14, 2000. The PCD zoning amendment, Ordinance 20-04, was adopted by the City Commission on January 9, 2020.

The subject property is located within the City of Winter Garden's West State Road 50 Commercial Corridor overlay area.

EXISTING USE

The subject property has been developed with a number of commercial buildings over the years. It currently features a series of single-story warehouse buildings on the north side of the site with a combined +/- 20,000 square feet of building area, which have housed a variety of uses including automobile service, fabrication, and logistics. Three small single-story commercial buildings with a combined area of +/- 2,800 square feet are located on the northwest portion of the site, which have housed such uses as auto sales and maid services. There is also a +/- 1,000 square foot commercial building on the east side of the site that serves as the sales office for a bus dealership, with the dealership's inventory currently parked around the sales office. Recently, a two-story commercial building previously located in the southwest portion of the subject property was demolished because it had fallen into a state of severe disrepair. This building previously housed such uses as a sign company, pet grooming, and a Mexican restaurant. The former building site is currently vacant.

ADJACENT LAND USE AND ZONING

The properties to the north of the subject property includes motor vehicle repair shop/garage, zoned I-2 and located in the City of Winter Garden municipal limits, a county one-way ROW zoned C-3 and in unincorporated Orange County, and a single family residence zoned A-1 and in unincorporated Orange County. The property to the east of the subject property is an RV merchant retail/wholesale, which is currently pursuing redevelopment as a church, zoned C-2 and within the City of Winter Garden municipal limits. The properties to the south of the subject property includes multiple businesses, such as multiple motor vehicle sales locations, a pawnbroker, motor vehicle repair/garage, and a small shopping plaza, all zoned C-2 and within the City of Winter Garden municipal limits. The property to the west of the subject property includes an outdoor power equipment showroom, zoned C-2 and within the City of Winter Garden municipal limits.

PROPOSED USE

The applicant is requesting preliminary plat approval to subdivide the property into four (4) commercial lots and one (1) common area tract, with associated access easements, power easements, drainage easements, and utility easements to move forward with the final plat. The plat process is required by the City in order to sell the lots, develop the lot, and create the proper easements to accommodate all businesses.

Lots 1 and 4 would be 1.492 acres and 2.015 acres in size, respectively. Lot 2 would be 1.989 acres in size and would be developed with a hotel building. Lot 3 would be 1.274 acres in size and would be developed with a gas station. Lots 1 and 4 would be developed with commercial uses that have yet to be proposed. Tract A would be 1.480 acres in size and would include a

retention pond. Tract A will also provide a buffer for the few residential properties north of the Tract.

The hotel building to be developed on Lot 2 would be 86,638 SF (± 1.989 acres) and is currently undergoing site plan review. The gas station to be developed on Lot 3 would be 3,454 SF (± 0.08 acres) and is also currently undergoing site plan review.

All future development will need to adhere to the requirements of the People's Plaza PCD ordinance including permitted uses and design requirements.

SUMMARY

Staff recommends conditional approval of the Preliminary Plat subject to the following conditions, which were outlined in the Development Review Committee's review memo dated March 30, 2020.

1. Informational: This review is for compliance with Sections 110-121 thru 110-124 of the City Code regarding preliminary plats. Final construction plans for the hotel site are being reviewed separately.
2. See Engineering review comments for Hampton Inn at People's Plaza dated 3/26/20. All conditions will apply to the pre-plat as well.
3. The Developer agreed at the 11/29/06 DRC Meeting to pay his one-half share of the improvements to Carter Road along the project's frontage, including, but not limited to, the following (which has now been reduced since FDOT installed the traffic signal):
 - Carter Road shall be improved to a modified urban section from S.R. 50 to the north property line of the project to include southbound left and right turn lanes, curbing, drainage, etc.
 - Pavement thickness shall be a minimum of 2" asphaltic concrete (can include existing pavement remaining after milling and friction course). Any new base course shall consist of 10" thick soil cement compacted to 98% density, 12" thick subbase compacted to 98% and 18" of clean fill with no more than 5% passing the #200 sieve under the subbase.
 - The existing drainage system on Carter Road will need to be inspected by the City. The condition of the existing CMP's may warrant their replacement with these improvements.
 - **A developer's agreement, drafted by the City Attorney, shall be prepared to allocate the Carter Road improvements' cost share, as well as further defining other commitments of the development including, but not limited to, easement requirements, etc.**
 - The developer's agreement stated above shall be approved by the City Commission prior to issuance of any building permits for the project.
4. Minimum 5' wide concrete sidewalks are required along all project frontages to include S.R. 50 and Carter Road. Existing sidewalks will be checked at completion and any damaged sections shall be replaced. Internal sidewalks shall connect to the public sidewalks in the

right-of-way per ADA.

5. The minimum width for an easement within the City of Winter Garden is 30', with the facility centered within the easement. Easements having more than one pipe shall adhere to Section 110-203 of the City Code requiring easement widths based on the following: Minimum Easement Width = (2) x (Depth of Pipe) + (Pipe Diameter + 7').
6. Approval of drainage improvements from Orange County (42" RCP on east side) and FDOT (discharge to SR 50 inlet) will be required prior to final approval.
7. Tree removal shall adhere to the City's Tree Protection Ordinance – separate review, approval and permit is required. Coordinate with the Building Department (Steve Pash) on any tree removal and protection. Additional landscaping and tree replacement may be required with final plan. Pursuant to Code (Chapter 114-70), a tree survey will be required with the preliminary plat submittal showing size and type of trees, trees that will be removed/saved, etc. meeting all Code provisions.
8. Utility and drainage plans have been shown. These will be reviewed and commented on further at the final construction plan phases (i.e. connection points, line sizes, etc.).
9. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. Final plans shall detail all connections including fire protection, reuse water and domestic water supply. All irrigation on the site shall be designed to be supplied by reclaimed water when available and shall be served by a jumper to potable water until that time. It should also be noted that the buildings may require fire sprinklers subject to review by the Building and Fire Departments.
10. 100% of the water/sewer impact fees shall be paid prior to site or building permit issuance or execution of FDEP permit applications by the City. Sanitary laterals, fittings, and pipes shall be SDR 26 per City standards. City Standard Detail Sheets for utilities and public works shall be adhered to as shown.
11. Fire sprinkler systems will be required on all buildings over 6,000 s.f. with Point of Service (POS), backflow prevention, etc. shown. All work downstream of the POS shall be performed by a licensed fire sprinkler contractor.
12. Permit from SJRWMD for stormwater is required. Permits or exemptions shall also be required from Orange County, FDOT (Carter Road improvements; driveway, utilities, and drainage) and FDEP for water and sewer and FDEP NPDES NOI as may be applicable.
13. Any screen walls or retaining walls shall require a separate permit from the Building Department.
14. Streetlighting both internally and on all street frontages (Carter Road) is required pursuant to City Code – dark skies lighting is required.
15. Certificates of Occupancy for any building will not be issued until the Certificate of Completion

for the infrastructure has been issued by the City Engineer and the final plat has been approved and recorded.

16. All dumpsters shall be enclosed and shall provide 12' minimum inside clearance (each way inside of bollards and gates), and access by solid waste vehicles. Coordinate additional requirements (compactors, etc.) with Public Services Department, Solid Waste Division.
17. The pond berm shall not encroach into, or block in any way, the existing drainage ditch along the north side of the project.

Conditional approval of the Preliminary Plat will allow the owner to proceed with development plans as well as the final plat.

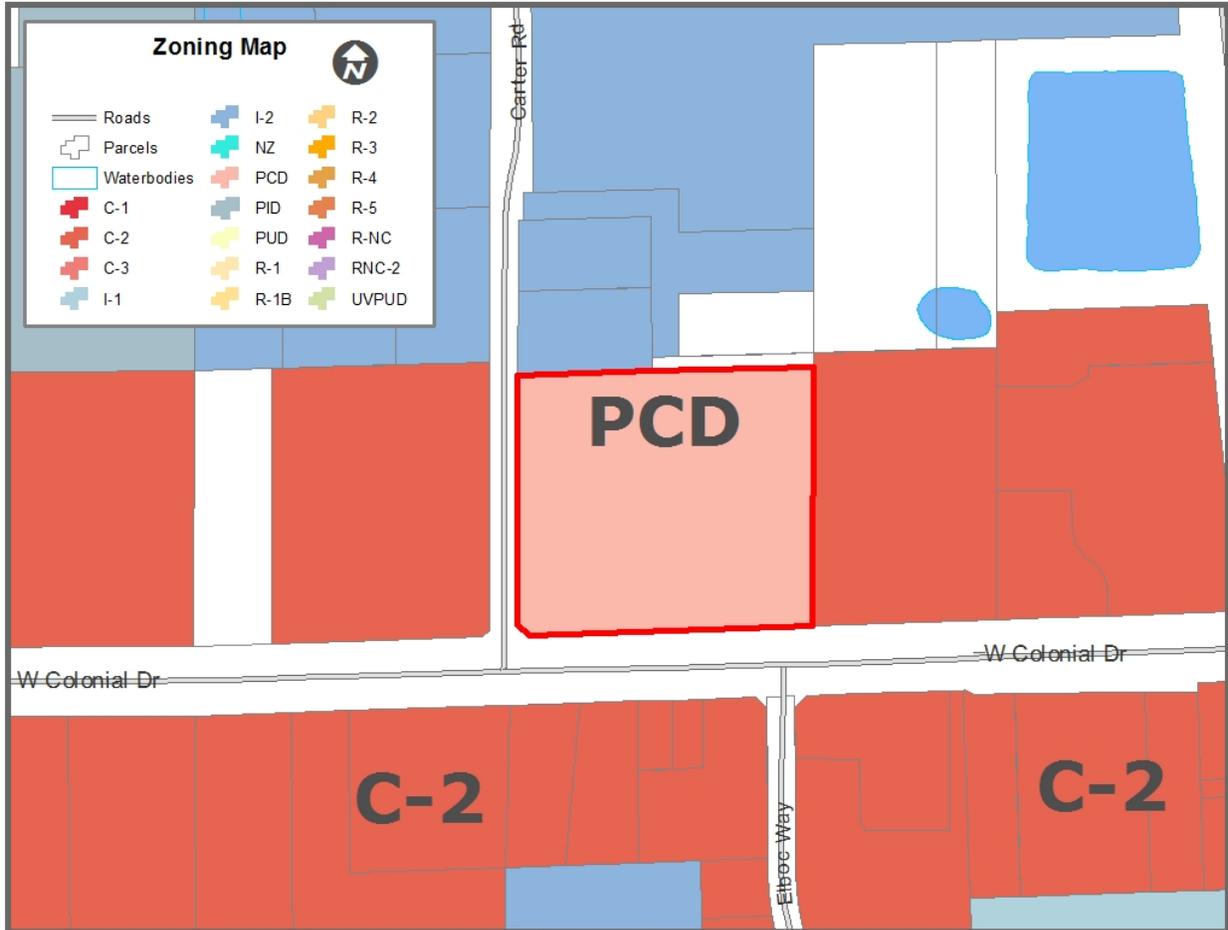
ATTACHMENTS

- Aerial Photo
- Zoning Map
- Future Land Use Map

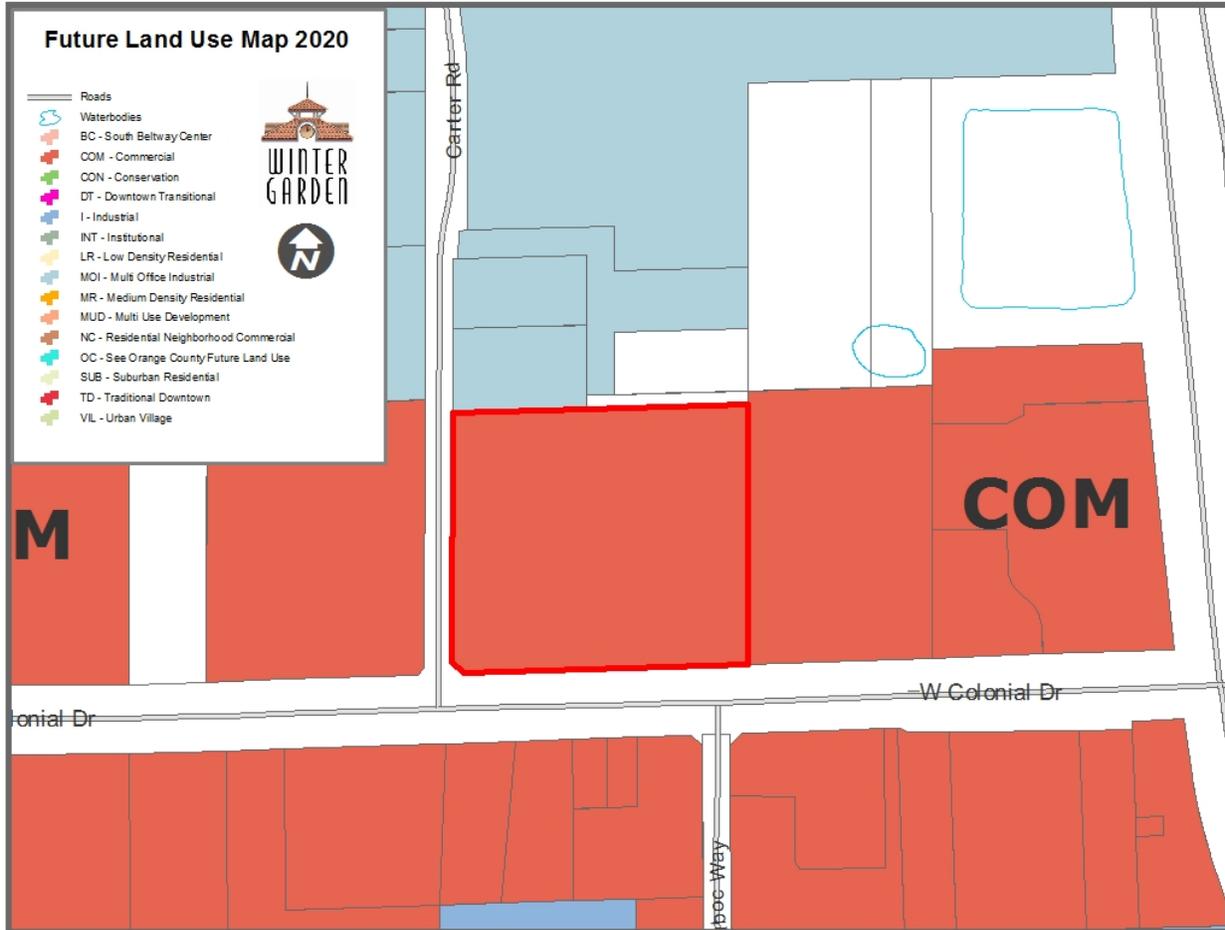
AERIAL PHOTO
12301 W. Colonial Drive



ZONING MAP
12301 W. Colonial Drive



FUTURE LAND USE MAP
12301 W. Colonial Drive



END OF STAFF REPORT

LEGAL DESCRIPTION (as provided by client):

The Southeast 1/4 of the Southwest 1/4 of the Southeast 1/4 (less the West 30 feet, the South 75 feet, and the North 30 feet of the East 349.37 feet), in Section 24, Township 22 South, Range 27 East, Orange County, Florida.

LESS AND EXCEPT

The North 30 feet of the West 320 feet of the SE 1/4 of the SW 1/4 of the SE 1/4 of Section 24, Township 22 South, Range 27 East.

AND LESS and Except the following described:

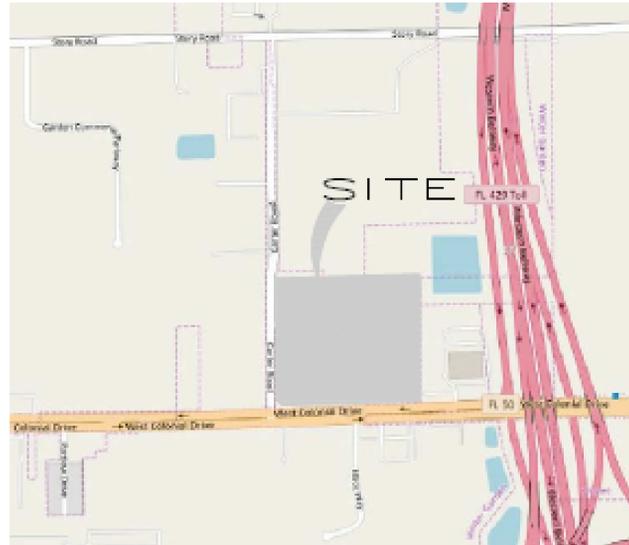
Commence at small P-K nail and disk set in poured concrete in asphalt cut-out marking the Northeast corner of the Northwest 1/4 of Section 24, Township 22 South, Range 27 East, Orange County, Florida; thence run South 00°03'54" East along the North-South center-of-section line of said Section 24 a distance of 5329.27 feet to a point on the Centerline of Survey of State Road 50 as shown on Florida Department of Transportation Right of Way Map Section 75000, Florida Project No. 410983, said point also being a point on a non-tangent curve concave Northerly having a radius of 32,746.46 feet and a chord bearing of North 88°31'48" East; thence departing said North-South line, from a tangent bearing of North 88°37'45" East, run Easterly along said Centerline of Survey and along the arc of said curve through a central angle of 00°51'53" a distance of 494.11 feet to the point of tangency; said point also being a point on the South line of the Southwest 1/4 of aforesaid Section 24; thence departing said curve, run North 88°05'52" East along said Centerline of Survey and along said South line a distance of 205.55 feet to a point on the Southerly projection of the East right of way line of Carter Avenue; thence departing said Centerline of Survey and said South line, run North 00°02'48" West along said Southerly projection a distance of 75.04 feet to the intersection of the East right of way line of Carter Avenue with the existing North right of way line of aforesaid State Road 50 as shown on the aforesaid Right of Way Map for a Point of Beginning; thence continue North 00°02'48" West along said East right of way line of Carter Avenue a distance of 24.78 feet; thence departing said East right of way line of Carter Avenue, run South 48°41'33" East a distance of 34.90 feet to the aforesaid existing North right of way line of State Road 50; thence run South 88°05'52" West along said existing North right of way line of State Road 50 a distance of 25.39 feet to the Point of Beginning.

LEGEND:

- Denotes chain link fence
- Denotes wall
- ⊕ Denotes fire hydrant
- ⊗ Denotes water valve
- ⊠ Denotes meter box
- ⊙ Denotes well
- Denotes concrete
- ▨ Denotes dirt road
- ▬ Denotes edge of pavement with concrete curb
- Denotes edge of pavement
- ⊙ Denotes sanitary manhole
- ⊙ Denotes storm manhole
- Denotes underground drainage pipes
- Denotes catch basin
- ▭ Denotes mitered end section
- ⌒ Denotes centerline
- ⊕ Denotes right-of-way
- Denotes sign
- ⊠ Denotes traffic signal / control box
- ⊕ Denotes concrete power pole
- ⊕ Denotes wood power pole
- Denotes guy pole
- Denotes overhead power
- Denotes guy wire
- ⊠ Denotes electric box and / riser
- Denotes light pole
- ⊠ Denotes gas marker
- ⊗ Denotes gas valve
- ⊠ Denotes telephone riser
- ⊠ Denotes mail box
- ⊠ Denotes gas meter
- ⊕ Denotes reinforced concrete pipe
- ⊕ Denotes corrugated metal pipe
- ⊕ Denotes irrigation valve
- ⊕ Denotes electric pull box
- ⊠ Denotes vault
- ⊠ Denotes traffic signal control
- ⊕ Denotes bench
- ⊠ Denotes electric meter
- ⊕ Denotes brick pavers
- ⊠ Denotes television riser
- ⊗ Denotes gas valve
- ⊕ Denotes back flow preventer
- ⊕ Denotes corrugated plastic pipe
- ⊕ Denotes invert of pipe elevation
- Denotes bollard
- Denotes contour elevation
- × Denotes spot elevation
- ⊕ Denotes tree location and size

SHEET NO.:

- SHEET 1 - COVER PAGE
- SHEET 2 - BOUNDARY AND TOPOGRAPHIC SURVEY
- SHEET 3 - THIS SURVEY



VICINITY
(not to scale)

SURVEYOR'S COMMENTS ON TITLE COMMITMENT

4. Easement for ingress and egress as set forth in that certain Warranty Deed recorded June 4, 1963 in Official Records Book 1206, Page 738, Public Records of Orange County, Florida.
5. Drainage Easement in favor of Orange County recorded April 18, 1974 in Official Records Book 2520, Page 874, Public Records of Orange County, Florida. (affects subject property as shown)
6. Distribution Easement in favor of Florida Power Corporation, a Florida corporation, recorded January 7, 2000 in Official Records Book 3818, Page 3080, Public Records of Orange County, Florida. (affects subject property as shown)
7. Rights of tenants occupying all or part of the insured land under unrecorded leases or rental agreements. (not a survey matter)
8. Mortgage and Security Agreement executed by Peoples Plaza, LLC, a Florida limited liability company, Mortgagor, in favor of Mercantile Bank, Mortgagee, dated January 31, 2006, in the original principal amount of \$3,570,000.00, recorded February 7, 2006 in Official Records Book 8466, Page 2894 and assigned to Seaside National Bank & Trust, a national banking association by virtue of the Assignment of Note, Mortgage and Loan Documents recorded June 10, 2008 in Official Records Book 9709, Page 4008 and together with the Receipt for Future Advance recorded June 10, 2008 in Official Records Book 9709, Page 4011 as said Mortgage and Security Agreement having been amended and restated by virtue of the Amended and Restated Mortgage and Security Agreement executed by Peoples Plaza, LLC, a Florida limited liability company, Mortgagor, in favor of Seaside National Bank & Trust, a national banking association, Mortgage, dated May 28, 2008, in the original principal amount of \$3,600,000.00, recorded June 10, 2008 in Official Records Book 9709, Page 4015 and together with the Mortgage Modification Agreement recorded October 8, 2010 in Official Records Book 10117, Page 8438, all of the Public Records of Orange County, Florida. (affects subject property, is blanket in nature, there are no plottable easements)
9. Assignment of Rents, Leases and Proceeds recorded February 7, 2008 in Official Records Book 8466, Page 2820 and assigned to Seaside National Bank & Trust, a national banking association by virtue of the Assignment of Note, Mortgage and Loan Documents recorded June 10, 2008 in Official Records Book 9709, Page 4008, all of the Public Records of Orange County, Florida. (affects subject property, is blanket in nature, there are no plottable easements)
10. Collateral Assignment of Development Rights, Licenses, Contracts, Permits and Warranties recorded February 7, 2008 in Official Records Book 8466, Page 2828 and assigned to Seaside National Bank & Trust, a national banking association by virtue of the Assignment of Note, Mortgage and Loan Documents recorded June 10, 2008 in Official Records Book 9709, Page 4008, all of the Public Records of Orange County, Florida. (affects subject property, is blanket in nature, there are no plottable easements)

SURVEYOR'S NOTES:

- Bearings shown hereon are based on the centerline of C.R. 50 as being South 88°05'46" West (an assumed bearing for angular designation only)
- The legal description hereon is in accord with the description provided by the client.
- There may be easements and restrictions of record and/or private agreements not furnished to this surveyor or shown on this boundary survey that may affect property rights and/or land use rights of the subject property.
- This survey was performed with the benefit of an Insurance Title Commitment, prepared by Fidelity National Title Insurance Company, Commitment number 201900220, effective date 08/18/2019 at 5:00 PM.
- There may be environmental issues and/or other matters regulated by various departments of federal, state or local governments affecting the subject property not shown on this survey.
- This survey was performed for the sole and exclusive benefit of the entities listed hereon and shall not be relied upon by any other entity or individual whatsoever.
- Adjoining parcel owner and recording information delineated hereon was obtained from the Orange and Lake County Property Appraiser's public access system.
- This survey is not valid without the signature and original rolled seal of a Florida Licensed Surveyor and Mapper.
- Unless otherwise noted or shown hereon, apparent and/or visible, unobstructed, above ground improvements were located. Underground improvements, such as foundations and utilities, were not located, unless noted otherwise.
- Underground utilities shown hereon were located and marked by the individual utility companies. This surveyor only shows these above ground markings as field located and is not responsible for inaccurate and/or possible utilities not shown.
- Unless otherwise noted or shown hereon, there are no apparent and/or unobstructed, above ground encroachments. The disposition of any potential encroaching improvements shown is beyond professional purview and subject to legal interpretation.

Subject property shown hereon is in Zone X, area of minimal flood hazard, according to Flood Insurance Rate Map panel number 12095C0210E 120187, map revised December 8, 2000. The above statement is for information only and this surveyor assumes no liability for the correctness of the cited map(s). In addition, the above statement does not represent this surveyor's opinion of the probability of flooding.

Subject property as described hereon contains: 358,437 square feet or 8.25 acres more or less.

Subject property has no identifiable striped parking spaces.

Subject property is zoned as: 1105-Retail Multi-Tenant.

Zoning information was obtained from the Orange County Property Appraiser's website.

Devotions shown hereon are based on National Geodetic Survey Benchmark number L-603-026, elevation being 118.72 feet. (National Adjusted Vertical Datum of 1988)

Last date in field: 11/15/2019.

We hereby certify that the lands shown hereon and the adjacent parcels of land, where they share a common boundary line, are contiguous with no gaps, gaps, notis, or overlaps.

- There are no platted setback or building restriction lines which have been recorded in subdivision plats and no record documents have been delivered to surveyor for said lines.
- There is no observed evidence of cemeteries and burial grounds on the property.
- There is no observable evidence of earth moving works, building construction, or additions within recent months.
- There is no observed evidence of changes in street right-of-way lines either completed or proposed and recent street or sidewalk construction or repairs.
- There is no observable evidence of the site being used as a solid waste dump, sump or sanitary landfill.
- Tree sizes shown hereon are depicted in inches measured at breast height.

Certified to:
Fidelity National Title Insurance Company
7-Bowen, Inc.
Peoples Plaza, LLC

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 minimum standard detail requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 8, 9, 10, 11, 13, 14, 15, 16 and 17 of Table A thereto.

The fieldwork was completed on November 15, 2019.

SIGNATURE:

JAMES L. RICKMAN, FLORIDA LICENSED SURVEYOR AND MAPPER #6633
FOR THE LICENSED FIRM OF ALLEN & COMPANY, LICENSED BUSINESS #8723

ALLEN & COMPANY

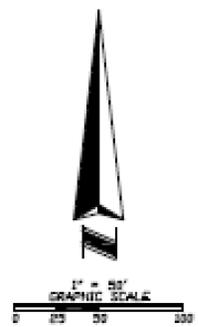
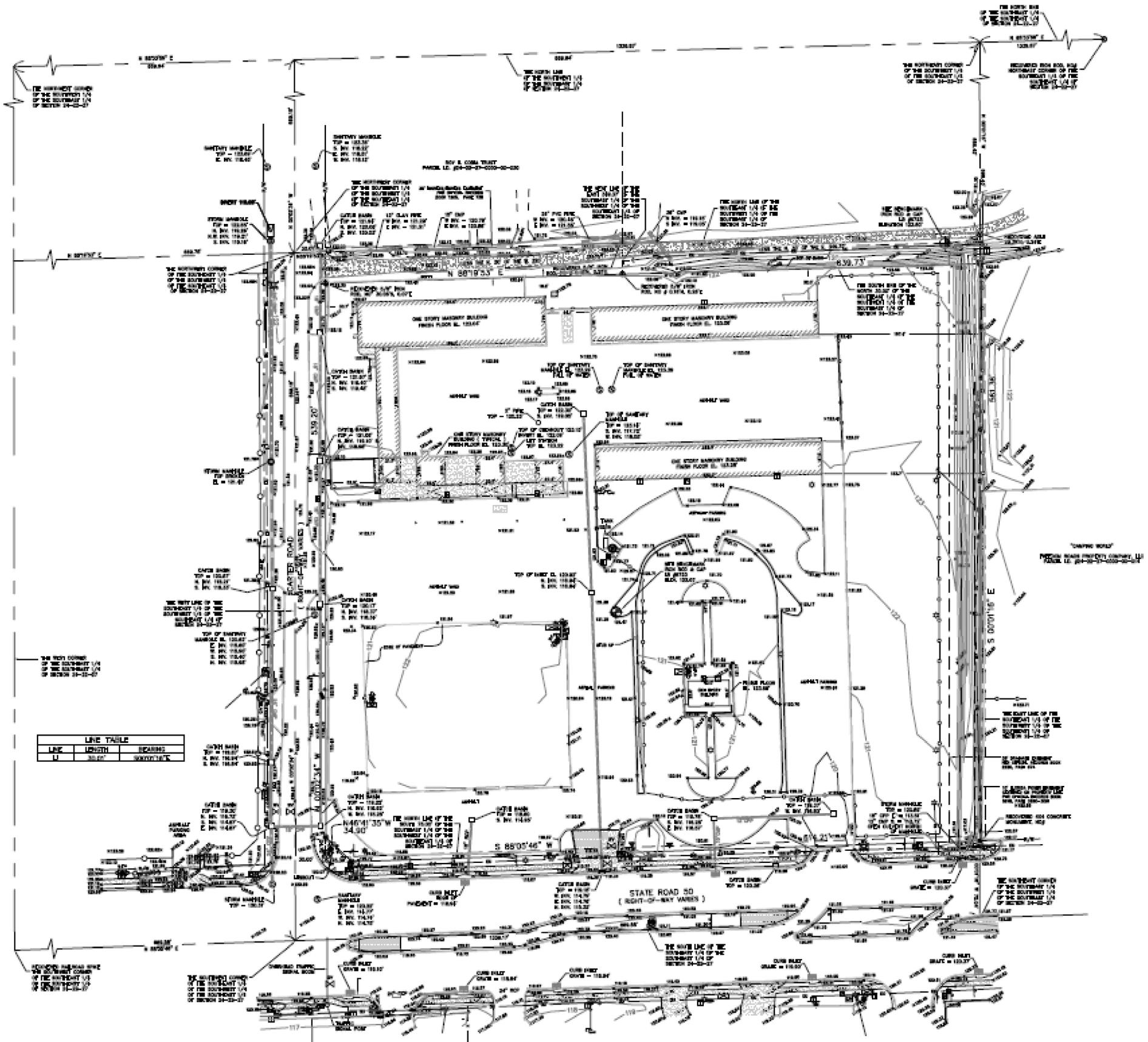
18 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654-5355

ALTA/NSPS LAND TITLE BOUNDARY
TOPOGRAPHIC & TREE SURVEY
OF
S.R. 50 AND CARTER ROAD SITE
SECTION 24, TOWNSHIP 22 SOUTH RANGE 27 EAST
ORANGE COUNTY, FLORIDA

FOR:
DALE PARSONS

DATE	REVISIONS
12/15/19	ISSUED FOR RECORD
12/17/19	REVISION 1
12/17/19	REVISION 2

JOB #	201900220
DATE	10/17/19
SCALE	1" = 50'
CALC BY:	GMJ
FIELD BY:	TP/SH
DRAWN BY:	LSM/EST/DMK
CHECKED BY:	GMJ/STY



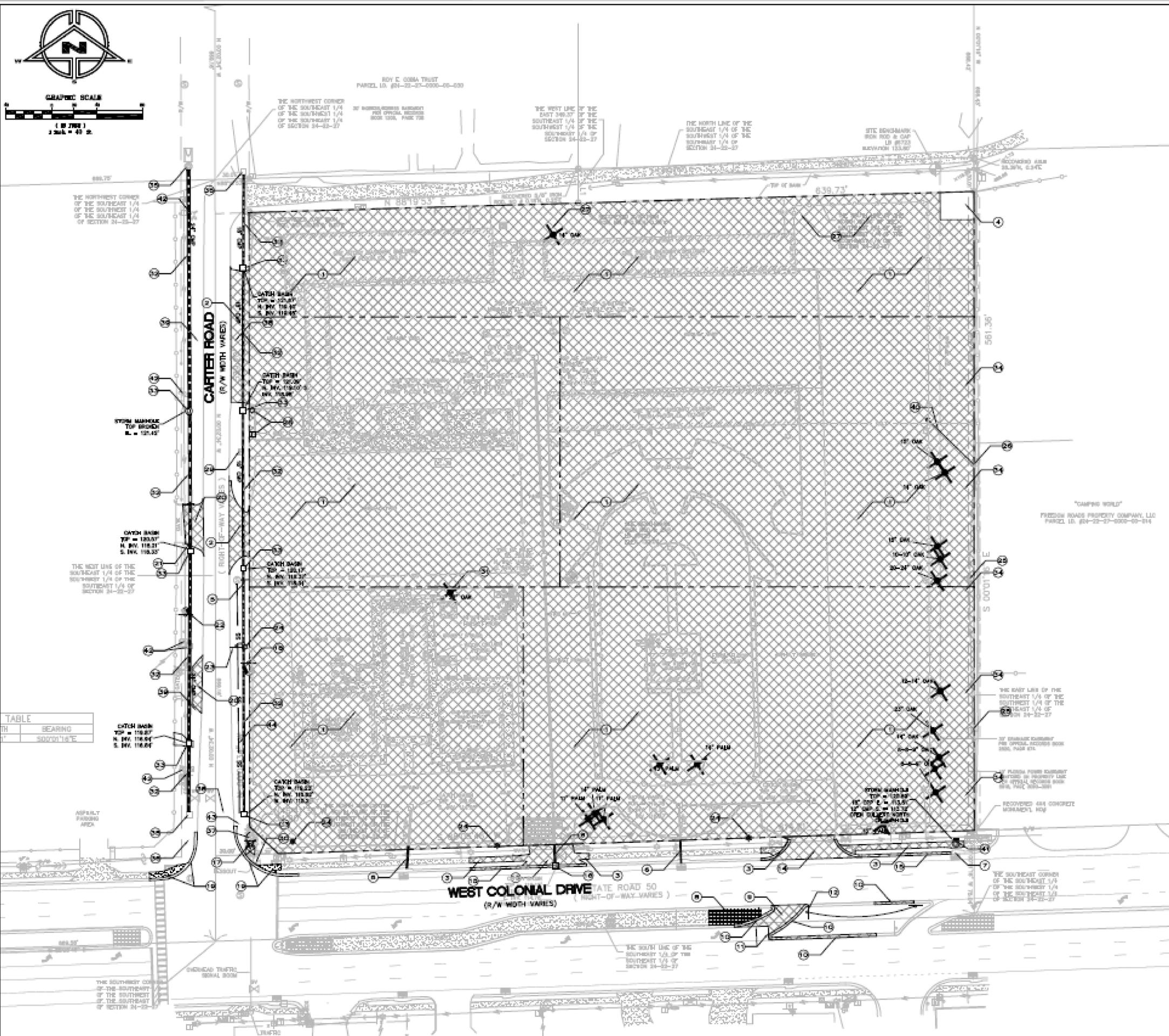
18 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 854-5355

ALTAINSPS LAND TITLE BOUNDARY
TOPOGRAPHIC & TREE SURVEY
OF
S.R. 50 AND CARTER ROAD SITE
SECTION 24, TOWNSHIP 22 SOUTH, RANGE 27 EAST
GRANGE COUNTY, FLORIDA

FOR:
DALE PARSONS

NO.	DATE	REVISIONS

JOB # 20180508
DATE 10/12/18
SCALE 1" = 50'
CALC BY GMJ
FIELD BY TP/AH
DRAWN BY P.M. 2021/2020
CHECKED BY GMJ/TP



DEMOLITION LEGEND

- LEGEND (INCLUDES ALL REMOVAL MARKS AND ANY EXISTING UNDERGROUND UTILITIES, STORM PIPES AND STRUCTURES, UNLESS OTHERWISE NOTED)
- 1. EXISTING ASPHALT PAVEMENT IN CITY RIGHT-OF-WAY TO BE REMOVED
 - 2. SECTION OF EXISTING SIDEWALK IN FOOT RIGHT-OF-WAY TO BE REMOVED (REMOVE UP TO NEAREST EXISTING CURBLINE JOINT)
 - 3. SECTION OF EXISTING SIDEWALK IN FOOT RIGHT-OF-WAY TO BE REMOVED (REMOVE UP TO NEAREST EXISTING CURBLINE JOINT)
 - 4. SECTION OF EXISTING SIDEWALK TO REMAIN UNCHANGED
 - 5. SECTION OF EXISTING SANITARY LINE TO BE REMOVED
 - 6. SECTION OF EXISTING STORM LINE TO BE REMOVED (PLUS AT STORM STRUCTURE AND REPLACE ANY AFFECTED SIDEWALK AREAS) (DO NOT PLUG REMOVED STRUCTURE-SEE PLAN SHEET 0-3)
 - 7. EXISTING STORM BUILT TO REMAIN
 - 8. EXISTING DRIVE AREA TO BE REMOVED (RELOCATE DRIVE AS SHOWN ON PLAN SHEET 0-1) (EXISTING DRIVE HAS BEEN RECEIVED, CLEAR ALL EXISTING DRIVE AND PROVIDE AREA FOR PLANTING)
 - 9. EXISTING ASPHALT PAVEMENT IN FOOT RIGHT-OF-WAY TO BE REMOVED
 - 10. SECTION OF EXISTING FOOT PATH TO BE REMOVED
 - 11. EXISTING ASPHALT DRIVEWAY TO BE REMOVED
 - 12. EXISTING CONCRETE DRIVEWAY PAVEMENT AND DRIVE CURB TO BE REMOVED
 - 13. EXISTING ASPHALT DRIVEWAY PAVEMENT TO BE REMOVED
 - 14. SECTION OF EXISTING FOOT PATH CURB AND OUTLET IN FOOT RIGHT-OF-WAY TO BE REMOVED (REMOVE UP TO NEAREST EXISTING JOINT)
 - 15. EXISTING FOOT PATH TO BE REMOVED (REMOVE ANY AFFECTED STORM PIPES NEAR STRUCTURE)
 - 16. EXISTING SIDE WALKWAY TO BE RELOCATED 20' FROM NORTH AS SHOWN
 - 17. RELOCATE EXISTING BUS STOP BENCH AND SIGNAL BOX 8' WEST AS SHOWN
 - 18. EXISTING CURB AND OUTLET AND CURB PAVEMENT TO BE REMOVED (SEE PLAN SHEET 0-1) (REMOVE CURB AND OUTLET UP TO NEAREST EXISTING JOINT)
 - 19. EXISTING CONCRETE DRIVEWAY TO BE PARTIALLY REMOVED (SEE PLAN SHEET 0-1)
 - 20. EXISTING BOLLARDS TO BE REMOVED
 - 21. RELOCATE EXISTING BUS STOP BENCH AND SIGNAL BOX 8' WEST AS SHOWN
 - 22. EXISTING SPEED LIMIT SIGN TO BE RELOCATED AS SHOWN
 - 23. EXISTING LIGHTPOLE TO BE REMOVED (CONTRACTOR TO COORDINATE WITH POWER COMPANY FOR ALL NECESSARY ELECTRICAL DISCONNECTIONS)
 - 24. EXISTING POWER POLE TO REMAIN
 - 25. EXISTING LIGHTPOLE TO REMAIN (RELOCATE GUY WIRE ON WEST SIDE OF POLE)
 - 26. CLUMP OF OAK TREES IN THIS AREA TO BE REMOVED
 - 27. EXISTING LIGHTPOLES ARE TO BE REMOVED (CONTRACTOR TO COORDINATE WITH POWER COMPANY FOR ALL NECESSARY ELECTRICAL DISCONNECTIONS)
 - 28. EXISTING UTILITY BOX TO REMAIN
 - 29. MAKE ONE VALVE COVER TO MATCH PROPOSED PAVEMENT FINISHES (CONTRACTOR TO COORDINATE WITH GAS COMPANY FOR THIS WORK)
 - 30. EXISTING TREE TO BE REMOVED (TYP)
 - 31. EXISTING STORM PVE TO BE REMOVED
 - 32. EXISTING STORM BUILT/STRUCTURE TO BE REMOVED
 - 33. REMOVE ALL EXISTING TREES WITHIN COUNTY SUBURBAN AREA
 - 34. EXISTING STORM STRUCTURE TO REMAIN
 - 35. EXISTING STORM LINE TO REMAIN
 - 36. CONTRACTOR TO COORDINATE WITH GAS COMPANY FOR ANY NECESSARY GAS EQUIPMENT RELATIONS FOR THIS AREA
 - 37. EXISTING SANITARY LINE TO REMAIN
 - 38. EXISTING STORM MAIN TO REMAIN
 - 39. EXISTING GUY WIRE TO BE RE-CONCEALED (CONTRACTOR TO COORDINATE WITH UTILITY COMPANY ON THIS WORK)
 - 40. EXISTING STORM STRUCTURE, STORM PVE, SECTION OF SIDEWALK AND HANDRAIL TO BE REMOVED
 - 41. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR ANY NECESSARY UTILITY RELATIONS IN THIS AREA
 - 42. EXISTING SANITARY LINE TO REMAIN
 - 43. EXISTING SANITARY LINE TO BE REMOVED (REMOVE SYSTEM IF EXISTING W/ BOLD IN SANITARY LINE AND REMAIN BOLD)

CONTRACTOR TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES FOR ANY NECESSARY UTILITY DISCONNECTIONS.

CONTRACTOR TO BE RESPONSIBLE FOR ANY NECESSARY FORMWORK FOR THE REMOVAL OF ANY EXISTING WELLS OR SEPTIC SYSTEM/TRANSPIERS.

REV/DATE	BY
1/18/24	MS

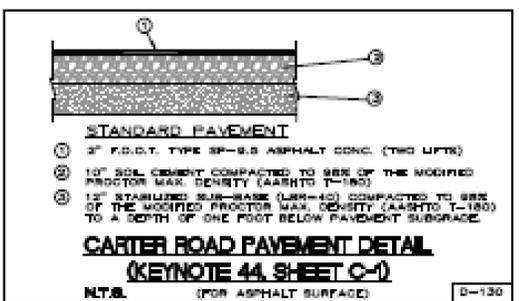
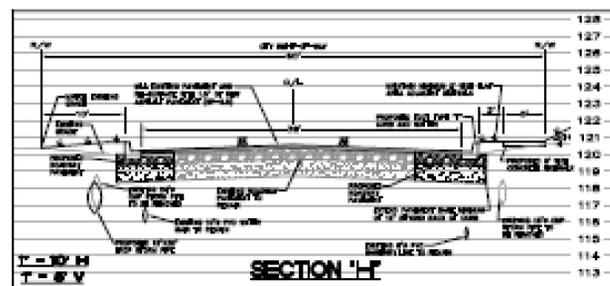
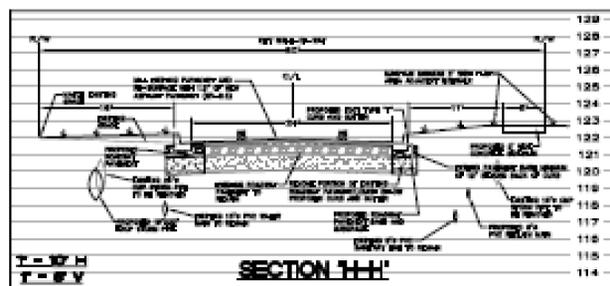
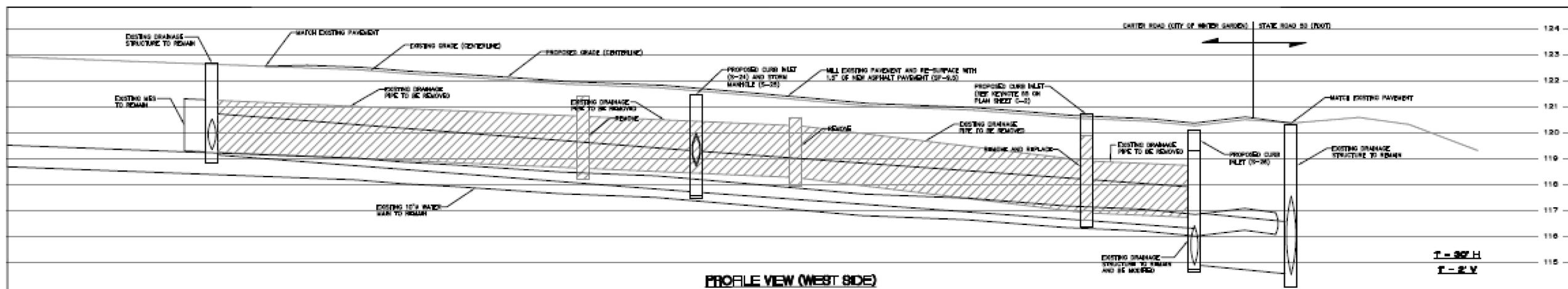
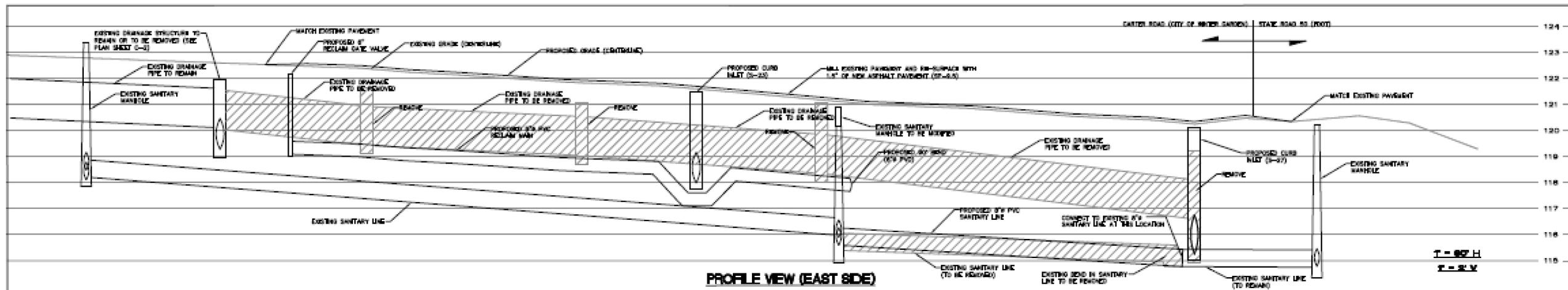
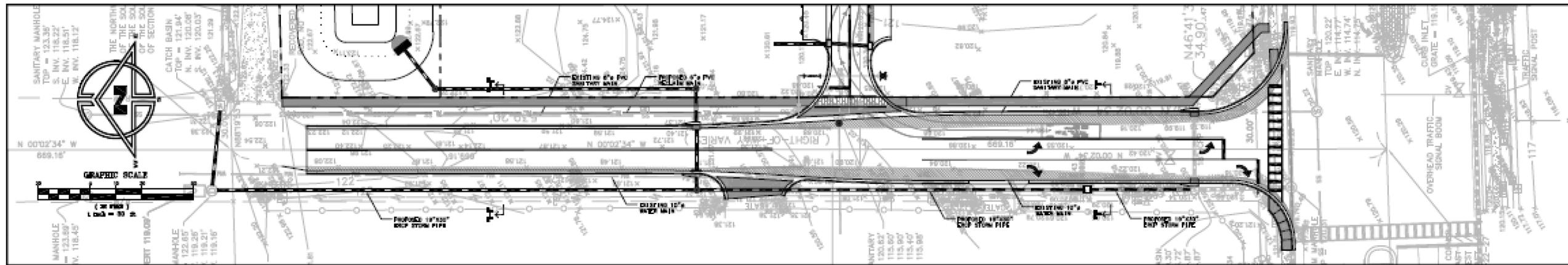
DEMOLITION PLAN
FOR
HAMPTON INN AT PEOPLE'S PLAZA
WINTER GARDEN, FLORIDA
1800 WEST COLONIAL DRIVE

WITH REFERENCE TO THE RECORD STATE OF FLORIDA, CLERK OF COURTS

NOT

DESIGN	MS
CHECKED	MS
DATE	01-18-24
JOB NO.	23-002
SCALE	D-1 OF 04

NOTE: REPRODUCTION OF THIS PLAN IS FORWARDED UNLESS CONTAINING ORIGINAL SIGNATURE AND DRAWING WITH ENGINEER'S SEAL AS PER CHAPTER 216.25, F.S. FLORIDA ADMINISTRATIVE CODE.



NOTE:
REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EXEMPTED NTE ENGINEER'S SEAL AS PER CHAPTER 224.02, FLORIDA ADMINISTRATIVE CODE.

REV/DATE	BY
1	MC
2	MC
3	MC
4	MC
5	MC
6	MC
7	MC
8	MC
9	MC
10	MC

ROADWAY IMPROVEMENT PLAN
FOR
HAMPTON INN AT PEOPLE'S PLAZA
1800 WEST COLONIAL DRIVE
WINTER GARDEN, FLORIDA

DATE: _____

SCALE: _____

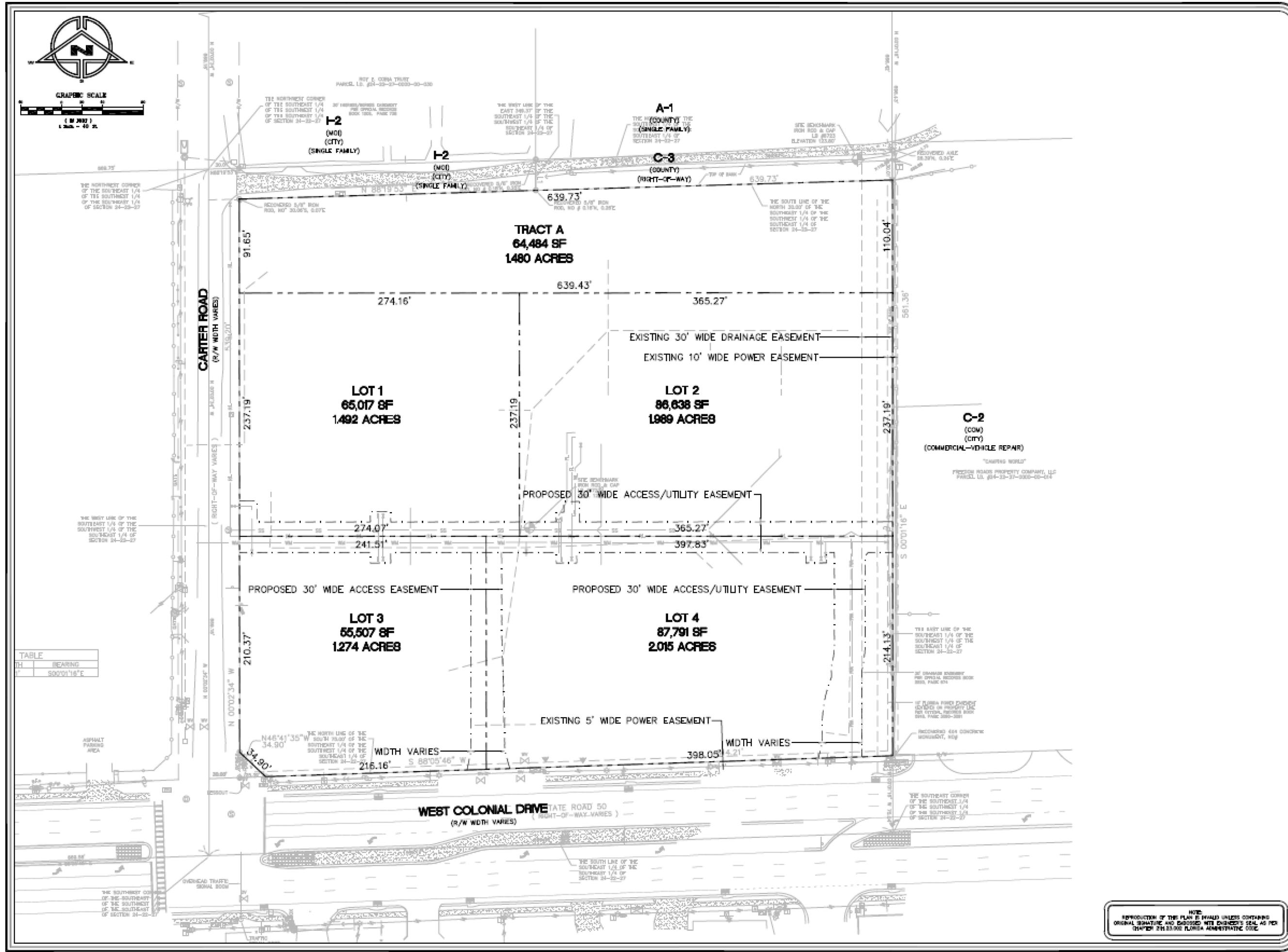
DATE: _____

SCALE: _____

DESIGNED BY	MC
CHECKED BY	MC
DATE	8-7-19
SCALE	T = 20'
PROJECT NO.	28-002
SHEET NO.	C-1A



TABLE	BEARING
1"	S00°01'16"E



NOTE:
REPRODUCTION OF THIS PLAN IS PROHIBITED UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED NTE ENGINEER'S SEAL AS PER CHAPTER 218.002, FLORIDA ADMINISTRATIVE CODE.

REV/DATE	BY
1	MC
2	MC
3	MC
4	MC
5	MC
6	MC
7	MC
8	MC
9	MC
10	MC

PRELIMINARY SUBMISSION PLAN
For
HAMPTON INN AT PEOPLE'S PLAZA
1800 WEST COLONIAL DRIVE
WINTER GARDEN, FLORIDA

DATE: _____

SCALE: _____

DESIGNED BY	MC
DRAWN BY	MC
CHECKED BY	6-7-19
DATE	7-4-19
PROJECT NO.	28-002
DATE PLOTTED	C-1B 8/2/19



SIGN LEGEND

NO.	TEXT	SYMBOL	NO.	TEXT	SYMBOL
RS-1	STOP		30'x30"		
RS-2	NO RIGHT TURN		30'x48"		
RS-3	DO NOT ENTER		30'x30"		
RS-4	ONE WAY		(SEE NOTES)		
RS-7	LEFT LANE MUST TURN LEFT		(SEE NOTES)		

ALL SIGNS SHALL CONFORM WITH F.D.T. MANUAL OR UNIFORM TRAFFIC CONTROL DEVICES.

ALL DETECTABLE WARNING MATS SHALL BE ARMOR TILE (OR APPROVED ALTERNATE) YELLOW AND CAST IN PLACE ONLY. SURFACE-MOUNTED DETECTABLE WARNING MATS WILL NOT BE ACCEPTED.

INSTALL EXPANSION AND CONTROL JOINTS FOR ALL PROPOSED SIDEWALKS PER SIDEWALK DETAIL ON PLAN SHEET C-11.

ALL APPROVED SIDEWALK, DRIVE AND DRIVEWAYS SHALL BE PAVED AND FINISHED TO MEET CURRENT AREA PRACTICES.

SITE LEGEND

	PROPOSED PARKING
	PROPOSED DRIVEWAY
	PROPOSED DRIVE
	SITE BOUNDARY LINE
	EXISTING EASEMENT (IDENTIFIED ON PLAN)
	PROPOSED EASEMENT (IDENTIFIED ON PLAN)
	CENTER LINE OF ROAD
	EXISTING EDGE OF PAVEMENT
	TYPICAL

SITE LEGEND

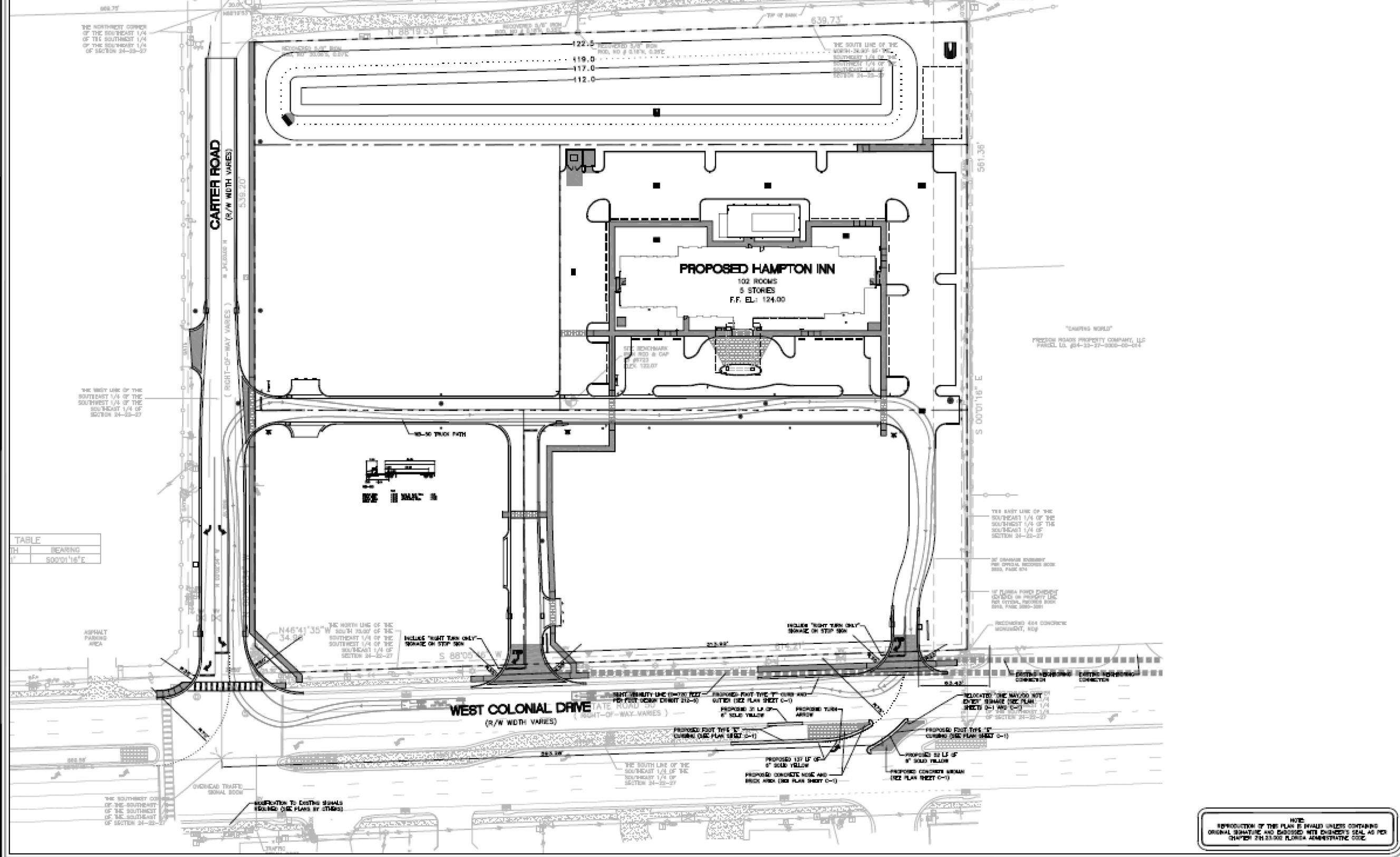
RS	ROADWAY
TS	# OF PARKING SPACES
S/P	SEWER
R/S	5' RADIUS
L/S	LEFT TURN
S/A	SQUARE FEET
S/C	BACK OF CURB
	PROPOSED ASPHALT PAVEMENT (SEE DETAIL)
	PROPOSED CONCRETE PAVEMENT (SEE DETAIL)

REV/DATE	BY

FDOT SIGNAGE/STRIPING PLAN
FOR
HAMPTON INN AT PEOPLE'S PLAZA
WINTER GARDEN, FLORIDA

DATE: _____
BY: _____
TITLE: _____
SCALE: _____

DESIGNED BY	MS
CHECKED BY	MS
DATE	6-7-09
SCALE	1" = 40'
JOB NO.	28-002
PROJECT NO.	C-10



TABLE

TH	BEARING
1"	50000' = 1" @ E

NOTE: REPRODUCTION OF THE PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND DATED WITH ENGINEER'S SEAL AS PER CHAPTER 28.23, F.S. FLORIDA ADMINISTRATIVE CODE.



GRAPHIC SCALE
1" = 40'

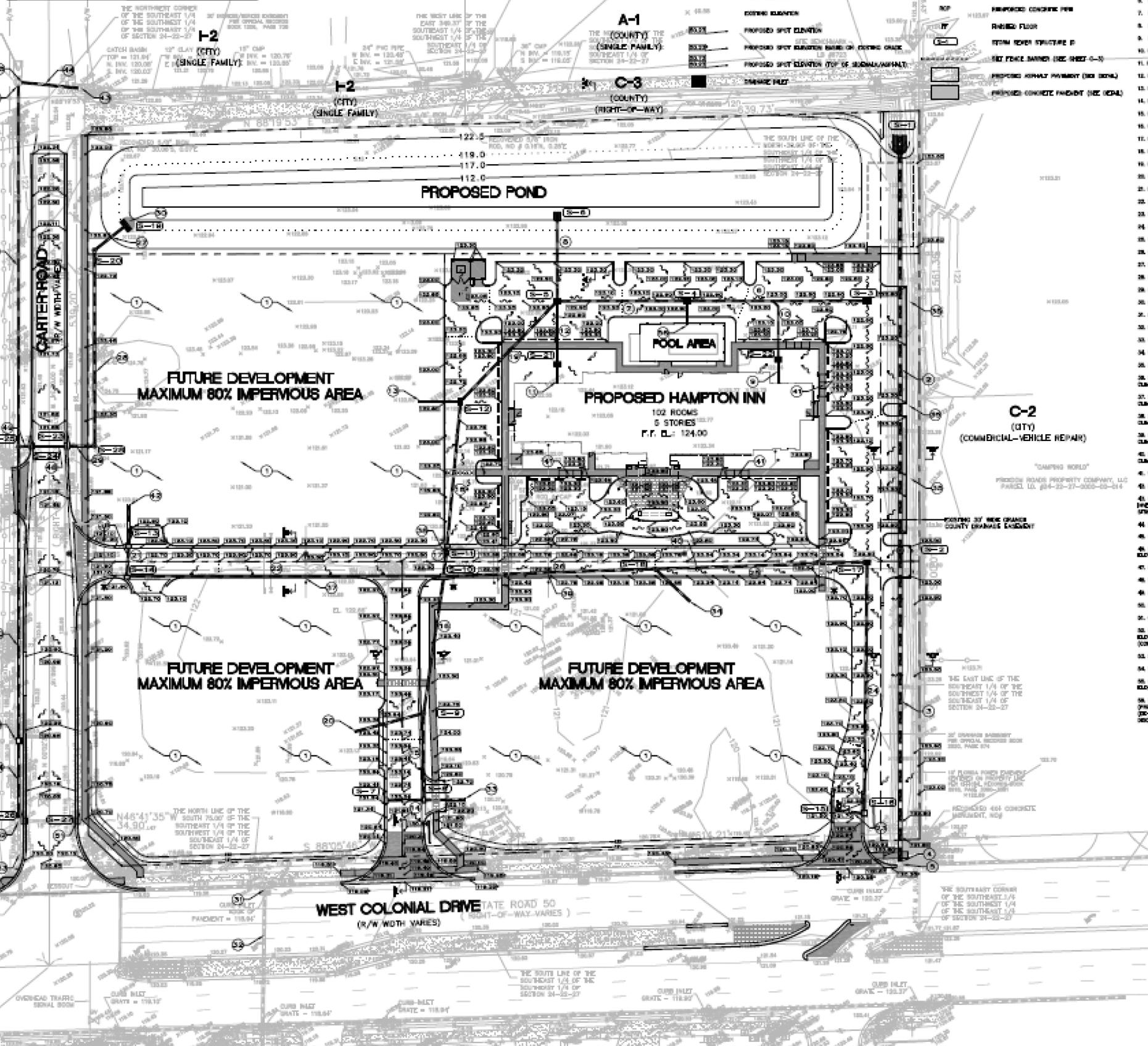
ALL TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY ALLEN AND COMPANY, DATED 12-18-2016, USING DATUM 1988 (NAVD8).
ALL UTILITIES IN UTILITY AND STORM RECORDS SHALL BE VERIFIED.
ALL SANITARY SEWER AND STORM SEWER SHALL BE NEW UNLESS INDICATED OTHERWISE. PAVING AND ASPHALT SHALL BE TO THE END OF THE ONE YEAR WARRANTY PERIOD.
ALL SANITARY AND STORM SEWERS WITH LESS THAN 4' OF COVER SHALL BE 18" VENT INSPECTED AFTER GROUND INSTALLATION.

STORM MANHOLE
TOP = 122.85
N. BY = 118.20
S. BY = 118.27
E. BY = 118.17

LINE	BEARING
1	S00°01'16"E

CATCH BASIN
TOP = 118.20
N. BY = 118.20
S. BY = 118.27
E. BY = 118.27

THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24-22-27

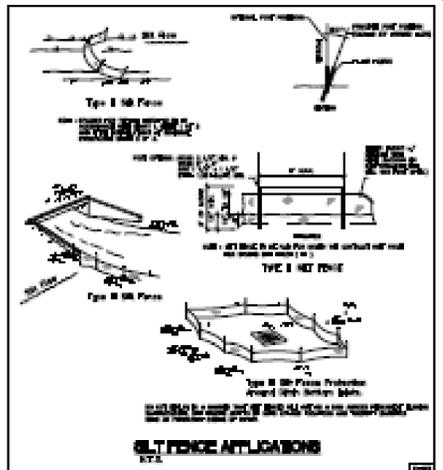
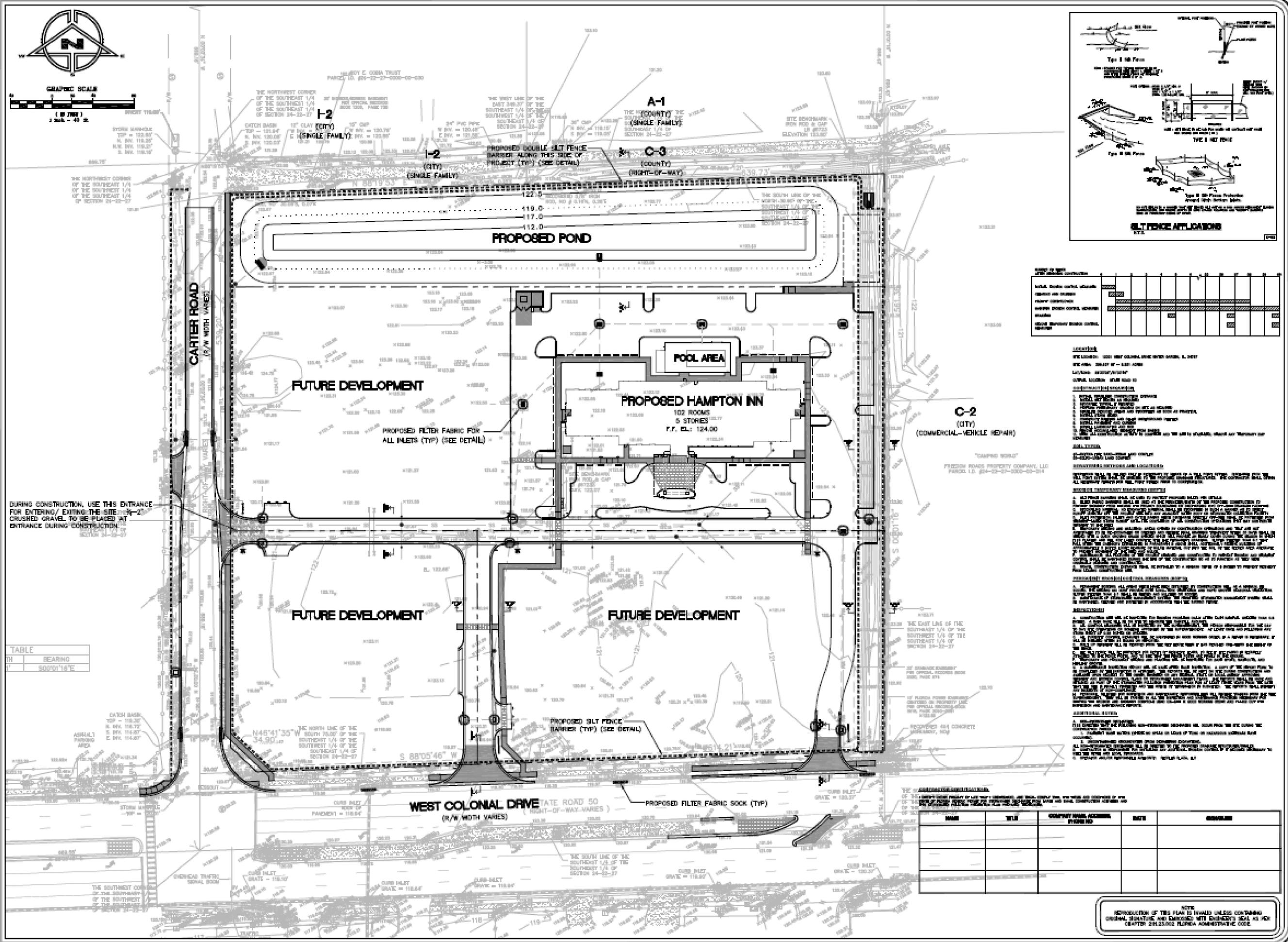


- GRADE(S) LISTING**
- D. DRAINAGE
 - TOP. TYPICAL
 - LC. UNDER FOOT
 - CL. CLEARLY
 - IN. INVERT ELEVATION
 - EXISTING ELEVATION
 - PROPOSED SPOT ELEVATION
 - PROPOSED SPOT ELEVATION BASED ON EXISTING GRADE
 - PROPOSED SPOT ELEVATION (TOP OF SUBGRADE/ASPHALT)
 - GRADE PALETTE

- MATERIALS SECTION**
- URBANIC PIPE
 - EXISTING DRAINAGE (DEPICED ON PLAN)
 - PROPOSED DRAINAGE (DEPICED ON PLAN)
 - SURFACE STORMWATER FLOW
 - NEW URBANIC POLYETHYLENE PIPE
 - REINFORCED CONCRETE PIPE
 - RAISED FLOOR
 - STORM SEWER STRUCTURE #
 - SET FORCE MAINS (SEE SHEET C-3)
 - PROPOSED ASPHALT PAVEMENT (SEE SHEET)
 - PROPOSED CONCRETE PAVEMENT (SEE SHEET)

- KEY NOTES**
1. GRADE TO ELEVATION 122.00 AND 122.00 AND 122.00
 2. PROPOSED 24" LP OF 48" HOP AT 0.20%
 3. PROPOSED 24" LP OF 48" HOP AT 0.20%
 4. CONVEY TO EXISTING STORM INLET AT INVERT ELEVATION 118.00 (EXISTING DRAINAGE) ON NORTH SIDE OF ROAD
 5. EXISTING STORM STRUCTURE #121 (EXISTING) ON NORTH SIDE (DRAWING)
 6. PROPOSED 18" LP OF 18" HOP AT 0.20%
 7. PROPOSED 30" LP OF 18" HOP AT 0.20%
 8. PROPOSED 48" LP OF 24" HOP AT 0.20%
 9. PROPOSED 36" LP OF 18" HOP AT 0.20% (STUBOUT AT INVERT MANHOLE 118.00) (SEE PAVING PLANS)
 10. PROPOSED 48" LP OF 18" HOP AT 0.20% WITH THE CONNECTION AT INVERT MANHOLE 118.00
 11. PROPOSED 18" LP OF 18" HOP AT 0.20% (STUBOUT AT INVERT ELEVATION 118.00) (SEE PAVING PLANS)
 12. PROPOSED 48" LP OF 18" HOP AT 0.20%
 13. PROPOSED 30" LP OF 18" HOP AT 0.20% (STUBOUT AT INVERT MANHOLE 118.00)
 14. PROPOSED 24" LP OF 18" HOP AT 0.20%
 15. PROPOSED 48" LP OF 18" HOP AT 0.20%
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 100. PROPOSED 18" LP OF 18" HOP AT 0.20%

STORM STRUCTURE	NO.	TYPE	DIAMETER	DEPTH	INVERT	TOP	REMARKS
1	1	URBANIC	18"	10'	118.20	128.20	SEE PLAN
2	2	URBANIC	18"	10'	118.20	128.20	SEE PLAN
3	3	URBANIC	18"	10'	118.20	128.20	SEE PLAN
4	4	URBANIC	18"	10'	118.20	128.20	SEE PLAN
5	5	URBANIC	18"	10'	118.20	128.20	SEE PLAN
6	6	URBANIC	18"	10'	118.20	128.20	SEE PLAN
7	7	URBANIC	18"	10'	118.20	128.20	SEE PLAN
8	8	URBANIC	18"	10'	118.20	128.20	SEE PLAN
9	9	URBANIC	18"	10'	118.20	128.20	SEE PLAN
10	10	URBANIC	18"	10'	118.20	128.20	SEE PLAN
11	11	URBANIC	18"	10'	118.20	128.20	SEE PLAN
12	12	URBANIC	18"	10'	118.20	128.20	SEE PLAN
13	13	URBANIC	18"	10'	118.20	128.20	SEE PLAN
14	14	URBANIC	18"	10'	118.20	128.20	SEE PLAN
15	15	URBANIC	18"	10'	118.20	128.20	SEE PLAN
16	16	URBANIC	18"	10'	118.20	128.20	SEE PLAN
17	17	URBANIC	18"	10'	118.20	128.20	SEE PLAN
18	18	URBANIC	18"	10'	118.20	128.20	SEE PLAN
19	19	URBANIC	18"	10'	118.20	128.20	SEE PLAN
20	20	URBANIC	18"	10'	118.20	128.20	SEE PLAN
21	21	URBANIC	18"	10'	118.20	128.20	SEE PLAN
22	22	URBANIC	18"	10'	118.20	128.20	SEE PLAN
23	23	URBANIC	18"	10'	118.20	128.20	SEE PLAN
24	24	URBANIC	18"	10'	118.20	128.20	SEE PLAN
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96	96	URBANIC	18"	10'	118.20	128.20	SEE PLAN
97	97	URBANIC	18"	10'	118.20	128.20	SEE PLAN
98	98	URBANIC	18"	10'	118.20	128.20	SEE PLAN
99	99	URBANIC	18"	10'	118.20	128.20	SEE PLAN
100	100	URBANIC	18"	10'	118.20	128.20	SEE



NOTES ON SILT FENCE CONSTRUCTION

1. Silt Fence Material	1.0000
2. Silt Fence Posts	1.0000
3. Silt Fence Fabric	1.0000
4. Silt Fence Anchors	1.0000
5. Silt Fence Bracing	1.0000
6. Silt Fence Signage	1.0000
7. Silt Fence Maintenance	1.0000
8. Silt Fence Removal	1.0000
9. Silt Fence Storage	1.0000
10. Silt Fence Disposal	1.0000

NOTES

1. ALL SILT FENCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
2. SILT FENCES SHALL BE CONSTRUCTED WITH A MINIMUM HEIGHT OF 18" ABOVE FINISHED GRADE.
3. SILT FENCES SHALL BE ANCHORED TO THE GROUND WITH 2x4 POSTS AT 10' INTERVALS.
4. SILT FENCES SHALL BE BRACED WITH 2x4 POSTS AT 10' INTERVALS.
5. SILT FENCES SHALL BE MAINTAINED AT ALL TIMES TO REMAIN EFFECTIVE.
6. SILT FENCES SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
7. SILT FENCES SHALL BE STORED IN A MANNER THAT PREVENTS DAMAGE TO THE FENCE.
8. SILT FENCES SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS.
9. SILT FENCES SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" ABOVE FINISHED GRADE.
10. SILT FENCES SHALL BE ANCHORED TO THE GROUND WITH 2x4 POSTS AT 10' INTERVALS.
11. SILT FENCES SHALL BE BRACED WITH 2x4 POSTS AT 10' INTERVALS.
12. SILT FENCES SHALL BE MAINTAINED AT ALL TIMES TO REMAIN EFFECTIVE.
13. SILT FENCES SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
14. SILT FENCES SHALL BE STORED IN A MANNER THAT PREVENTS DAMAGE TO THE FENCE.
15. SILT FENCES SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS.

TABLE

LINE	BEARING
1	S00°00'18"E

NO.	DATE	BY	REVISION

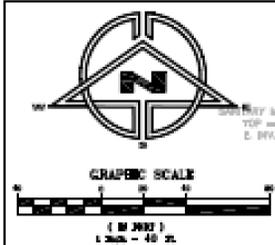
NOTE:
REPRODUCTION OF THIS PLAN IS FORWARDED UNLESS OTHERWISE INDICATED.
ORIGINAL SIGNATURE AND EMPLOYER'S SEAL AS FOR CHAPTER 218.25(2) FLORIDA ADMINISTRATIVE CODE.

REV/DATE	BY
1-0-0	M.S.
2-0-0	M.S.
3-0-0	M.S.
4-0-0	M.S.
5-0-0	M.S.
6-0-0	M.S.
7-0-0	M.S.
8-0-0	M.S.
9-0-0	M.S.
10-0-0	M.S.

EROSION CONTROL PLAN
FOR
HAMPTON INN AT PEOPLE'S PLAZA
WINTER GARDEN, FLORIDA
3801 WEST COLONIAL DRIVE



DESIGNED BY	M.C.
DRAWN BY	M.C.
CHECKED BY	C-D-C
SCALE	1" = 40'
DATE	07-08
PROJECT NO.	07-03

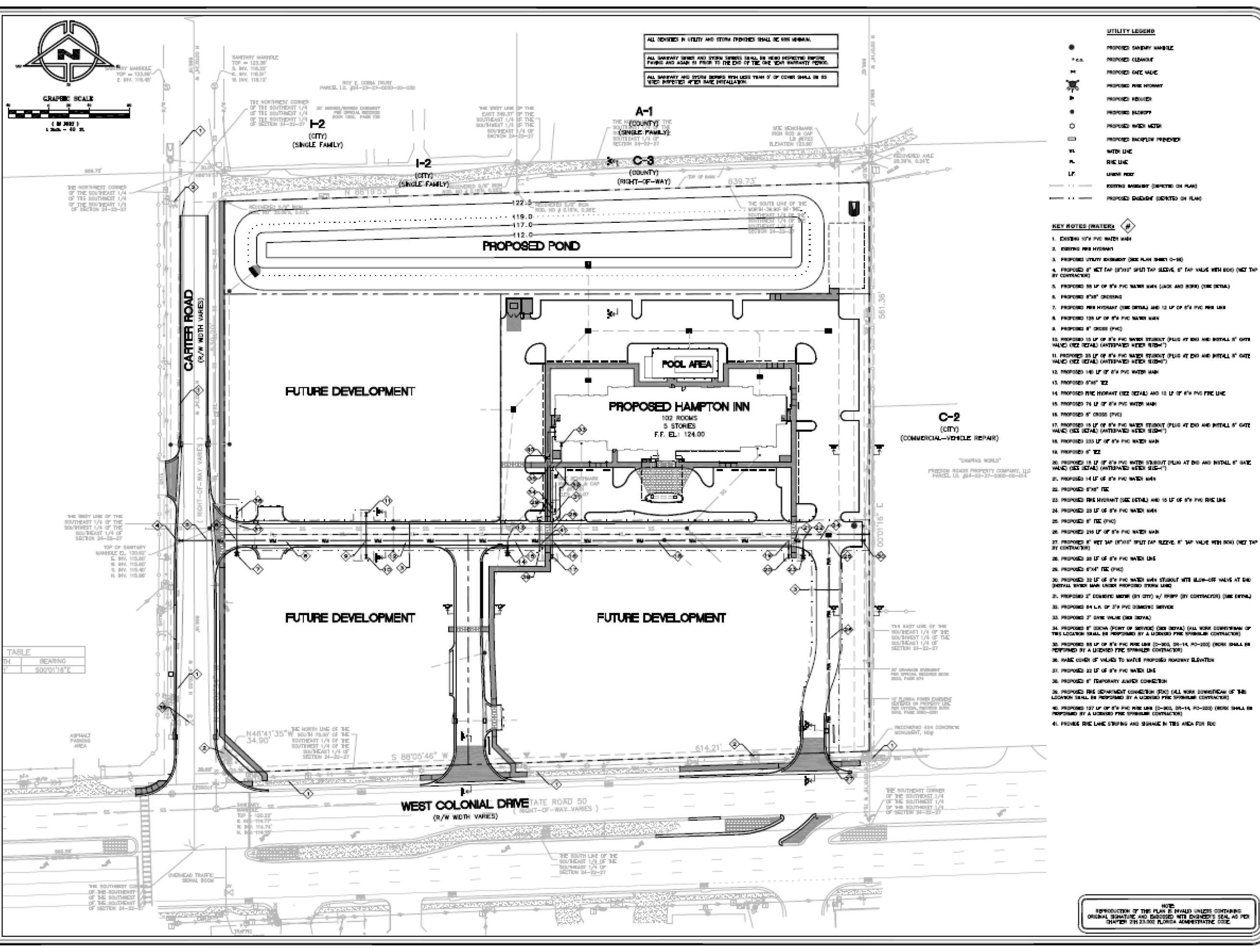


ALL SERVICES IN UTILITY AND STORM SERVICES SHALL BE PERMANENT.
 ALL SANITARY SERVICES AND STORM SERVICES SHALL BE FIELD INSPECTED BEFORE FINISHING AND AGAIN IN PROXIMITY TO THE END OF THE ONE YEAR WARRANTY PERIOD.
 ALL SANITARY AND STORM SERVICES WITH LESS THAN 12" OF COVER SHALL BE SO FIELD INSPECTED AFTER BASE INSTALLATION.

- UTILITY LEGEND**
- PROPOSED SANITARY SERVICE
 - +c.o. PROPOSED CLEANOUT
 - PROPOSED GATE VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED SERVICE
 - PROPOSED SLOPE
 - PROPOSED WATER METER
 - PROPOSED BACKFLOW PREVENTER
 - WITH LINE
 - R/C LINE
 - UNFIN. FOOT
 - EXISTING SERVICE (DELETED ON PLAN)
 - PROPOSED EXISTING (DELETED ON PLAN)

- KEY NOTES (WATER)**
1. EXISTING 10" PVC WATER MAIN
 2. EXISTING FIRE HYDRANT
 3. PROPOSED UTILITY EXHIBIT (SEE PLAN SHEET C-10)
 4. PROPOSED 1" MET TAP (2" MET TAP SPLIT TAP SLEEVE, 1" TAP VALVE WITH BOX) (MET TAP BY CONTRACTOR)
 5. PROPOSED 36" LF OF 8" PVC WATER MAIN (LACK AND BOX) (SEE DETAIL)
 6. PROPOSED 8" PVC CROSSING
 7. PROPOSED FIRE HYDRANT (SEE DETAIL) AND 12" LF OF 8" PVC FIRE LINE
 8. PROPOSED 126" LF OF 8" PVC WATER MAIN
 9. PROPOSED 8" CROSS (PVC)
 10. PROPOSED 15" LF OF 8" PVC WATER SERVICE (PLUS AT END AND INSTALL 1" GATE VALVE) (SEE DETAIL) (ANTICIPATED WATER SIDE-1)
 11. PROPOSED 25" LF OF 8" PVC WATER SERVICE (PLUS AT END AND INSTALL 1" GATE VALVE) (SEE DETAIL) (ANTICIPATED WATER SIDE-2)
 12. PROPOSED 140" LF OF 8" PVC WATER MAIN
 13. PROPOSED 8" MET TAP
 14. PROPOSED FIRE HYDRANT (SEE DETAIL) AND 12" LF OF 8" PVC FIRE LINE
 15. PROPOSED 74" LF OF 8" PVC WATER MAIN
 16. PROPOSED 8" CROSS (PVC)
 17. PROPOSED 15" LF OF 8" PVC WATER SERVICE (PLUS AT END AND INSTALL 1" GATE VALVE) (SEE DETAIL) (ANTICIPATED WATER SIDE-1)
 18. PROPOSED 333" LF OF 8" PVC WATER MAIN
 19. PROPOSED 8" TIE
 20. PROPOSED 15" LF OF 8" PVC WATER SERVICE (PLUS AT END AND INSTALL 1" GATE VALVE) (SEE DETAIL) (ANTICIPATED WATER SIDE-1)
 21. PROPOSED 14" LF OF 8" PVC WATER MAIN
 22. PROPOSED 8" MET TAP
 23. PROPOSED FIRE HYDRANT (SEE DETAIL) AND 12" LF OF 8" PVC FIRE LINE
 24. PROPOSED 25" LF OF 8" PVC WATER MAIN
 25. PROPOSED 8" TIE (PVC)
 26. PROPOSED 240" LF OF 8" PVC WATER MAIN
 27. PROPOSED 1" MET TAP (2" MET TAP SPLIT TAP SLEEVE, 1" TAP VALVE WITH BOX) (MET TAP BY CONTRACTOR)
 28. PROPOSED 20" LF OF 8" PVC WATER LINE
 29. PROPOSED 8" MET TAP (PVC)
 30. PROPOSED 22" LF OF 8" PVC WATER MAIN SERVICE WITH SHUT-OFF VALVE AT END (INSTALL SERVICE MAIN UNDER PROPOSED STORM LINE)
 31. PROPOSED 2" CONCRETE METER (BY CITY) w/ SHIM (BY CONTRACTOR) (SEE DETAIL)
 32. PROPOSED 84" L.A. OF 3" PVC CONCRETE SERVICE
 33. PROPOSED 2" GATE VALVE (SEE DETAIL)
 34. PROPOSED 8" SOCK (POINT OF SERVICE) (SEE DETAIL) (ALL WORK CONFORMING TO THE LOCATION SHALL BE PERFORMED BY A LICENSED FIRE SPRINKLER CONTRACTOR)
 35. PROPOSED 88" LF OF 8" PVC FIRE LINE (2-800, 09-14, 10-200) (WORK SHALL BE PERFORMED BY A LICENSED FIRE SPRINKLER CONTRACTOR)
 36. R/C COVER IF VALVES TO MATCH PROPOSED ROADWAY ELEVATION
 37. PROPOSED 22" LF OF 8" PVC WATER LINE
 38. PROPOSED 8" TEMPORARY JUNCTION CONNECTION
 39. PROPOSED 8" SERVICE CONNECTION (PVC) (ALL WORK CONFORMING TO THE LOCATION SHALL BE PERFORMED BY A LICENSED FIRE SPRINKLER CONTRACTOR)
 40. PROPOSED 127" LF OF 8" PVC FIRE LINE (2-800, 09-14, 10-200) (WORK SHALL BE PERFORMED BY A LICENSED FIRE SPRINKLER CONTRACTOR)
 41. PROVIDE R/C LINE STRIPING AND SIGNS IN THIS AREA FOR R/C

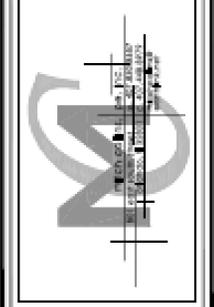
LINE	BEARING
17	S00°00'18"E



REV/DATE	BY
1-0-00	M.C.
1-1-00	M.C.
1-2-00	M.C.
1-3-00	M.C.
1-4-00	M.C.
1-5-00	M.C.

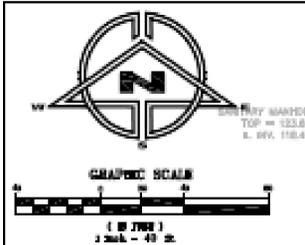
WATER UTILITY PLAN
 FOR
HAMPTON INN AT PEOPLE'S PLAZA
 WINTER GARDEN, FLORIDA
 1600 WEST COLONIAL DRIVE

STATE OF FLORIDA
 COUNTY OF POLK
 ENGINEER
 DATE



DESIGNED BY	M.C.
CHECKED BY	M.C.
DATE	6-7-08
SCALE	1" = 40'
PROJECT NO.	20-002
SHEET NO.	C-4
TOTAL SHEETS	10-4

NOTE:
 REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED NTE ENGINEER'S SEAL AS PER CHAPTER 291.23(3)(b) FLORIDA ADMINISTRATIVE CODE.



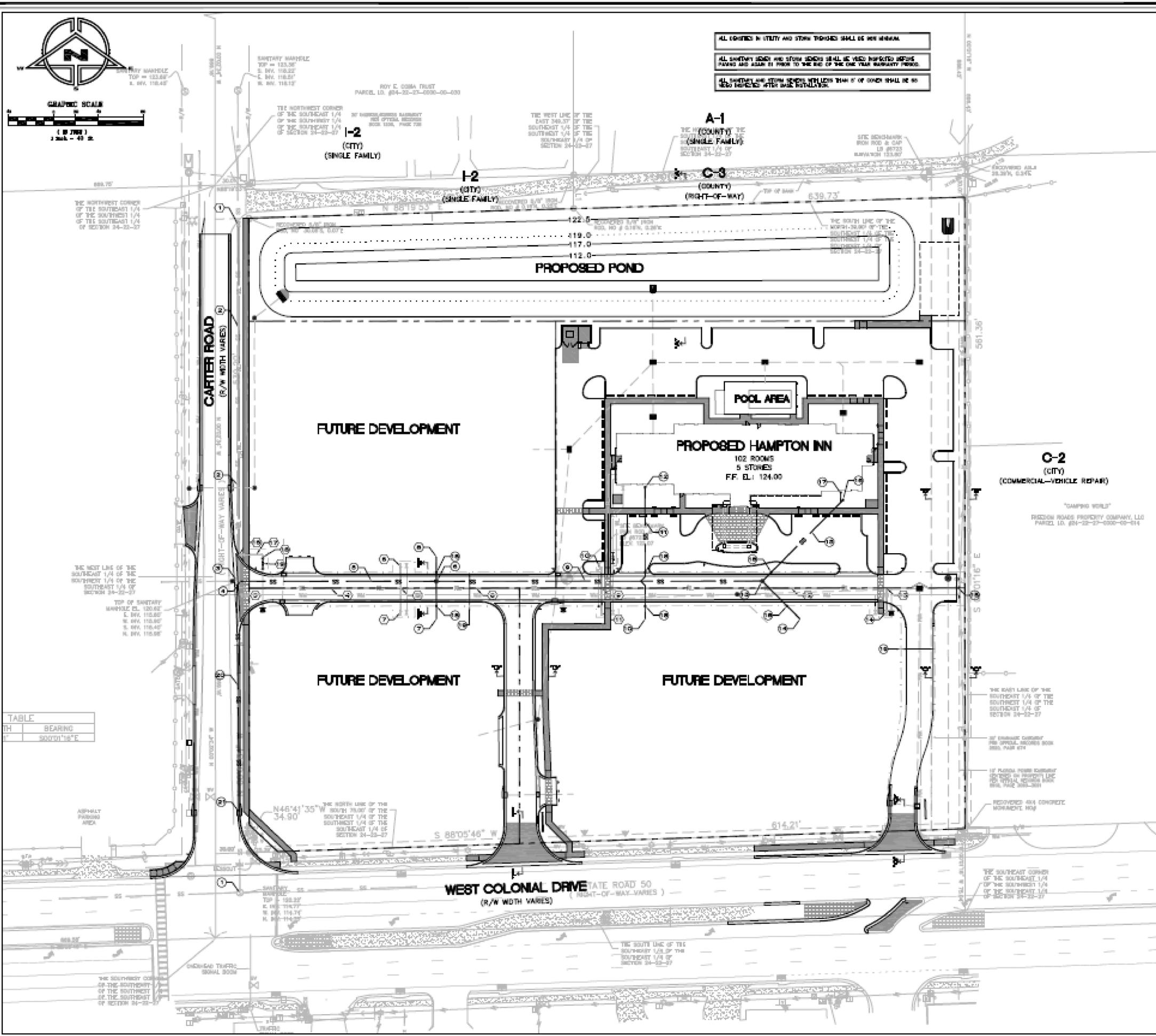
ALL ELEVATIONS IN FEET AND STONE THICKNESS SHALL BE AS SHOWN.
 ALL SANITARY SEWER AND STORM SEWERS SHALL BE VENTED PROPERLY BEFORE
 FINISHING AND SHALL BE PROTECTED TO THE END OF THE YEAR WARRANTY PERIOD.
 ALL SANITARY AND STORM SEWERS WITHIN 10' OF EACH SHALL BE AS
 SHOWN UNLESS OTHERWISE NOTED.



- KEY NOTES (SEWER) (S)**
- EXISTING SANITARY MANHOLE (R/W 102.00, W/14.75, W/14.75, W/14.75)
 - EXISTING 6" PVC SANITARY LINE
 - EXISTING SANITARY MANHOLE (R/W 102.00, W/14.75, W/14.75, W/14.75) (EXISTING EXISTING MANHOLE TOP AND REFLAG WITH 6" SET TOP TO AVOID VALLEY CUTTING) (SEE R/W 102.00-102.00) (SEE SOUTH WEST CORNER 102.00) (SEE SOUTH WEST CORNER 102.00)
 - DOPE AND HILL INTO EXISTING SANITARY MANHOLE AT INV. EL. 118.40
 - PROPOSED 12" L.A. OF 6" PVC SANITARY LINE AT 0.25%
 - PROPOSED SANITARY MANHOLE (R/W 102.00, W/14.75, W/14.75, W/14.75)
 - PROPOSED 24" L.F. OF 6" PVC SANITARY LINE AT LOSS (PLUS 6" OF PVC AND INCLUDE ABOVE-GROUND WORK) (SEE R/W 102.00-102.00)
 - PROPOSED 20" L.F. OF 6" PVC SANITARY LINE AT LOSS (PLUS 6" OF PVC AND INCLUDE ABOVE-GROUND WORK) (SEE R/W 102.00-102.00)
 - PROPOSED 20" L.F. OF 6" PVC SANITARY LINE AT 0.25%
 - PROPOSED 35" L.F. OF 6" PVC SANITARY LINE AT LOSS WITH THE CONNECTION AT DOWNSTREAM END (PLUS 6" OF PVC AND INCLUDE ABOVE-GROUND WORK) (SEE R/W 102.00-102.00)
 - PROPOSED 25" L.F. OF 6" PVC SANITARY LINE AT LOSS WITH THE CONNECTION AT DOWNSTREAM END
 - PROPOSED 16" LINE CLEANOUT AT INV. EL. 117.40 (SEE DETAIL SHEET C-4)
 - PROPOSED SANITARY MANHOLE (R/W 102.00, W/14.75, W/14.75, W/14.75)
 - PROPOSED 45" L.F. OF 6" PVC SANITARY LINE AT LOSS (PLUS 6" OF PVC AND INCLUDE ABOVE-GROUND WORK) (SEE R/W 102.00-102.00)
 - PROPOSED 100" L.F. OF 6" PVC SANITARY LINE AT LOSS
 - PROPOSED 107" LINE CLEANOUT AT INV. EL. 118.40 (SEE DETAIL SHEET C-4)
 - PROPOSED 16" LINE CLEANOUT AT INV. EL. 118.40 AND 8" L.F. OF 6" PVC SANITARY LINE AT LOSS WITH THE CONNECTION AT DOWNSTREAM END (SEE DETAIL SHEET C-4)
 - INSTALL 16" LINE CLEANOUT AT EXISTENT LINE (SEE DETAIL)
 - PROPOSED UTILITY MANHOLE (SEE PLAN SHEET C-4)
 - PROPOSED 200" L.F. OF 6" PVC SANITARY LINE AT 0.25%
 - CONDUIT TO EXISTING 6" SANITARY LINE AT INVERT ELEVATION 114.40

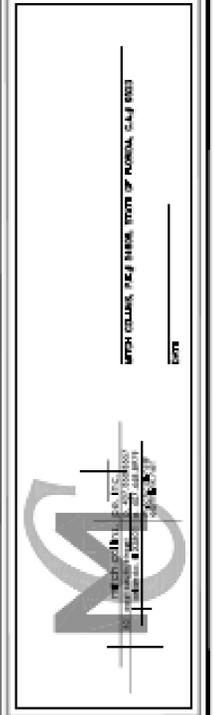
- KEY NOTES (RECLAIM) (R)**
- PROPOSED 12" GATE VALVE (SEE DETAIL SHEET C-4)
 - PROPOSED 200" L.F. OF 6" PVC RECLAIM MAIN
 - PROPOSED 6" BGR
 - PROPOSED 144" L.F. OF 6" PVC RECLAIM MAIN
 - PROPOSED 6" BGR
 - PROPOSED 18" L.F. OF 24" PVC RECLAIM LINE AND 1" BRIGHTEN WHEEL WITH 1/2" BERRY (SEE DETAIL SHEET C-4)
 - PROPOSED 25" L.F. OF 24" PVC RECLAIM LINE AND 1" BRIGHTEN WHEEL WITH 1/2" BERRY (SEE DETAIL SHEET C-4)
 - PROPOSED 175" L.F. OF 24" PVC RECLAIM MAIN
 - PROPOSED 6" BGR
 - PROPOSED 13" L.F. OF 24" PVC RECLAIM LINE AND 1" BRIGHTEN WHEEL WITH 1/2" BERRY (SEE DETAIL SHEET C-4)
 - PROPOSED 20" L.F. OF 24" PVC RECLAIM LINE AND 1" BRIGHTEN WHEEL WITH 1/2" BERRY (SEE DETAIL SHEET C-4)
 - PROPOSED 204" L.F. OF 24" PVC RECLAIM MAIN
 - PROPOSED 6" BGR (PVC)
 - PROPOSED 20" L.F. OF 24" PVC RECLAIM LINE AND 1" GATE VALVE (SEE DETAIL SHEET C-4)
 - PROPOSED 25" L.F. OF 24" PVC RECLAIM MAIN (START WITH BLOW-OFF VALVE AT END) (SEE DETAIL SHEET C-4)
 - PROPOSED 17" WITH 1" GATE VALVE (SEE DETAIL SHEET C-4)
 - PROPOSED 20" L.F. OF 24" PVC RECLAIM LINE
 - PROPOSED 6" BGR (PVC)
 - PROPOSED 3" L.F. OF 24" PVC RECLAIM LINE
 - PROPOSED TEMPORARY JUNCTION CONDUIT

TH	BEARING
17	S000°01'18"E



REV/DATE	BY
1-0-0	M.S.
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7-0-0	M.S.
8-0-0	M.S.
9-0-0	M.S.
10-0-0	M.S.

SANITARY UTILITY PLAN
 FOR
HAMPTON INN AT PEOPLE'S PLAZA
 WINTER GARDEN, FLORIDA
 3850 WEST COLONIAL DRIVE

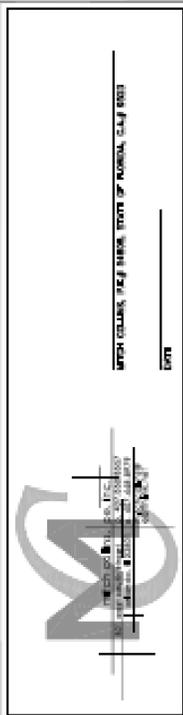


DESIGN	M.C.
CHECK	M.C.
DATE	6-27-16
SCALE	1" = 40'
JOB NO.	20-002
PROJECT	5

NOTE: REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMPLOYER'S SEAL AS PER CHAPTER 291.25, F.S. FLORIDA ADMINISTRATIVE CODE.

REV/DATE	BY
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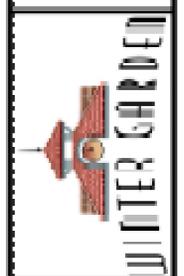
DETAILS AND NOTES
FOR
HAMPTON INN AT PEOPLE'S PLAZA
1800 WEST COLONIAL DRIVE WINTER GARDEN, FLORIDA



NO.	MC
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3	N/A
4	219-000
5	0-0-0

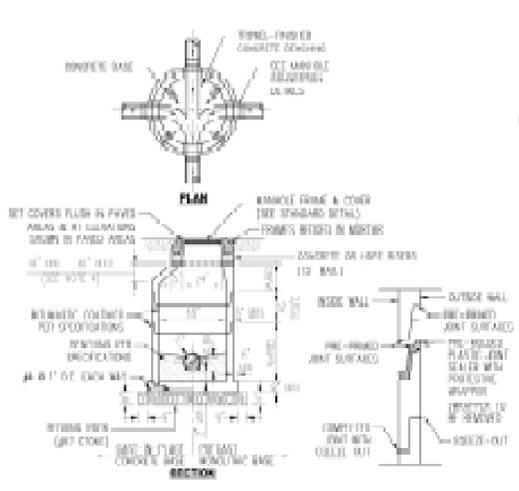
NO.	DATE	REVISION
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CITY OF WINTER GARDEN, FLORIDA
STANDARDS AND SPECIFICATIONS
FOR UTILITIES CONSTRUCTION

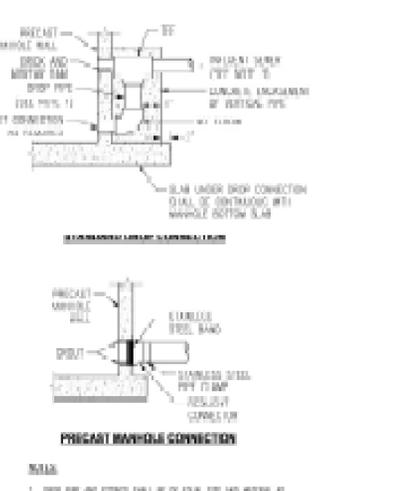


STANDARD DETAILS
FOR
WASTEWATER SYSTEMS

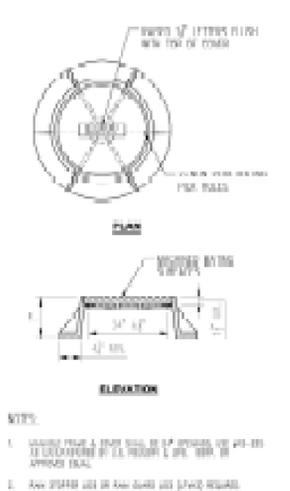
JUNE 2018
SHEET
3
5 OF 11



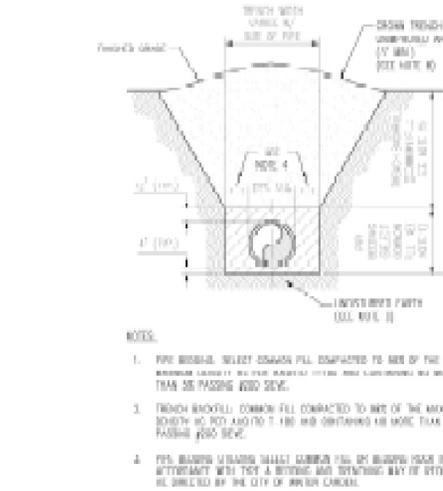
- 1 PRECAST CONCRETE SANITARY MANHOLE**
A.T.C.
- NOTES:**
1. DROP CONNECTIONS ARE REQUIRED WHENEVER WHERE OF INFLUENT SEWER IS 24" OR MORE ABOVE THE CENTER OF THE MANHOLE. SEE MANHOLE CONNECTION DETAIL. ALL DROPS TO BE OUTSIDE OF THE MANHOLE.
 2. 2" x 2" RIVET OUTSIDE ALL JOINTS.
 3. CEMENT WITH NON-SHRINKING GROUT UNDER JOINTS.
 4. 18" COVERS OVER 5 FT DIA.
 5. ALL PRECAST CONCRETE SHALL BE COATED INSIDE AND OUTSIDE WITH GONAL 100 GROUT, MANHOLE IS MC 04.



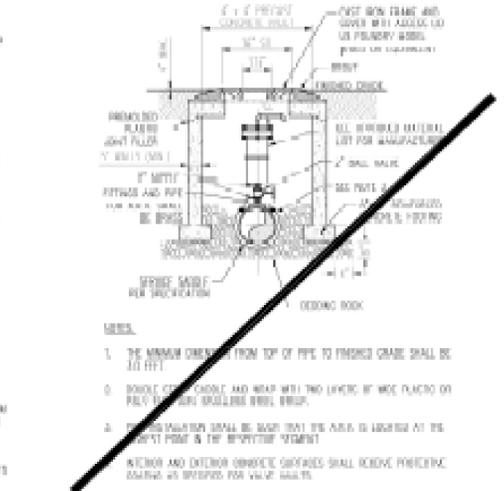
- 2 MANHOLE CONNECTION DETAIL**
A.T.C.
- NOTES:**
1. TOP OF JOINT SHALL BE 1" OF GONAL 100 AND 18" DIA. AT 18" DIA. DIA.
 2. IN 24" DIA. JOINT CONNECTION SHALL BE REINFORCED WITH ALL REINFORCEMENT BAR 1" TO 2" DIA. WITH 18" DIA. DIA.



- 3 MANHOLE FRAME AND COVER**
A.T.C.
- NOTES:**
1. COVER SHALL BE 18" DIA. DIA. AT 18" DIA. DIA. AT 18" DIA. DIA.
 2. ALL JOINTS TO BE 1" OF GONAL 100 AND 18" DIA. AT 18" DIA. DIA.



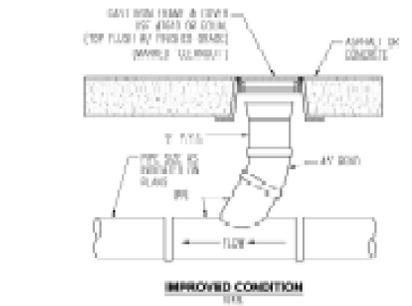
- 4 STANDARD BEDDING DETAIL**
A.T.C.
- NOTES:**
1. PIPE BEDDING SHALL BE 18" DIA. DIA. AT 18" DIA. DIA. AT 18" DIA. DIA.
 2. ALL JOINTS TO BE 1" OF GONAL 100 AND 18" DIA. AT 18" DIA. DIA.



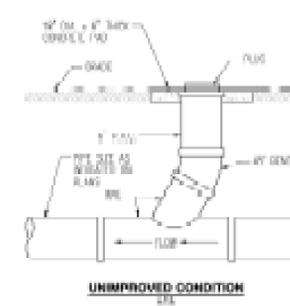
- 5 AIR RELEASE VALVE & VAULT**
A.T.C.
- NOTES:**
1. THE MANHOLE COVER FROM TOP OF PIPE TO FINISH GRADE SHALL BE 48" DIA.
 2. DOUBLE STRAP STABLE AND STRAP WITH TWO LAYERS OF 18" DIA. DIA. OF POLY PROPYLENE COLLARED STEEL BRICK.
 3. THE INSULATION SHALL BE 2" THICK AND IS TO BE LOCATED AT THE INTERIOR POINT IN THE RESPECTIVE SCHEMATIC.
 4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATINGS AS SPECIFIED FOR EACH SURFACE.
 5. THE 18" DIA. DIA. COVER SHALL BE 18" DIA. DIA. AT 18" DIA. DIA.
 6. COVER SHALL BEAR "WINTER GARDEN UTILITIES DIVISION AND "MAINTENANCE".
 7. 18" DIA. DIA. COVER SHALL BE 18" DIA. DIA. AT 18" DIA. DIA.



- 6 SANITARY SEWER CLEAN OUT DETAIL**
A.T.C.
- NOTES:**
1. IMPROVED CONDITION: 18" DIA. DIA. AT 18" DIA. DIA. AT 18" DIA. DIA.
 2. UNIMPROVED CONDITION: 18" DIA. DIA. AT 18" DIA. DIA. AT 18" DIA. DIA.



- 7 SANITARY SEWER SERVICE LATERAL DETAIL**
A.T.C.
- NOTES:**
1. COVER SHALL BE 18" DIA. DIA. AT 18" DIA. DIA. AT 18" DIA. DIA.
 2. ALL JOINTS TO BE 1" OF GONAL 100 AND 18" DIA. AT 18" DIA. DIA.



- 8 SEWER MAIN STEEL CASING DETAIL**
A.T.C.
- NOTES:**
1. COVER SHALL BE 18" DIA. DIA. AT 18" DIA. DIA. AT 18" DIA. DIA.
 2. ALL JOINTS TO BE 1" OF GONAL 100 AND 18" DIA. AT 18" DIA. DIA.



- 9 SEWER MAIN CONNECTION DETAIL**
A.T.C.
- NOTES:**
1. COVER SHALL BE 18" DIA. DIA. AT 18" DIA. DIA. AT 18" DIA. DIA.
 2. ALL JOINTS TO BE 1" OF GONAL 100 AND 18" DIA. AT 18" DIA. DIA.

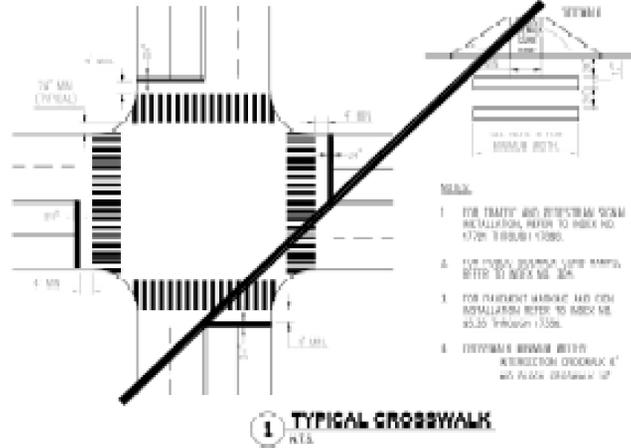


- 10 OFFSET AIR RELEASE VALVE ASSEMBLY**
A.T.C.
- NOTES:**
1. THE MANHOLE COVER FROM TOP OF PIPE TO FINISH GRADE SHALL BE 48" DIA.
 2. DOUBLE STRAP STABLE AND STRAP WITH TWO LAYERS OF 18" DIA. DIA. OF POLY PROPYLENE COLLARED STEEL BRICK.
 3. THE INSULATION SHALL BE 2" THICK AND IS TO BE LOCATED AT THE INTERIOR POINT IN THE RESPECTIVE SCHEMATIC.
 4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATINGS AS SPECIFIED FOR EACH SURFACE.
 5. THE 18" DIA. DIA. COVER SHALL BE 18" DIA. DIA. AT 18" DIA. DIA.
 6. COVER SHALL BEAR "WINTER GARDEN UTILITIES DIVISION AND "MAINTENANCE".
 7. NO SLOTTED PIPE/VALVE.
 8. LOCATIONS IN THE AIR RELEASE VALVE SHALL BE SPECIFIED BY THE MANHOLE COVER SHALL BE 18" DIA. DIA. AT 18" DIA. DIA.

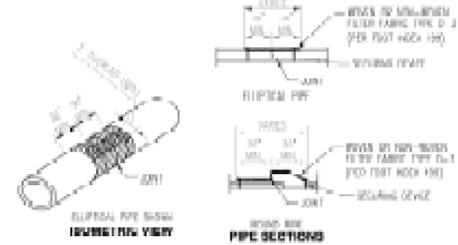
NOTE:
REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND DAMAGED WITH CONTRACTOR'S SEAL AS PER CHAPTER 218.25, F.S. FLORIDA ADMINISTRATIVE CODE.

GENERAL NOTES:

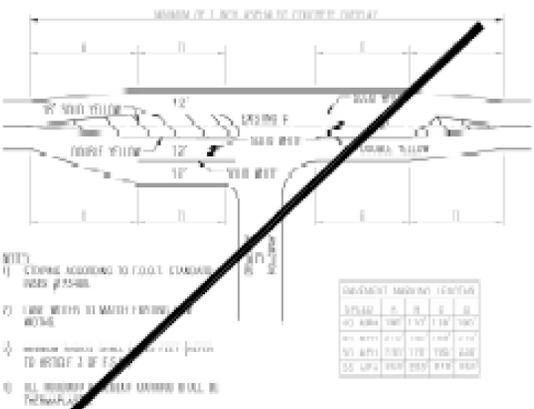
1. ALL NEW STORM AND SANITARY CONDUITS IN THE CITY OF WINTER GARDEN SHALL BE SUBJECTED TO WINDUP TESTING BY INSPECTION POINT TO DETERMINE COMPLIANCE WITH ALL APPLICABLE STANDARDS. ALL STORM SEWER PIPE SHALL BE REINFORCED AT THE YEAR END, COST TO BE PAID BY THE OWNER.
2. PIPE MATERIAL SHALL BE AS SHOWN IN THE CONSTRUCTION PLANS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
3. CONTRACTOR AND OWNER ARE RESPONSIBLE FOR ENSURING THAT ALL CITY, COUNTY, STATE (FOOT, FOOT, SURFACE, ETC.), AND FEDERAL PERMITS HAVE BEEN OBTAINED FOR THE PROJECT.
4. ALL STORM SYSTEM MUST BE MAINTAINED WITH ALL JOINTS MAINTAINED.
5. STORM SYSTEM WILL BE CLEARED PRIOR TO BEING TIED.
6. THE OWNER SHALL KEEP A COPY OF THE WATER MANAGEMENT DISTRICT PERMITS, NOTES, AND TYPED PLAN IN A CONSPICUOUS LOCATION ON THE JOB SITE AT ALL TIMES.
7. ALL STORM SEWER MANHOLE'S FRAME & COVER SHALL BE ASTM 275.
8. CLEAN OPEN SPINAL JOINTS OF NATURAL HYDRA LINED PIPE OR PRESSURE PIPE SHALL BE USED.
9. ONLY CONCRETE RISER RINGS WILL BE ALLOWED TO BE PLACED FOR STORM MANHOLES. ALL RISER RINGS SHALL BE SEALED TO THE STRUCTURE USING MAILED SEAM. NO MORE THAN 1" WILL BE ALLOWED.
10. STORM SEWER PRESSURE SPINAL SHALL BE 1/2" DIA. & 1/2" DIA. ONLY.
11. ALL STORM SEWER STRUCTURES INCLUDING SHALL BE SEALED WITH WRAP AND SEAL.



1 TYPICAL CROSSWALK
E.T.C.



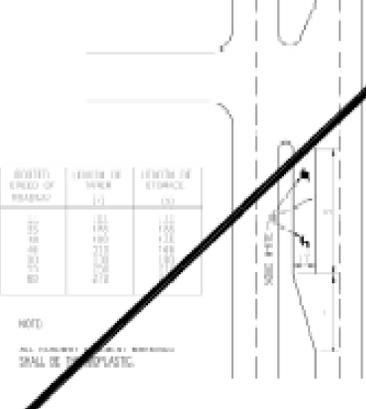
2 FILTER FABRIC JACKET
E.T.C.



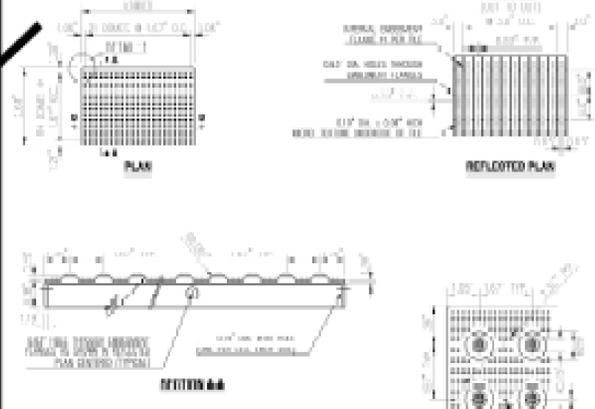
3 TYPICAL INTERSECTION
E.T.C.



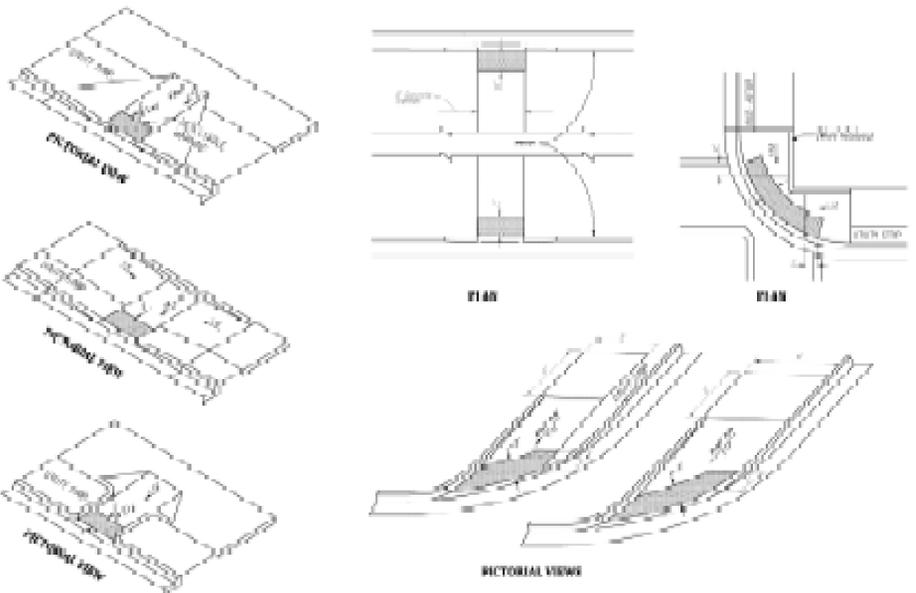
4 RIGHT TURN DECELERATION LANE
E.T.C.



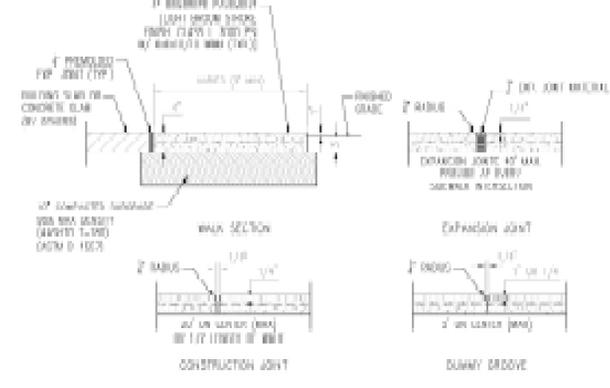
5 DIVIDED HIGHWAY LEFT TURN STORAGE LANE
E.T.C.



6 DETECTABLE WARNING DETAIL
E.T.C.



7 CURB RAMPS & DETECTABLE WARNING PLACEMENT
E.T.C.



8 SIDEWALK DETAILS
E.T.C.



9 STANDARD DETAILS FOR PUBLIC SERVICES
E.T.C.

DUMP NO WASTE

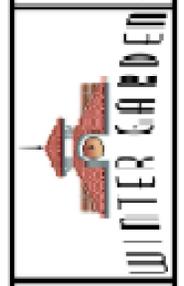
WELCOME TO WINTER GARDEN

PLATE SHALL BE PLACED IN STREETS AND ALLEYS TO BE MAINTAINED BY THE CITY.

WHILE LOCAL STANDARDS CONFORM WITH DESIGN STANDARDS DOCUMENTS, THE DETAILS HEREIN ARE NOT GUARANTEED TO BE THE BEST APPROXIMATION OF THE LATEST STANDARDS OF THE CITY OF WINTER GARDEN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST STANDARDS OF THE CITY OF WINTER GARDEN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST STANDARDS OF THE CITY OF WINTER GARDEN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST STANDARDS OF THE CITY OF WINTER GARDEN.

NO.	DATE	BY

CITY OF WINTER GARDEN, FLORIDA
STANDARDS AND SPECIFICATIONS
FOR ROADWAY & DRAINAGE CONSTRUCTION



STANDARD DETAILS
FOR
PUBLIC SERVICES

DATE: **JUNE 2018**
SHEET: **9**
OF 11

REVISION	DATE	BY

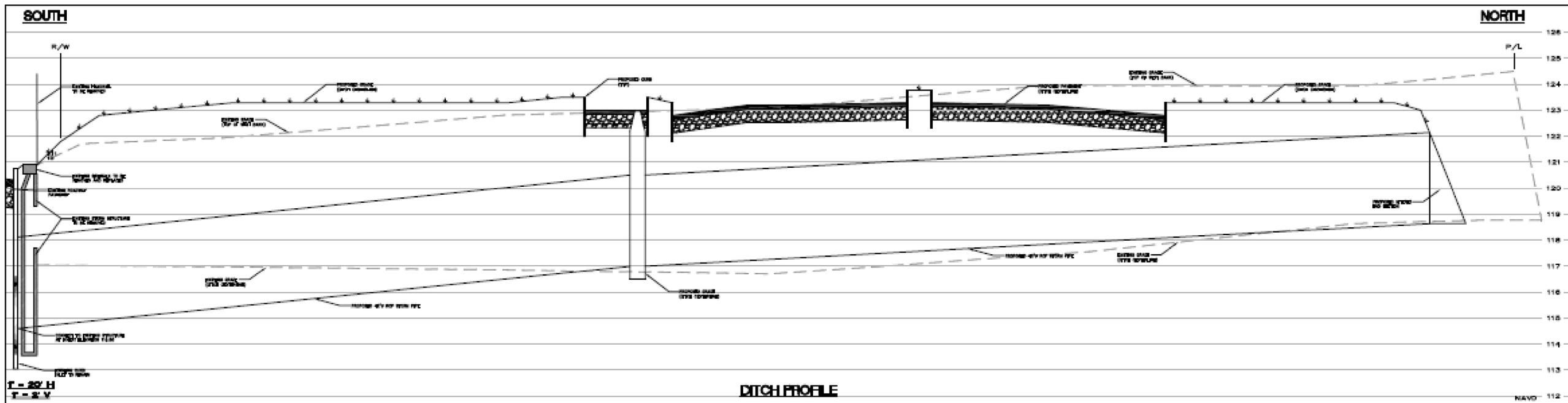
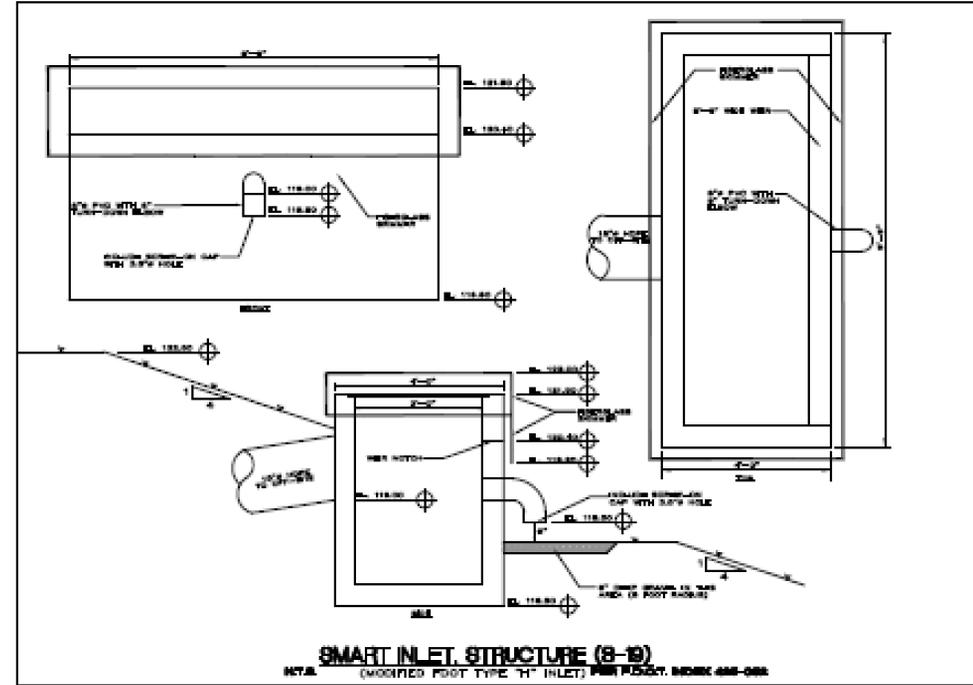
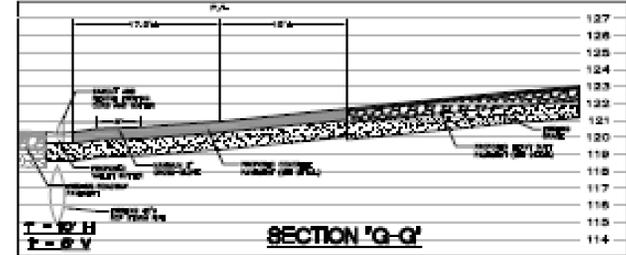
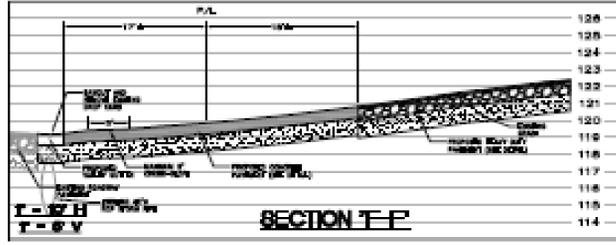
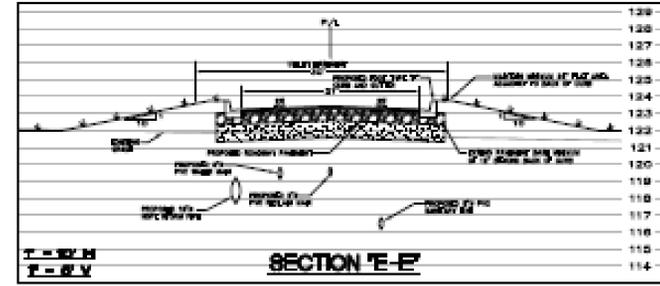
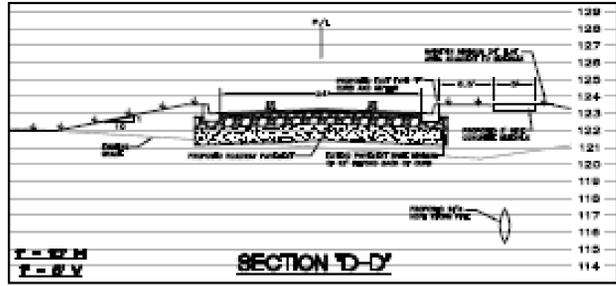
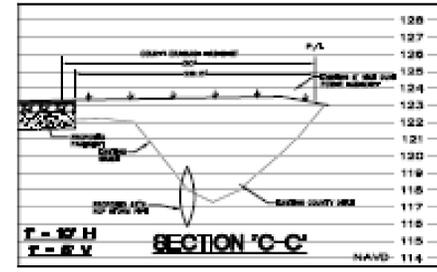
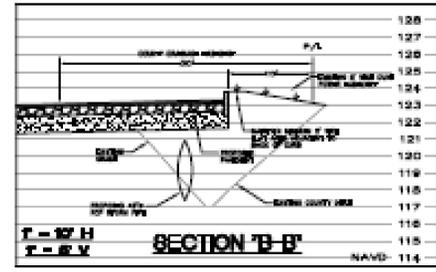
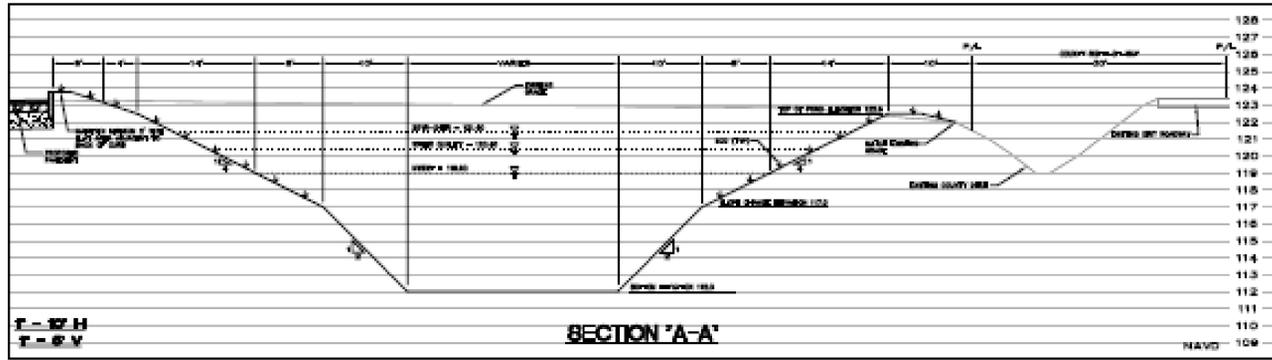
DETAILS AND NOTES
FOR
HAMPTON INN AT PEOPLE'S PLAZA
WEST COLONIAL DRIVE
WINTER GARDEN, FLORIDA

WINTER GARDEN

DATE: **JUNE 2018**
SHEET: **9**
OF 11

NO.	DATE	BY

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REVISION	DATE	BY
1	10-08	MC
2	11-08	MC
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10	11-08	MC

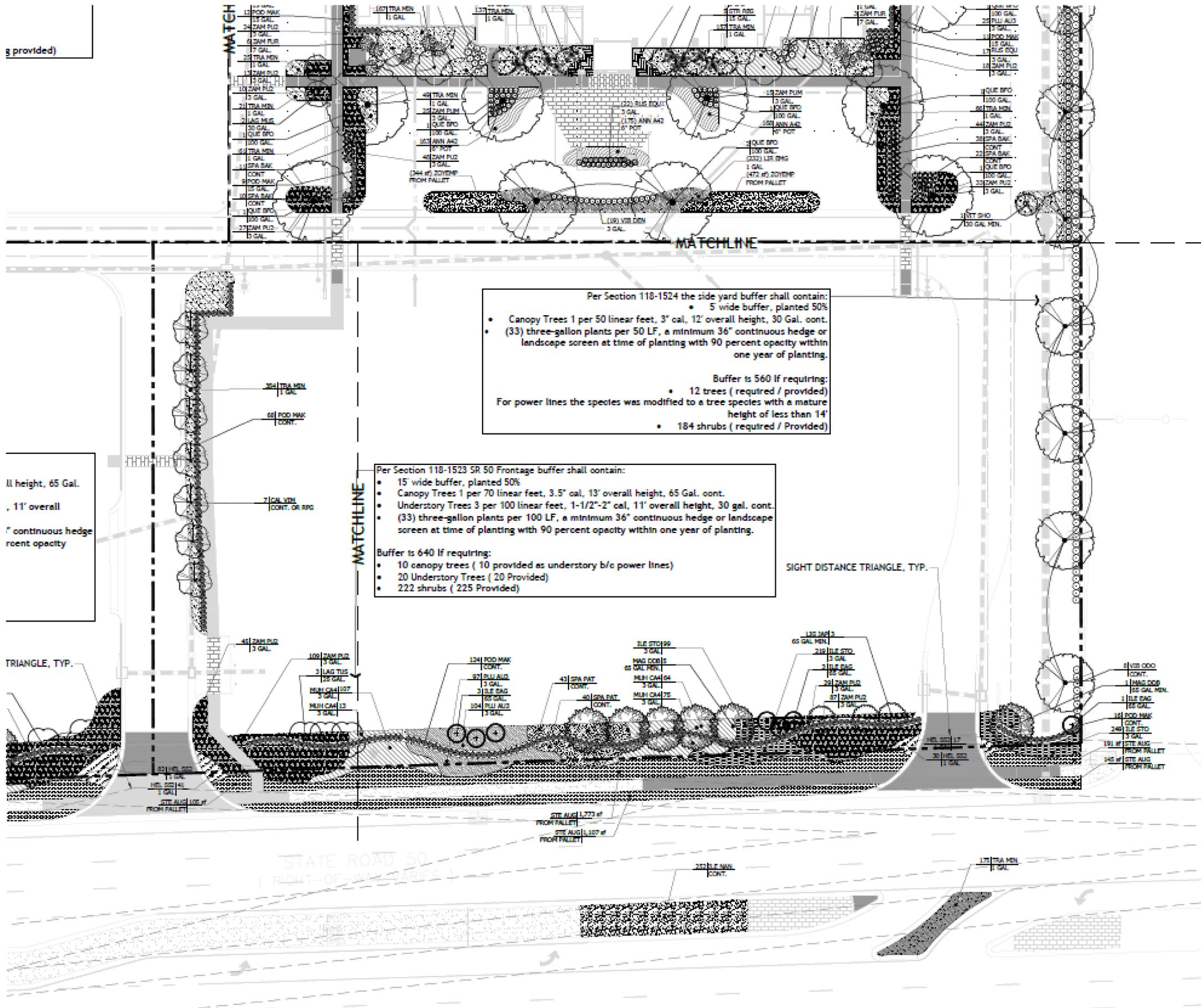
DETAILS AND NOTES
 FOR
HAMPTON INN AT PEOPLE'S PLAZA
 WINTER GARDEN, FLORIDA
 WEST COLONIAL DRIVE

WITH COLLARS, SELF-HEALING STATE OF FLORIDA, CLASS 4000
 DVE

DESIGN	MC
CONSTRUCTION	MC
DATE	6-7-18
SCALE	N.T.S.
PROJECT	28-008
DATE	6-13-18

NOTE:
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Per Section 118-1524 the side yard buffer shall contain:

- 5' wide buffer, planted 50%
- Canopy Trees 1 per 50 linear feet, 3" cal, 12' overall height, 30 Gal. cont.
- (33) three-gallon plants per 50 LF, a minimum 36" continuous hedge or landscape screen at time of planting with 90 percent opacity within one year of planting.

Buffer is 560 if requiring:

- 12 trees (required / provided)

For power lines the species was modified to a tree species with a mature height of less than 14'

- 184 shrubs (required / Provided)

Per Section 118-1523 SR 50 Frontage buffer shall contain:

- 15' wide buffer, planted 50%
- Canopy Trees 1 per 70 linear feet, 3.5" cal, 13' overall height, 65 Gal. cont.
- Understory Trees 3 per 100 linear feet, 1-1/2"-2" cal, 11' overall height, 30 gal. cont.
- (33) three-gallon plants per 100 LF, a minimum 36" continuous hedge or landscape screen at time of planting with 90 percent opacity within one year of planting.

Buffer is 640 if requiring:

- 10 canopy trees (10 provided as understory b/c power lines)
- 20 Understory Trees (20 Provided)
- 222 shrubs (225 Provided)

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Seal
James R. Hagley
State of Florida Lic. No.: LA 0001300

MD MapleDesign
Landscape Architecture • Site Planning • Project Management
3012 E. Washington St., Tallahassee, FL 32301-4000

PEOPLE'S PLAZA
12301 West Colonial Drive Winter Garden, Florida

Sunshine811.com

Revision No: _____ Date: _____

Date: December 6, 2010
Scale:
Project Number: 1000

Sheet Title
PLANTING PLAN

Sheet Number
L-3

3/13/2010 4:23:46 PM

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PEOPLE'S PLAZA
12-301 West Colonial Drive
Winter Garden, Florida

Sunshine811.com

Revision	
No.	Date

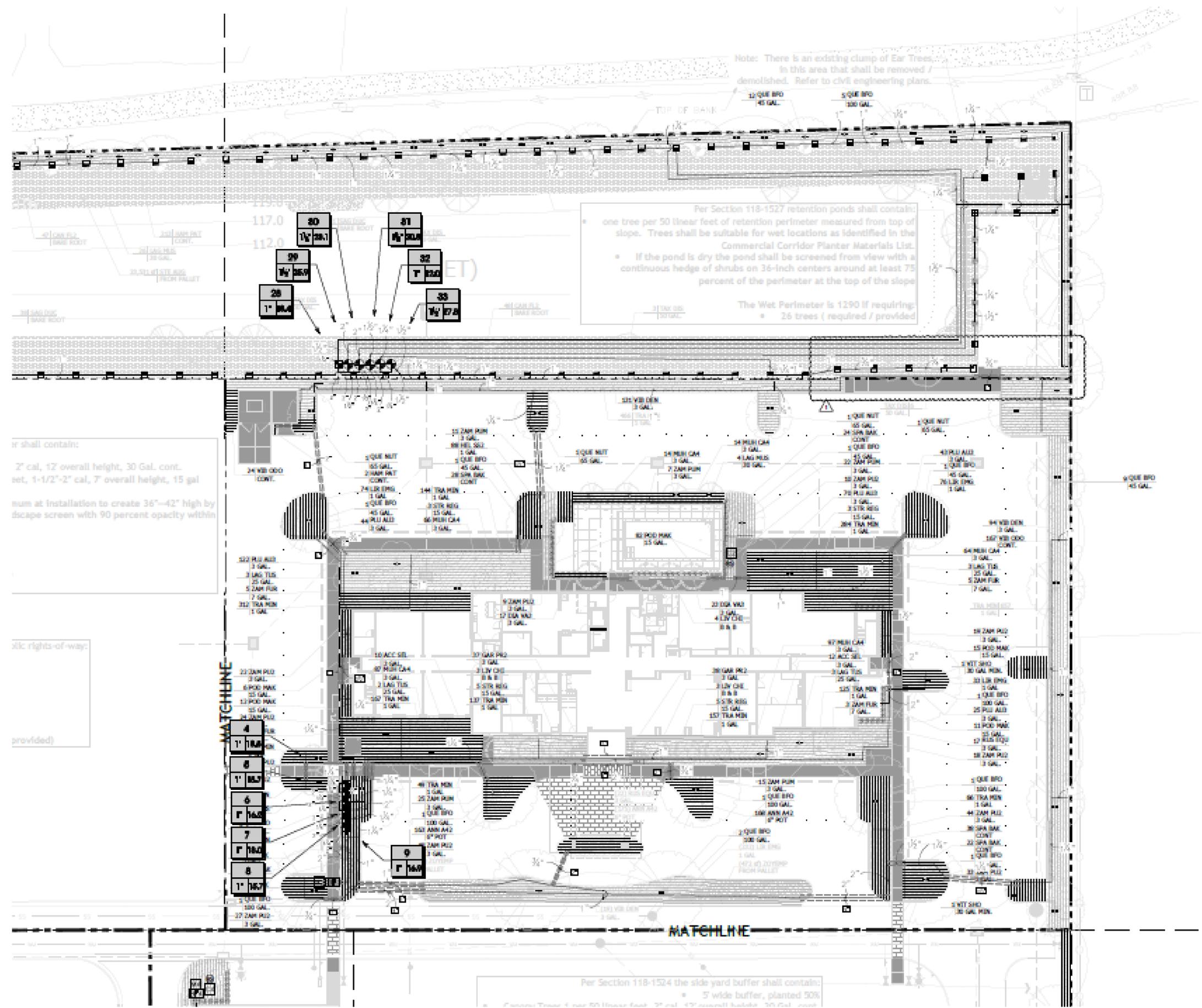
Date: December 6, 2019
Scale:
Project Number: 1919

Sheet Title

IRRIGATION PLAN

Sheet Number

L-6



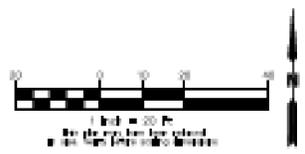
Per Section 118-1527 retention ponds shall contain:
one tree per 50 linear feet of retention perimeter measured from top of slope. Trees shall be suitable for wet locations as identified in the Commercial Corridor Planter Materials List.
• If the pond is dry the pond shall be screened from view with a continuous hedge of shrubs on 36-inch centers around at least 75 percent of the perimeter at the top of the slope.

The Wet Perimeter is 1290 if requiring:
• 26 trees (required / provided)

It shall contain:
7' cal, 17' overall height, 30 Gal. cont.
ret, 1-1/2"-2" cal, 7' overall height, 15 gal

sum at installation to create 36"-42" high by
scape screen with 90 percent opacity within

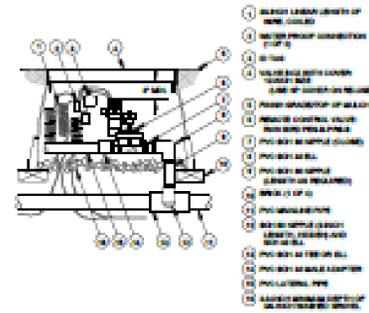
3/4" rights-of-way:
provided)



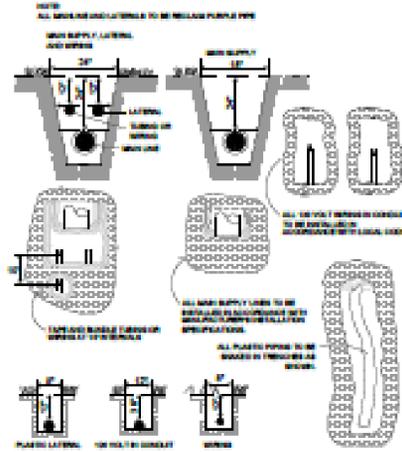
Per Section 118-1524 the side yard buffer shall contain:
• 5' wide buffer, planted 50%

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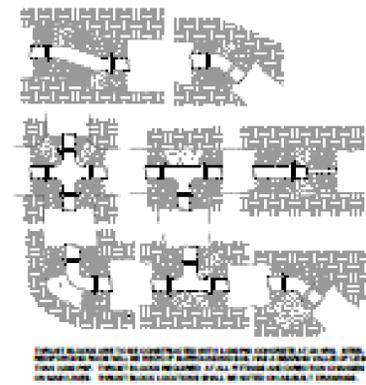
3/13/2020 4:24:57 PM



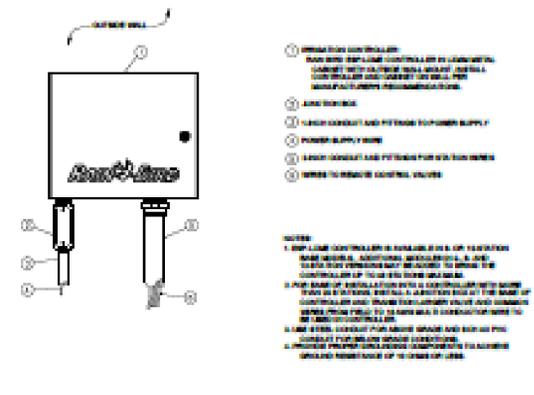
1 REMOTE CONTROL VALVE Scale: N.T.S.



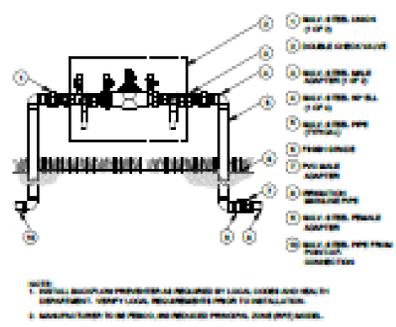
2 TYPICAL TRENCHING DETAIL Scale: N.T.S.



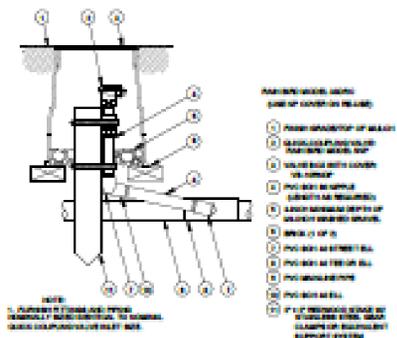
3 TYPICAL THRUST BLOCK DETAIL Scale: N.T.S.



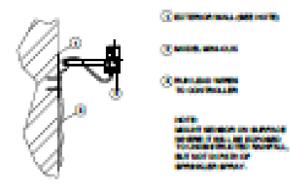
4 ESP-LXME CONTROLLER IN METAL CABINET Scale: N.T.S.



5 BACKFLOW PREVENTER Scale: N.T.S.



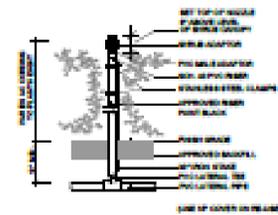
6 QUICK COUPLER VALVE Scale: N.T.S.



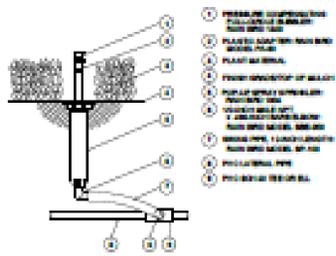
7 WALL MOUNTED RAIN SENSOR Scale: N.T.S.



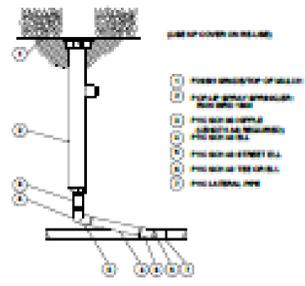
8 GATE VALVE Scale: N.T.S.



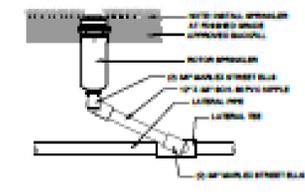
9 SHRUB NOZZLE ON FIXED RISER Scale: N.T.S.



10 TYPICAL BUBBLER DETAIL Scale: N.T.S.



11 TYPICAL POP-UP SPRAY HEAD DETAIL Scale: N.T.S.



12 TYPICAL ROTOR DETAIL Scale: N.T.S.

Seal

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Sunshine811.com

Revision	No.	Date

Date: December 5, 2019
 Scale:
 Project Number: 1919

Sheet Title
IRRIGATION DETAILS

Sheet Number
L-13

