



**For More Information, Contact:**  
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City of Winter Garden  
300 West Plant Street  
Winter Garden, FL 34787  
407.656.4111 ext. 2021  
[crivera@cwgdn.com](mailto:crivera@cwgdn.com)

## PLANNING & ZONING BOARD AGENDA

**BOARD MEMBERS:** Chairman Will Hawthorne, Vice-Chairman Steve Ambielli and board members: Linda Bennett, Myron Brown, Jimmy Dunn, Jeff Ewing and Mark Hide.

**OTHER ATTENDEES:** City Manager Jon C. Williams, City Attorney Kurt Ardaman, City Attorney Dan Langley, Planning Consultant Ed Williams, Planning Director Kelly Carson, Planning Supervisor Shane Friedman, Senior Planner Yvonne Conatser, Planner I Amber McDonald and Recording Secretary Colene Rivera/Ellen King.

**Agenda for April 7, 2025 at 6:30 PM**  
City Hall Commission Chambers  
300 W. Plant Street, Winter Garden, Florida

**1. CALL TO ORDER**  
Determination of Quorum, Moment of Silence and Pledge of Allegiance

**2. APPROVAL OF MINUTES FROM THE MARCH 3, 2025 MEETING**

**ANNEXATION / FUTURE LAND USE MAP AMENDMENT / REZONING (PUBLIC HEARING)**

**3. 14451 W Colonial Drive (Solomon's Auto Body) PCD REZONING**  
Parcel ID # 22-22-27-0000-00-075 (-070,-056,-057,-034)

**VARIANCE (PUBLIC HEARING)**

**4. 115 Agnes Street (Rubin-Floyd Residence) VARIANCE**  
Parcel ID # 14-22-27-2088-00-080

**5. 16863 Sancturary Drive (Colombier Variance) VARIANCE**  
Parcel ID # 05-23-27-7801-00-040

**COMPREHENSIVE PLAN ORDINANCES (PUBLIC HEARING)**

**6. Ordinance 25-12 - Comprehensive Plan Amendment – Adding Property Rights Element**

**ADJOURN** to the next regular Planning and Zoning Board meeting on Monday, **May 5, 2025 at 6:30 p.m.** in City Hall Commission Chambers, 300 W. Plant Street, Winter Garden, Florida

POSTED: MARCH 28, 2025

PLEASE NOTE: IN ACCORDANCE WITH FLORIDA STATUTES 286.0105: ANY PERSON WHO DESIRES TO APPEAL ANY DECISION AT THIS MEETING WILL NEED A RECORD OF THE PROCEEDINGS AND FOR THIS PURPOSE MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE WHICH INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS BASED, WHICH SUCH WRITTEN RECORD IS NOT PROVIDED BY THE CITY OF WINTER GARDEN.

PLEASE NOTE: IN ACCORDANCE WITH FLORIDA STATUTE 286.26: PERSONS WITH DISABILITIES NEEDING ASSISTANCE TO PARTICIPATE IN ANY OF THESE PROCEEDINGS SHOULD CONTACT COLENE RIVERA, 300 WEST PLANT STREET, WINTER GARDEN, FL 34787, (407) 656-4111, EXT 2021 - 48 HOURS IN ADVANCE OF THE MEETING.



**Planning and Zoning Board  
Regular Meeting Minutes  
March 3, 2025**

**1. CALL TO ORDER**

Chairman Will Hawthorne called the meeting of the City of Winter Garden Planning and Zoning Board to order at 6:30 p.m. in the City Hall Commission Chambers. A moment of silence was followed by the Pledge of Allegiance.

Quorum was declared present.

**Present:** Chairman Will Hawthorne, Co-Chairman Steve Ambielli and Board Members, Myron Brown, Linda Bennett, Jimmy Dunn and Mark Hide.

**Absent:** Board Member Jeff Ewing (excused)

**Staff Present:** Assistant City Attorney Hillary Griffith on behalf of City Attorney Kurt Ardaman, Planning Director Kelly Carson, Planning Supervisor Shane Friedman, Senior Planner Yvonne Conatser, Planner I Amber McDonald and Recording Secretary Ellen King.

**Attendees:** Marilyn Hattaway and Victor de La Cruz of West Orange Habitat for Humanity, Colleen Buss of 306 S Highland Avenue, Dennis Seliga of Boyd Development, Jordan Draper of Kimley-Horn, Ken White of 995 Tildenville School Road and Emily Rubin of 115 Agnes Street.

**2. APPROVAL OF MINUTES**

***Motion by Board Member Hide to approve the regular meeting minutes of February 3, 2025. Seconded by Board Member Bennett and carried unanimously 6 – 0.***

**PRELIMINARY PLAT / FINAL PLAT / LOT SPLIT**

**3. 12565 W Colonial Drive (General RV Expansion East) PRELIMINARY PLAT  
Parcel ID # 24-22-27-0000-00-045**

Senior Planner Conatser distributed to the Board Members a copy of the General RV Expansions East full plan dated January 7, 2025 (Exhibit A). Conatser presented a request to approve the Preliminary Plat for the address of 12565 W Colonial Drive to create two lots for commercial use (RV office and sales) and a dedicated right-of-way to

complete the connection of Garden Commerce Parkway to West Colonial Drive subject to staff conditions.

Board members noted this item came before the P&Z Board back in December of 2024 for a Special Exception Permit, inquired about the specific timeline for the expansion of the road way connecting the parkway to SR 50 in the overall construction, if this would be a public road, if the other driveways on the stormwater lots connect to the existing property and the proposed property to the north and will the lots be fenced off? City staff confirmed everything must be recorded with the Final Plat, the development is generally at the same time as the Site Plan as phase one. The road connection will be needed for construction, confirmed the road will be a public road and this is the only access for the new retail and storage area and confirmed the driveways. The applicant, Jordan Draper of Kimley-Horn, stated there are two site plans for General RV for this aspect of project and an additional one for the rear of for the north property. The construction aspects will be during phase one with needed access to the rear parcel and completed before site development. He also stated portions of the property will be fenced off per the Special Exception for the storage area and the parcels to the far north with a screen wall surrounding the property for the storage portion.

Public did not have any comments or questions for this item.

***Motion by Board Member Hawthorne to approve the Preliminary Plat at the location of 12565 W Colonial Drive subject to staff conditions. Seconded by Board Member Dunn and carried unanimously 6 – 0.***

**4. Edgeway Drive (Habitat Edgeway Development) PRELIMINARY PLAT  
Parcel ID # 12-22-27-6496-06-006**

Senior Planner Conatser distributed to the Board Members a copy of the Preliminary Subdivision Plans for Habitat Edgeway Development dated January 30, 2025 (Exhibit B). Conatser presented a request to approve the Preliminary Plat for the property located at Edgeway Drive, to allow the development of seven (7) single family home lots subject to staff conditions.

Board members inquired if the property zoning allows for the type of development being proposed and if the residents in the area had any concerns? City staff confirmed the R-4 zoning allows this development and staff had not received any concerns.

Public did not have any comments or questions for this item.

***Motion by Board Member Hide to approve the Preliminary Plat at the location of Edgeway Drive subject to staff conditions. Seconded by Board Member Ambielli and carried unanimously 6 – 0.***

**SPECIAL EXCEPTION PERMIT (PUBLIC HEARING)**

5. 34 W Story Road (Legacy Homes Office) **SPECIAL EXCEPTION**  
Parcel ID # 23-22-27-3992-00-140

Senior Planner Conatser presented a request to approve a Special Exception at the location of 34 W Story Road to allow office use on the property subject to staff conditions.

Board members inquired about the operational hours in the area, proposed signage, if the Special Exception for Legacy Homes office stay with the property and reason for RNC rezoning when surrounding area are R-2 zoning? City staff confirmed the hours of operation are similar, if signage is requested they would follow code requirements, most Special Exceptions are specific to property and use being requested, if a new tenant requested a change of use then a new Special Exception application submittal would be required and staff gave an explanation of the rezoning analysis stating this property is seeking a Special Exception for the office use. A community meeting was held for this particular use with no concerns.

Public did not have any comments or questions for this item.

***Motion by Board Member Bennett to approve the Special Exception at the location of 34 W Story Road subject to staff conditions. Seconded by Board Member Hide and carried unanimously 6 – 0.***

**VARIANCE (PUBLIC HEARING)**

6. 115 Agnes Street (Rubin-Floyd Residence) **VARIANCE**  
Parcel ID # 14-22-27-2088-00-080

Planner McDonald presented a request to table this item to the next scheduled P&Z meeting on April 7, 2025; staff will readvertise prior to that meeting.

***Motion by Board Member Hawthorne to table this item to the next scheduled Planning & Zoning meeting on April 7, 2025. Seconded by Board Member Dunn and carried unanimously 6 – 0.***

7. 306 S Highland Avenue (Buss Residence Addition) **VARIANCE**  
Parcel ID # 23-22-27-7152-02-030

Senior Planner Conatser presented a request for a Variance on the property located at 306 S Highland Avenue to allow a five foot side lot setback to permit the construction of a twenty foot by thirty-six foot addition on the north side of the existing house subject to staff conditions. One neighbor to the north sent in a letter that they had no issues with the variance request.

Board members inquired if the backyard tree will be impacted? City staff stated the tree will not be impacted per the site plan.

Public did not have any comments or questions for this item.

***Motion by Board Member Hawthorne to approve the Variance at the location of 306 S Highland Avenue with staff conditions. Seconded by Board Member Ambielli and carried unanimously 6 – 0.***

Chairman Will Hawthorne adjourned the meeting at 6:55 pm. Adjourned to the regular Planning and Zoning Board meeting on Monday, April 7, 2025 at 6:30 p.m. in City Hall Commission Chambers, 300 W. Plant Street, Winter Garden, Florida.

ATTEST:

APPROVED:

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Recording Secretary Ellen King

Chairman Will Hawthorne

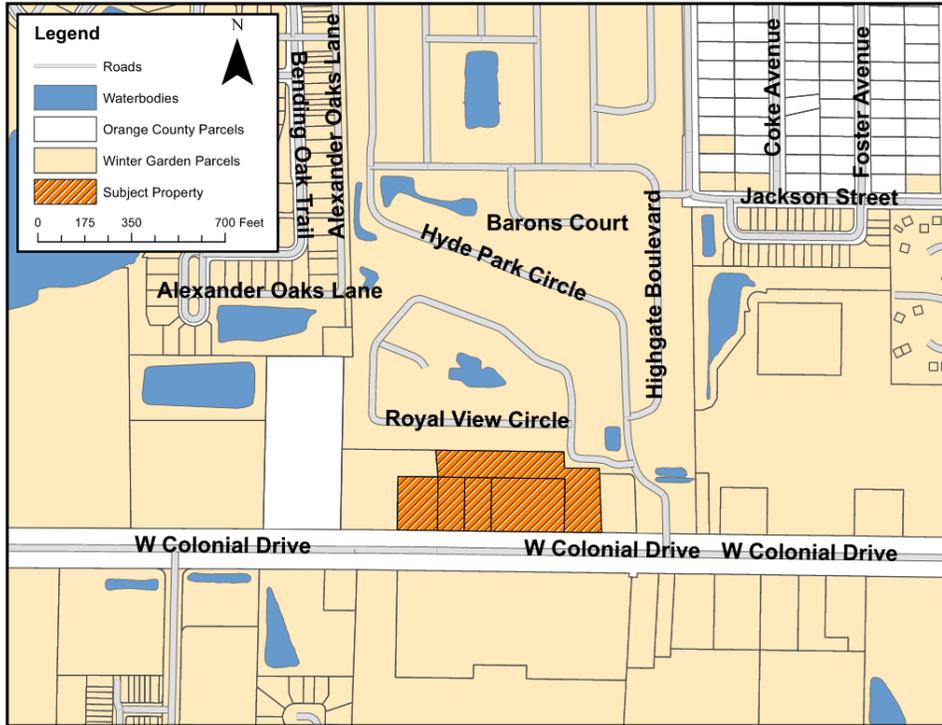
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# LOCATION MAP

14451, 14423, 14411, 14375, and 14345 W Colonial Drive

## Variance



# CITY OF WINTER GARDEN

## PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

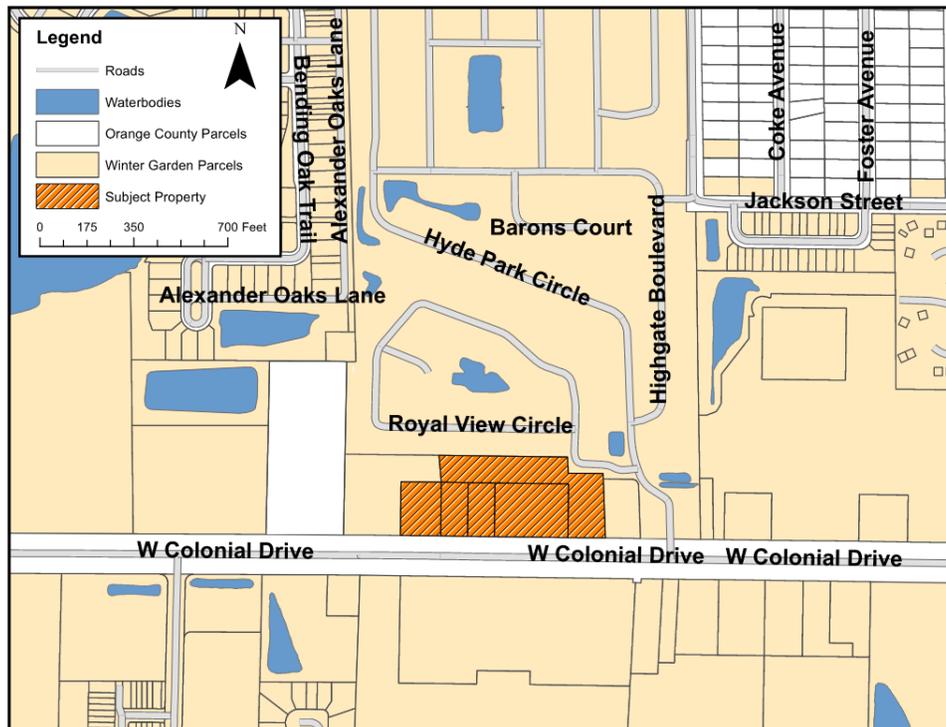
**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** SHANE FRIEDMAN, PLANNING SUPERVISOR  
**DATE:** APRIL 7, 2025  
**SUBJECT:** PCD REZONING – Solomons Auto Body  
**ORD 25-13**  
**14451, 14423, 14411, 14375, and 14345 W Colonial Drive (4.71 +/- ACRES)**  
**PARCEL ID # 22-22-27-0000-00-075; -070; -056; -057; and -034**

**APPLICANT:** Lam Civil Engineering, Inc.

### INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject properties, located on W Colonial Drive, and are approximately 4.71 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to rezone 4.71 ± acres of land to Planned Commercial Development (PCD). The subject property is located within the City of Winter Garden municipal limits and carries the zoning designation C-2 (Arterial Commercial District) in the City of Winter Garden.

The subject property is designated COM Commercial on the Future Land Use Map of the Comprehensive Plan and is located with the West State Road 50 Overlay.

### **EXISTING USE**

The project consists of five properties. All properties are vacant and undeveloped except for 14451 W Colonial Drive. The property located at 14451 W Colonial Drive is developed with three commercial buildings totaling 8,500 square feet in size built between 1954 and 1998. These buildings operate as an Auto Repair Garage named Solomons Auto Body.

### **ADJACENT LAND USE AND ZONING**

The property to the north is a residential lot with manufactured and mobile homes located in the Hyde Park Mobile Home Park. This property is zoned R-2 (Single-family Residential District) and is located within the City of Winter Garden’s municipal limits. The property to the west is developed, is zoned C-2 (Arterial Commercial District), and is located within the City of Winter Garden’s municipal limits. The property to the east is vacant, is zoned C-2 (Arterial Commercial District), and is located within the City of Winter Garden’s municipal limits. The property to the south is State Road 50. South of State Road 50 is a property that is undeveloped, zoned C-2, and is located with the City of Winter Garden’s municipal limits.

### **PROPOSED USE**

The applicant is requesting a Planned Commercial Development (PCD) rezoning to permit the development of four single-story commercial buildings totaling 46,432 square feet. Building 100 of the PCD development plan will be the new location of Solomons Auto Body.

### **PUBLIC FACILITY ANALYSIS**

The property will have direct access to State Road 50. Water, sewer, and reclaimed utilities by the City of Winter Garden will be required for any new development of the property. At such time that the property is developed, all necessary utility lines will be extended and connections made, all extension and connection costs shall be borne by the property owner.

The city will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits.

All concurrency requirements identified by the City of Winter Garden Code of Ordinances and Comprehensive Plan will be met by the proposed development.

### **COMMUNITY MEETINGS**

The city organized a community meeting for this project on November 29, 2022. There were only a few residents that attended from the community to the north. The plans were well received. The residents of Hyde Park did ask if a golf cart access in the rear was going to be made available. Due to the site constraints and buffer restrictions for commercial adjacent to residential (i.e. Masonry wall, landscaping, etc.) this was not possible.

### **SUMMARY**

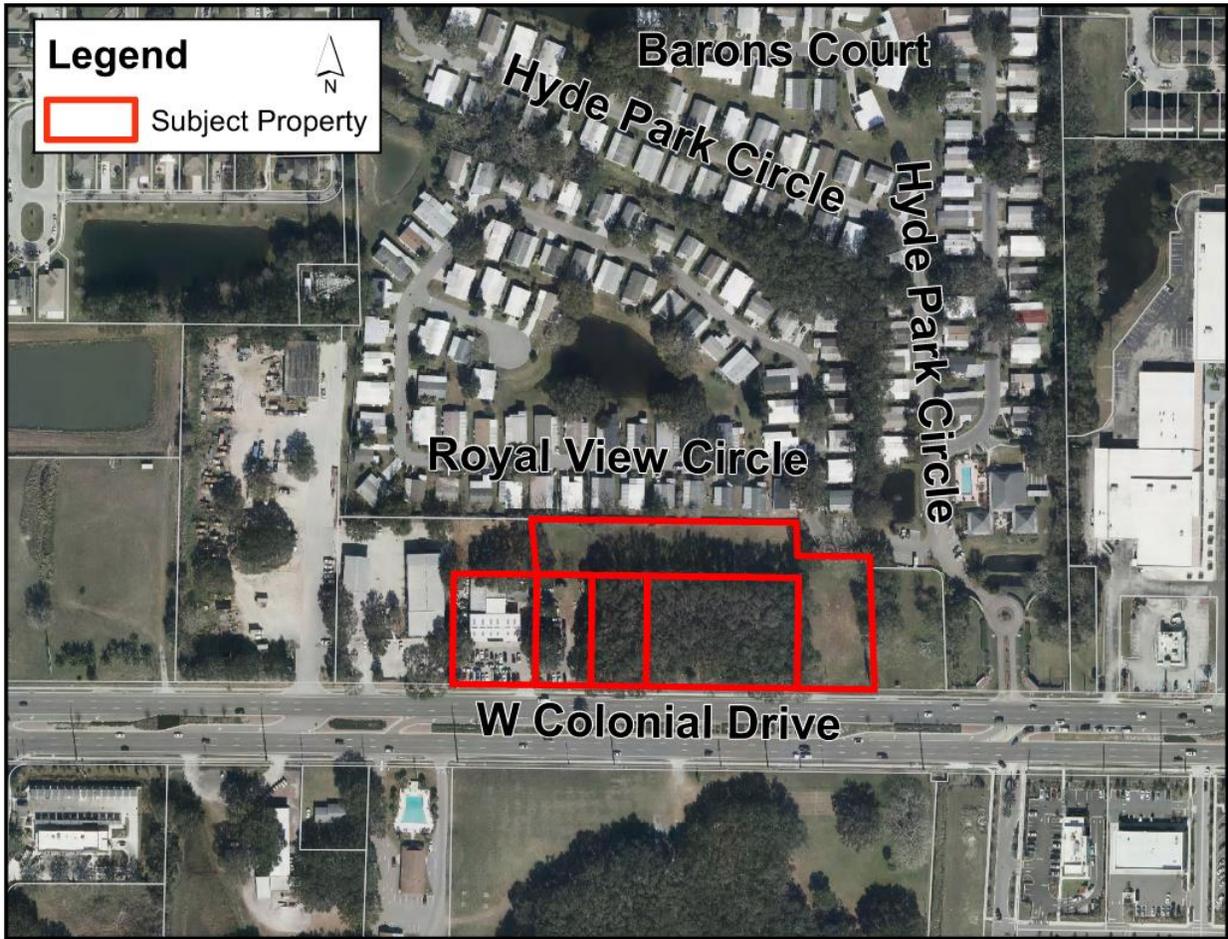
This type of development, specifically the commercial buildings and associated site improvements, is consistent with other commercial developments that exist in this area of the city and along the SR-50 corridor. There is a large live oak hammock located at these addresses however, the project was designed in a way that saved 29 of these trees by using different drive aisle configurations and open spaces. The trees that could not be saved, with a DBH of 12” or greater, will be replaced on a two-to-one basis on site. If a tree cannot be replaced due to site constraints the applicant will be required to pay into the City’s tree fund. This is a condition of the ordinance.

The PCD will allow for the continued Auto Body Repair use, however in return for this use the applicant will be required to construct a new building with roll-up doors in the rear shielded from SR-50, bring the building closer to SR-50 and away from the residential property to the north, and the City can have tighter controls and prohibitions on other uses.

The proposed rezoning from C-2 to PCD is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances. Staff recommends approval of the proposed Ordinance to rezone the subject property from C-2 to PCD subject to the conditions outlined in Ordinance 25-13.

**AERIAL PHOTO**

**14451, 14423, 14411, 14375, and 14345 W Colonial Drive**



**SITE PHOTO**

**14451, 14423, 14411, 14375, and 14345 W Colonial Drive**



**PROPOSED DEVELOPMENT PLAN**  
**14451, 14423, 14411, 14375, and 14345 Colonial Drive**



**PROPOSED BUILDING ELEVATIONS**  
**14451, 14423, 14411, 14375, and 14345 W Colonial Drive**

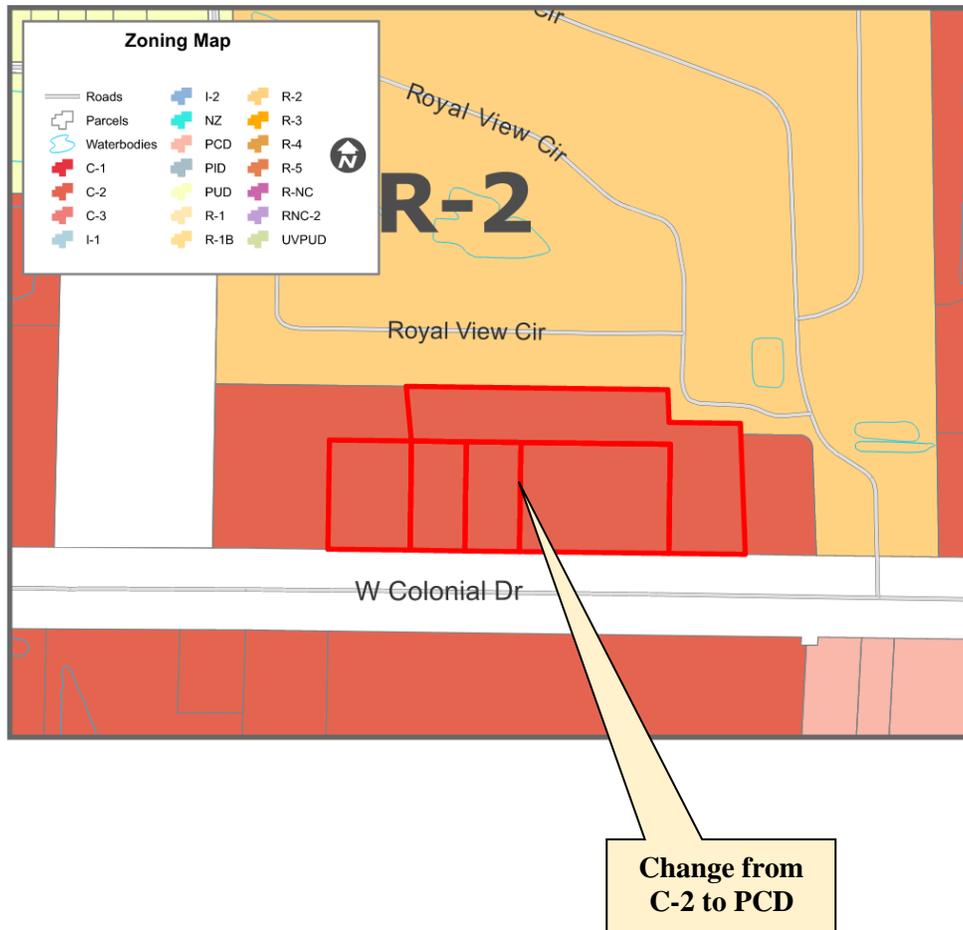


**(Solomons Auto Body – Bldg. 100)**



**(Retail Spaces – Bldg. 200, 300, and 400)**

**ZONING MAP**  
**14451, 14423, 14411, 14375, and 14345 W Colonial Drive**





## ORDINANCE 25-13

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 4.71 ± ACRES LOCATED AT 14451, 14423, 14411, 14375, and 14345 W. COLONIAL DRIVE GENERALLY LOCATED NORTH OF W. COLONIAL DRIVE, WEST OF HYDE PARK CIRCLE, AND SOUTH OF ROYAL VIEW CIRCLE FROM C-2 (ARTERIAL COMMERCIAL DISTRICT) TO PCD (PLANNED COMMERCIAL DEVELOPMENT); PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the owner of that certain real property generally described as approximately 4.71 ± acres located at 14451, 14423, 14411, 14375, And 14345 W. Colonial Drive generally located north of W. Colonial Drive, west of Hyde Park Circle, and south of Royal View Circle from C-2 (Arterial Commercial District) to PCD (Planned Commercial Development), therefore; and

**WHEREAS**, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the rezoning approved by this Ordinance is consistent with the City of Winter Garden Comprehensive Plan; and

**WHEREAS**, further, the City Commission finds that based on competent, substantial evidence in the record, the rezoning approved by this Ordinance meets all applicable criteria for rezoning the Property to PCD Planned Commercial Development contained within the City of Winter Garden Comprehensive Plan and the Code of Ordinances.

### **BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:**

**SECTION 1: *Rezoning.*** The above “Whereas” clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of real property legally described on Exhibit “A,” is hereby rezoned from C-2 Arterial Commercial District to (PCD) Planned Commercial Development in the City of Winter Garden, Florida subject to the following conditions provisions and restrictions:

- a) Applicability/Conflict. All development of or within the Property shall comply with and is subject to the requirements set forth in this Ordinance. Unless specifically identified in this Ordinance, all development on the Property identified in Exhibit “A” must comply with the general development standards of the C-2 (Arterial Commercial District) Zoning district and comply with the standards outlined in Chapter 118 Article IX and X regarding the West State Road 50 Overlay Commercial Development Standards. Notwithstanding anything to the contrary herein, all development of or within the Property shall comply with and is subject to all requirements in the City Code, and ordinances, resolutions, and policies of the

City. To the extent of any express conflicts between the express provisions of this Ordinance pertaining to permitted uses, special exception uses, prohibited uses, floor area ratio, architectural design criteria, architectural review, and signage and the City Code and ordinances, resolutions, and policies of the City, the requirements set forth herein shall apply.

- b) Intent. This Ordinance is intended to provide flexibility in the development of the Property in order to provide for proper growth and to guide development and construction in an integrated approach in order to promote a dynamic commercial center for commerce and social activity while also providing an aesthetically pleasing and pedestrian oriented development. Due to constraints in traffic at the proposed location, permitted and special exception uses will be established to maintain a safe, well developed project that enhances and supports the City and its citizens without causing distress on the local businesses and roads.
  
- c) Development Plan. The Property shall be developed in substantial conformance with the Development Plan attached hereto as Exhibit "B". All architecture will substantially conform to the building elevations provided in the Development Plan.
  
- d) Permitted Uses. The following uses and structures are permitted on the Property:
  - i. Retail
  - ii. Office
  - iii. Sit-down Restaurants
  - iv. Veterinary/Grooming Services without overnight boarding services
  - v. Personal Services
  - vi. Entertainment and Recreational uses
  - vii. Automobile Repair and Body Shop Services allowed in Building (100) only.
  
- e) Special Exceptions:
  - i. Preschools and Day Care
  - ii. Public Facilities
  - iii. Hotels
  - iv. Any uses not specifically permitted or prohibited which the planning and zoning board determines as similar to and compatible with the permitted uses.
  
- f) Prohibited Uses:
  - i. Any use not permitted by as a permitted use under subsection d) or by special exception under subsection e) above. Without limiting the foregoing, the following are also prohibited uses.
  - ii. Any use prohibited in the C-2 Zoning Districts not specifically outlined under the Permitted or Special Exception Uses.
  - iii. Any drive-thru facilities

- iv. Medical laboratory or clinical laboratory
- v. 24-hour businesses or businesses that extend past the hours between 2am and 5am.
- vi. Industrial Activities
- vii. Churches
- viii. Crematories/Funeral Homes
- ix. Automobile, motorcycle, recreational vehicle or boat sales, storage, rental and repair services, or any combination thereof, except as outlined in Permitted uses for Building 100
- x. Outdoor Displays, Sale and/or Storage not specifically outlined under Permitted or Special Exceptions Uses.
- xi. Car wash
- xii. Adult entertainment
- xiii. Billboards
- xiv. Adult or pornographic book, magazine, video and novelty stores or sales.
- xii. Pawn shop.
- xv. Tattoo or body art establishments
- xvi. Vape shop, cigar shop or tobacco shop
- xvii. Medical marijuana dispensary
  - i. Any use not in keeping with the commercial character of the district.

Nothing listed as a prohibited use is intended to be allowed by the broader list of permitted uses. To the extent any conflicts arise between the list of permitted uses and the list of prohibited uses, the list of prohibited uses shall control.

**SECTION 2:** *Staff Conditions. All development on the property must comply with the following staff conditions:*

- i. The tree mitigation cost in the amount of \$89,300.00, as provided by the applicant, will be paid to the City's Tree Fund at the preconstruction meeting.
- ii. If the re-zoning is approved, the Applicant shall submit plans and documentation showing adherence to Section 118-68, requirements for site plans, as required by the City Code.
- iii. If the re-zoning is approved, a lot combination and binding lot agreement will be required prior to or concurrently with final site plan approval.
- iv. General Requirements (as noted):
  - a. All gravity sanitary pipe and fittings shall be SDR 26.
  - b. All compaction shall be 98% of the modified proctor maximum density (AASHTO T-180).

- c. As-built record drawings shall comply with City of Winter Garden requirements available on-line (note on plan).
  - d. All Storm (>12") and Sanitary lines (>6") shall be inspected by CCTV prior to completion.
  - e. Use City Standard Detail sheets for utilities and public works in future submittals (see City website).
  - f. If Thermoplastic pipe is used it shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe (not HDPE or N-12), laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).
  - g. All utilities shall be underground pursuant to Code (Sec. 18-33) including electrical power, cable, telephone, etc.
- v. All utilities shall conform to Chapter 78 of the City Code. Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all required water, irrigation and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.
  - vi. Sanitary lines for commercial buildings shall be 6" minimum. Oil/water separator for the auto repair building will be required with final plans.
  - vii. Buildings over 6,000 s.f. will require fire sprinklers. All work downstream of the POS shall be performed by a licensed fire sprinkler contractor (note on plans). Coordinate fire protection review and approval with the Fire and Building Departments.
  - viii. Based on the response, the project will remain under one ownership. In the future if the intent is to sell off buildings/parcels then platting will be required.
  - ix. Utilities: There is an existing 12" sanitary force main on the north side of SR 50 – a private lift station will be required for the site as shown. There is an existing 12" water main on the south side of SR 50, with an 8" stubbed out to the north side. See as-built for SR 50 utilities forwarded previously. Final plans shall show all Phase I & II meters for potable water and irrigation as the basis of impact fee payment due at the time of the

Phase I permitting.

- x. A demolition permit will be required for any buildings being demolished.
- xi. All dumpsters, shall be enclosed and shall provide 12' minimum inside clearance each way, inside of the bollards or gate hardware.
- xii. Minimum 5' wide concrete sidewalks shall be constructed along all street frontages pursuant to Code. Any damaged, broken or cracked sections (including existing curbs and pavement) shall be replaced prior to issuance of certificate of occupancy.
- xiii. Geotechnical report is acknowledged and will be reviewed with final site plan submittal.
- xiv. Provide landscape plan including irrigation plan with final site plan submittal showing size and location of irrigation meter (show on Utility Plan). Landscaping shall not encroach on required sight lines at intersections or driveways. Design Engineer shall provide certification that sight distance requirements are being met. All irrigation on the site shall be designed to be supplied by reclaimed water when available and shall be served by a jumper to potable water until that time.
- xv. A separate tree removal permit is required to remove any trees. Coordinate with Building Department.
- xvi. No trees may be planted over or within 5 feet of any utility lines. Only sod or shrubs may be planted over utility lines.
- xvii. Permit from SJRWMD is required as well as permits or exemptions from FDEP for water, wastewater and NPDES. FDOT drainage, utility, and driveway permits required.
- xviii. The plan shows an underground exfiltration system for the treatment and attenuation required by SJRWMD and FDOT. The system will be monitored periodically by the City and if not functioning as designed, provisions shall be made to correct it at the Owner's expense.
- xix. Streetlighting, both internally and on all street frontages (including SR 50), is required pursuant to City Code – dark skies lighting is required. Provide a photometric plan to be submitted for review by the Planning Department.
- xx. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
- xxi. All work shall conform to City of Winter Garden standards and

specifications.

- xxii. Fencing, shall meet all City requirements for height, type, etc. Chain link fencing, if used, shall be vinyl coated per Code.
- xxiii. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
- xxiv. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
- xxv. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
- xxvi. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

### **SECTION 3: *General Requirements***

- a. **Land Development Approvals and Permits** – This Ordinance does not require the City to issue any permits or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and

permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.

- b. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- c. **Expiration/Extension** – Expiration of this PCD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

**SECTION 4: Zoning Map.** The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

**SECTION 5: Non-Severability.** Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

**SECTION 6: Effective Date.** This Ordinance shall become effective upon adoption at its second reading.

**FIRST READING AND PUBLIC HEARING:** \_\_\_\_\_, 2025.

**SECOND READING AND PUBLIC HEARING:** \_\_\_\_\_, 2025.

**ADOPTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2025, by the City Commission of the City of Winter Garden, Florida.

**APPROVED:**

\_\_\_\_\_  
JOHN REES, Mayor/Commissioner

**ATTEST:**

\_\_\_\_\_  
ANGELA GRIMMAGE, City Clerk

**Exhibit "A"**

**LEGAL DESCRIPTION**

PARCEL ID's#: 22-22-27-0000-00-075, 22-22-27-0000-00-070, 22-22-27-0000-00-056,  
22-22-27-0000-00-057, and 22-22-27-0000-00-034

**DESCRIPTION:**

**PARCEL 034**

BEGIN 75 FEET NORTH AND 773 FEET EAST OF THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE CONTINUE EAST 140.00 FEET; THENCE NORTH 240.31 FEET; THENCE WEST 130.17 FEET; THENCE NORTH 60.08 FEET; THENCE WEST 478.92 FEET; THENCE SOUTH 100.43 FEET; THENCE EAST 473 FEET; THENCE SOUTH 200.00 FEET TO THE POINT OF BEGINNING. LYING AND BEING IN SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

**PARCEL 070**

THE EAST 100 FEET OF THE WEST 400 FEET OF THE SOUTH 275 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, LYING AND BEING IN SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA. LESS AND EXCEPT THE SOUTH 75 FEET FOR STATE ROAD.

**PARCEL 075**

THE EAST 150 FEET OF THE WEST 300 FEET OF THE SOUTH 275 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA. LESS AND EXCEPT STATE ROAD RIGHT OF WAY.

**PARCEL 057**

THE EAST 273 FEET OF THE WEST 773 FEET OF THE SOUTH 275 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, LYING AND BEING IN SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA. LESS AND EXCEPT THE SOUTH 75 FEET OF STATE ROAD.

**PARCEL 056**

THE EAST 100 FEET OF THE WEST 500 FEET OF THE SOUTH 275 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, LYING AND BEING IN SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA. LESS AND EXCEPT THE SOUTH 75 FEET OF STATE ROAD.

Containing 4.71 acres, more or less.

Exhibit "B" – Development Plan

SHEET INDEX

Table listing sheet titles and numbers: COVER SHEET, EXISTING CONDITIONS, GENERAL NOTES, MASTER SITE PLAN, GEOMETRY, MARKING AND SIGNAGE PLAN, DEMOLITION AND EROSION CONTROL PLAN, GRADING AND DRAINAGE PLAN, UTILITY PLAN, SITE DETAILS, CITY OF WINTER GARDEN STANDARD DETAILS FOR WATER DISTRIBUTION SYSTEMS, CITY OF WINTER GARDEN STANDARD DETAILS FOR WASTEWATER COLLECTION SYSTEM, CITY OF WINTER GARDEN AS-BUILT / RECORD DRAWINGS, LIFTSTATION DETAILS, FDOT STANDARD DETAILS, PLANTING PLAN, BLD 100 ARCHITECTURAL INDEX, BLD 100 FLOOR PLAN, BLD100 WEST AND SOUTH ELEVATIONS, BLD 100 WEST AND SOUTH ELEVATIONS COLORED, BLD 100 EAST AND NORTH ELEVATIONS, BLD 100 EAST AND NORTH ELEVATIONS COLORED, BLD 200, 300, AND 400 ARCHITECTURAL INDEX, BLD 200, 300, AND 400 FLOOR PLAN, BLD 200, 300, AND 400 ELEVATIONS, BLD 200, 300, AND 400 ELEVATIONS COLORED.

SITE PLAN FOR SOLOMON'S AUTO BODY DEVELOPMENT 14451 W COLONIAL DR WINTER GARDEN, FLORIDA 34787 PARCEL ID - 22-22-27-0000-00-034, 056, 057, 070, 075

LEGAL DESCRIPTION:

(PROVIDED BY CLIENT)

PARCEL 034 BEGIN 75 FEET NORTH AND 773 FEET EAST OF THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE CONTINUE EAST 140.00 FEET; THENCE NORTH 240.31 FEET; THENCE WEST 130.17 FEET; THENCE NORTH 60.08 FEET; THENCE WEST 478.92 FEET; THENCE SOUTH 100.43 FEET; THENCE EAST 473 FEET; THENCE SOUTH 200.00 FEET TO THE POINT OF BEGINNING. LYING AND BEING IN SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

PARCEL 070 THE EAST 100 FEET OF THE WEST 400 FEET OF THE SOUTH 275 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, LYING AND BEING IN SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA. LESS AND EXCEPT THE SOUTH 75 FEET FOR STATE ROAD.

PARCEL 075 THE EAST 150 FEET OF THE WEST 300 FEET OF THE SOUTH 275 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA. LESS AND EXCEPT STATE ROAD RIGHT OF WAY.

PARCEL 057 THE EAST 273 FEET OF THE WEST 773 FEET OF THE SOUTH 275 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, LYING AND BEING IN SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA. LESS AND EXCEPT THE SOUTH 75 FEET FOR STATE ROAD.

PARCEL 056 THE EAST 100 FEET OF THE WEST 500 FEET OF THE SOUTH 275 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, LYING AND BEING IN SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA. LESS AND EXCEPT THE SOUTH 75 FEET FOR STATE ROAD.



LOCATION MAP N.T.S.

NOTES:

- 1. ALL GRAVITY SANITARY PIPE AND FITTINGS SHALL BE SDR26.
2. ALL COMPACTION SHALL BE 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T-180).
3. AS-BUILT RECORD DRAWINGS SHALL COMPLY WITH CITY OF WINTER GARDEN REQUIREMENTS AVAILABLE ON-LINE.
4. ALL STORM (>= 12") AND SANITARY LINES (>=6") SHALL BE INSPECTED BY CCTV PRIOR TO COMPLETION AND PRIOR TO PAVEMENT AND BASE MATERIAL PLACEMENT.
5. IF THERMOPLASTIC PIPE IS USED IT SHALL MEET ALL CITY MATERIAL AND INSTALLATION REQUIREMENTS AS SPECIFIED IN THE CITY'S STANDARDS AND SPECIFICATIONS INCLUDING CLASS 1 BEDDING, HP POLYPROPYLENE PIPE (NOT HDPE, N=12), LASER PROFILING, INSTALLATION PER ASTM D2321, ETC (SEE UNDER ON-LINE FORMS ON WEBSITE).
6. ALL UTILITIES SHALL BE UNDERGROUND PURSUANT TO CODE (SEC. 18-33) INCLUDING ELECTRICAL POWER, CABLE, TELEPHONE, ETC.
7. DEMOLITION SHALL BE REQUIRED IF ANY STRUCTURE ARE TO BE DEMOLISHED.
8. NO TREES TO BE PLANTED OVER OR WITHIN 5 FEET OF ANY UTILITY LINES. ONLY SOD OR SHRUBS MAY BE PLANTED OVER UTILITY LINES.
9. ONLY BUILDING 100 WILL BE USED AS AUTO REPAIR SHOP AS SPECIAL EXCEPTION. NO OTHER BUILDING(S) OR PORTION OF OTHER BUILDING(S) WILL BE USED AS AUTO REPAIR SHOP.
10. ALL SIGNAGE WILL BE PERMITTED SEPARATELY AND SHALL ADHERE TO CITY CODE CHAPTER 102-SIGNS.
11. ALL WORK SHALL CONFORM TO CITY OF WINTER GARDEN STANDARDS AND SPECIFICATIONS.
12. THE CITY OF WINTER GARDEN WILL INSPECT PRIVATE SITE IMPROVEMENTS ONLY TO THE EXTENT THAT THEY CONNECT TO CITY OWNED/MAINTAINED SYSTEMS (ROADWAYS, DRAINAGE, UTILITIES, ETC.). IT IS THE RESPONSIBILITY OF THE OWNER AND DESIGN ENGINEER TO ENSURE THAT PRIVATELY OWNED AND MAINTAINED SYSTEMS ARE CONSTRUCTED TO THE INTENDED SPECIFICATIONS. THE CITY IS NOT RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF PRIVATELY OWNED SYSTEMS, TO INCLUDE, BUT NOT BE LIMITED TO, ROADWAYS, PARKING LOTS, DRAINAGE, STORMWATER PONDS OR ON-SITE UTILITIES.
13. CONTRACTOR IS RESPONSIBLE FOR THE NOTIFICATION, LOCATION, AND PROTECTION OF ALL UTILITIES THAT MAY EXIST WITHIN THE PROJECT LIMITS AND ADJACENT AREA DURING CONSTRUCTION OF THE PROJECT.
14. NO FILL OR RUNOFF WILL BE ALLOWED TO DISCHARGE ONTO ADJACENT PROPERTIES; EXISTING DRAINAGE PATTERNS SHALL NOT BE ALTERED. THE APPLICANT SHOULD NOTE THAT IF APPROVAL IS GRANTED, THE CITY OF WINTER GARDEN IS NOT GRANTING RIGHTS OR EASEMENTS FOR DRAINAGE FROM, OR ONTO, PROPERTY OWNED BY OTHERS; OBTAINING PERMISSION, EASEMENTS OR OTHER APPROVALS THAT MAY BE REQUIRED TO DRAIN ONTO PRIVATE PROPERTY IS THE OWNER/DEVELOPER'S RESPONSIBILITY. SHOULD THE FLOW OF STORMWATER RUNOFF FROM, OR ONTO ADJACENT PROPERTIES BE UNREASONABLE OR CAUSE PROBLEMS, THE CITY WILL NOT BE RESPONSIBLE AND ANY CORRECTIVE MEASURES REQUIRED WILL BE THE RESPONSIBILITY OF THE OWNER. SITE CONSTRUCTION SHALL ADHERE TO THE CITY OF WINTER GARDEN EROSION AND SEDIMENT CONTROL REQUIREMENTS AS CONTAINED IN CHAPTER 106 - STORMWATER. IF APPROVAL IS GRANTED BY THE CITY OF WINTER GARDEN, IT DOES NOT WAIVE ANY PERMIT THAT MAY BE REQUIRED BY FEDERAL, STATE, REGIONAL, COUNTY, MUNICIPAL OR OTHER AGENCIES THAT MAY HAVE JURISDICTION.
15. SITE LIGHTING SHALL MEET CITY OF WINTER GARDEN CITY CODE - DARK SKIES LIGHTING (CODE SECTION 118-15.36). DURING CONSTRUCTION, A SITE PHOTOMETRIC PLAN WILL BE REQUIRED.

SERVICES

WATER

WINTER GARDEN WATER DEPARTMENT
300 PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 656-4100

WASTEWATER

WINTER GARDEN SEWER DEPARTMENT
101 E CREST AVE
WINTER GARDEN, FLORIDA 34787
(407) 656-3601

TELEPHONE

CENTURY LINK
33 N. MAIN STREET
WINTER GARDEN, FLORIDA 34787
(407) 539-0644

POWER

PROGRESS ENERGY
3300 EXCHANGE PL
LAKE MARY, FLORIDA 32746
(800) 70-8744

GAS

TECO PEOPLES GAS - ORLANDO
600 W. ROBINSON STREET
ORLANDO, FLORIDA 32801
(407) 420-6609

PROJECT TEAM

OWNER/CLIENT

NESARALLI HOLDINGS LLC
14451 W COLONIAL DR
WINTER GARDEN, FL 34787

ARCHITECT

STUDIO 407
7680 UNIVERSAL BLVD, SUITE 300
ORLANDO, FL 32819
(407) 342-5995

CIVIL ENGINEER

LAM CIVIL ENGINEERING, INC.
1320 W PINE STREET
ORLANDO, FLORIDA 32805
(407) 254-0040

SURVEYOR

V&S SURVEYING, INC.
2412 ORSOTA CIRCLE
ORLANDO, FLORIDA 34761
(407) 342-1510

TRAFFIC ENGINEERING

TRAFFIC PLANNING AND DESIGN, INC.
535 VERSAILLES DRIVE
MAITLAND, FLORIDA 32751
(407) 628-9955

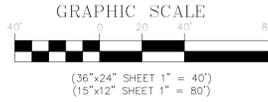
Table with columns: DATE, AGENCY, SHEETS, COMMENT. Lists submittal dates and sheet numbers for various sheets.

PREPARED FOR: NESARALLI HOLDINGS LLC 14451 W COLONIAL DR WINTER GARDEN, FLORIDA 34787

Project information box containing LAM Civil Engineering, Inc. logo, address, contact info, and project details: PN: 2020.018.02, DRAWN BY: LCE, APPROVED BY: QL, DATE: 11-13-24, SHEET: ----.

# BOUNDARY & TOPOGRAPHIC SURVEY

FOR ENGINEERING PURPOSE



**LEGAL DESCRIPTION**

**PARCEL 1:**  
BEGIN 75 FEET NORTH AND 773 FEET EAST OF THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE CONTINUE EAST 140.00 FEET; THENCE NORTH 240.31 FEET; THENCE WEST 130.17 FEET; THENCE NORTH 80.08 FEET; THENCE WEST 478.90 FEET; THENCE SOUTH 100.43 FEET; THENCE EAST 473 FEET; THENCE SOUTH 200.00 FEET TO THE POINT OF BEGINNING LYING AND BEING IN SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

**PARCEL 2:**  
THE EAST 273 FEET OF THE WEST 773 FEET OF THE SOUTH 275 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 LYING AND BEING IN SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA. LESS AND EXCEPT THE SOUTH 75 FEET FOR STATE ROAD.

**PARCEL 3:**  
THE EAST 100 FEET OF THE WEST 400 FEET OF THE SOUTH 275 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 LYING AND BEING IN SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA. LESS AND EXCEPT THE SOUTH 75 FEET FOR STATE ROAD.

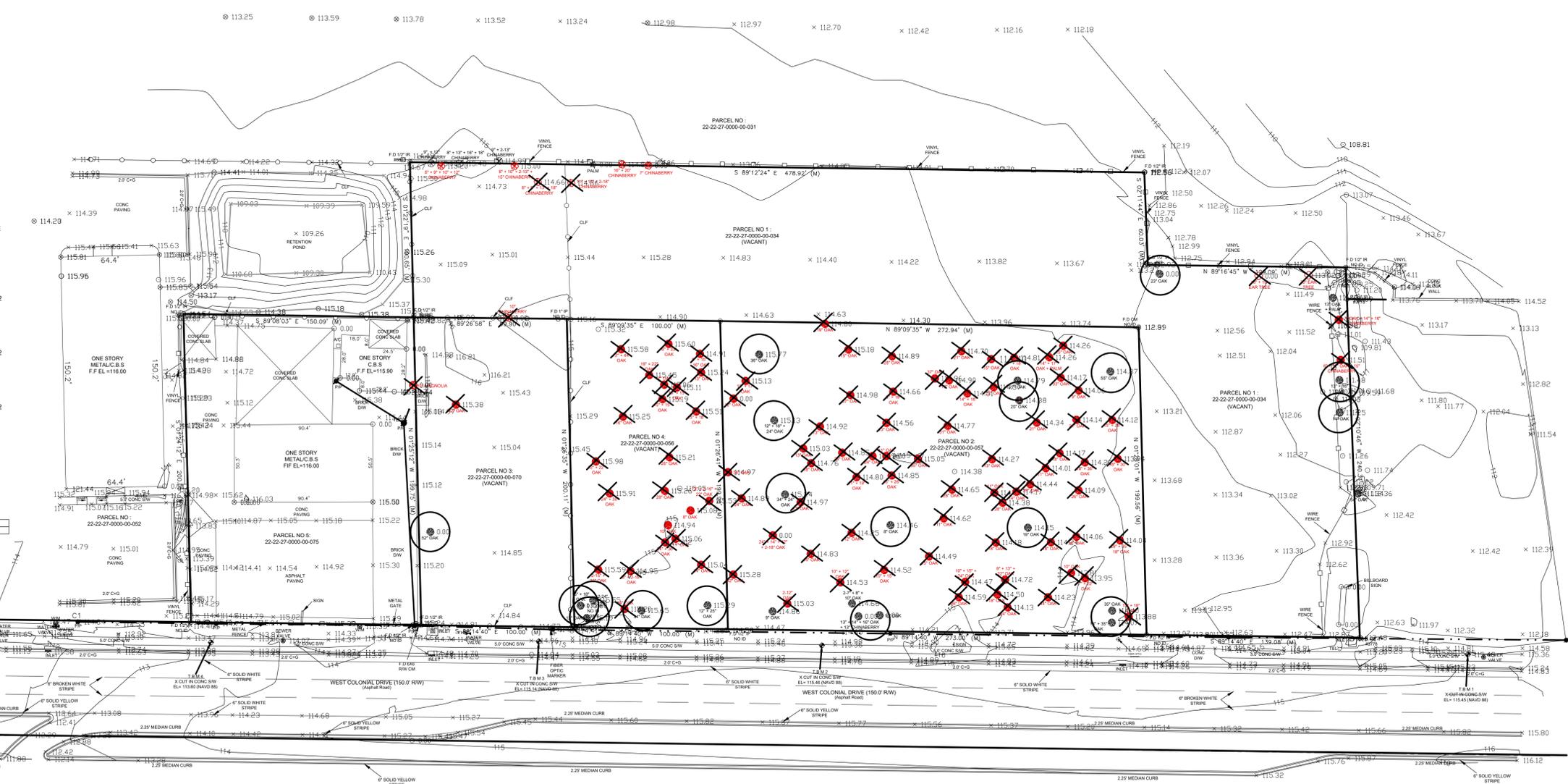
**PARCEL 4:**  
THE EAST 100 FEET OF THE WEST 500 FEET OF THE SOUTH 275 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA. LESS AND EXCEPT THE SOUTH 75 FEET FOR STATE ROAD.

**PARCEL 5:**  
THE EAST 150 FEET OF THE WEST 300 FEET OF THE SOUTH 275 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA. LESS AND EXCEPT STATE ROAD RIGHT OF WAY.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	68829.94	149.94	149.94	S. 89°15'45" E	0°07'29"

LINE	BEARING	DISTANCE
L1	N. 88°15'29" W	4.98



Bearings shown hereon are based on the South line of the SW 1/4 of section 22, Township 22 S, Range 27 E, being assumed as N 89°42'43" E.

Field Date : 11/27/17  
Date Completed : 11/28/17  
Revised Date : 08/31/20 Trees added

Property Address :  
14345, 14375, 14411, 14423, 14451 W. COLONIAL DR  
WINTER GARDEN, FLORIDA 34787.

SURVEY NO : VS 2167

Certified To :  
SHAZAD A. NESARALLI  
OMAWATIE NESARALLI

FLOOD ZONE INFORMATION:  
Community No: 120187 Panel : 0215  
Suffix : F F.I.R.M Date : 09/25/2009  
Flood Zone : X

**BENCHMARK USED:**  
POINT : C1346038  
NORTHING : 1533471  
EASTING : 464655  
ELEVATION = 111.591 NAVD 88

### LEGEND

A/C	Air Condition	E.O.P	Edge of Pavement	O.R	Official Record	S.T	Septic Tank
A	Arc Length	E.O.W	Edge of Water	O.R.B	Official Record Book	S.I.R	Set Iron Rod #7772
B.M	Benchmark	EL	Elevation	O.H.L	Overhead Lines	SW	Sidewalk
B.S	Building S setback	F	Field	Pg	Page	SW.E	Sidewalk Easement
CATV	Cable TV Riser	F.F	Finish Floor	P.C.P	Permanent Control Point	X.98.50	Spot Elevation
C	Calculated	F.H	Fire Hydrant	P.R.M	Permanent Reference Marker	TEL	Telephone Riser
C.L	Centerline	F.D	Found	P	Plat	T.B.M	Temporary Bench Mark
CLF	Chain Link Fence	⊙	Found Iron Rod or Iron Pipe	P.O.B	Point of Beginning	T.O.B	Top of Bank
C.B	Chord Bearing	⊙	Found Nail and Disk	P.O.C	Point of Commencement	TRANS	Transformer
C.LEN	Chord Length	IP	Iron Pipe	P.C	Point of Curvature	TYP	Typical
CIO	Cleanout	IR	Iron Rod	P.I	Point of Intersection	U.E	Utility Easement
CONC	Concrete	L.P	Light Pole	P.R.C	Point of Reverse Curve	W.M	Water Meter
C.B.S	Concrete Block Structure	L.A.E	Limited Access Easement	P.T	Point of Tangency	WF	Wood Fence
C.M	Concrete Monument	MH	Manhole	P.O.L	Point on Line	⊙	OAK TREE
C&G	Curb and Gutter	M	Measured	PP	Power Pole	⊙	CHINABERRY TREE
Δ	Delta	MP	Meter Pole	PROP	Proposed	⊙	PALM TREE
D.E	Drainage Easement	N+D	Nail and Disk	RAD	Radial	⊙	EAR TREE
D.F	Drainfield	N.R	Non Radial	R	Radius		
D.W	Driveway	NHWE	Normal High Water Elevation	R.P	Radius Point		
E.O.P	Edge of Pavement	N.T.S	Not to Scale	RAW	Right of Way		

### Surveyor's Notes

- This survey is based on the legal description as provided by the Client.
- This Surveyor has not abstracted the land shown hereon for easements rights of way or restrictions of records which may affect the title or use of the land.
- No underground improvements or installations have been located unless noted. Only visible utilities located.
- Elevations if shown hereon are based on NAVD 1988 unless otherwise stated.
- Dimensions shown for the location of improvements hereon should not be used to reconstruct boundary lines.
- Dimensions and bearings shown are plat and measured only unless otherwise noted.
- Attention is directed to the fact that this plan may have altered in size by reproduction. This must be considered when obtaining scaled data.
- Features shown by symbols as indicated in legend may not be to scale.
- Wall ties are to face of wall.
- Only visible utilities and encroachment located.
- This survey is valid for 90 days from the completed date or revised date shown.
- Septic Tanks and drainfield location are approximate and should be verified by the appropriate utility company.
- The accuracy of this survey is according to the Standards of Practice by the Board of Professional Land Surveyors and Mappers in Rule 53-17 Florida Administrative Code.

### REVISIONS

No.	DATE	DESCRIPTION	APP'D BY
1	09/18/20	CITY OF WINTER GARDEN COMM.	QTL
2	09/17/21	CITY OF WINTER GARDEN COMM.	QTL
3	03/31/23	CITY OF WINTER GARDEN COMM.	QTL
4	08/24/23	CITY OF WINTER GARDEN COMM.	QTL
5	07/06/24	CITY OF WINTER GARDEN COMM.	QTL
6	05/14/24	CITY OF WINTER GARDEN COMM.	QTL

**SOLOMON'S AUTO BODY DEVELOPMENT**  
14451 W COLONIAL DR  
WINTER GARDEN, FL 34787

**EXISTING CONDITIONS**

CLIENT:  
NESARALLI HOLDINGS LLC  
14451 W COLONIAL DR  
WINTER GARDEN, FL 34787

**LAM**  
Civil Engineering, Inc.  
1320 W PINE STREET  
ORLANDO, FL 32805  
PHONE: 407-254-0040  
CELL: 407-234-8944

CERTIFICATE OF AUTHORIZATION No. 27340  
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NOT FOR CONSTRUCTION  
UNLESS SIGNED AND SEALED

QUANG T. LAM, P.E.  
FL REGISTRATION No. 62550

PROJECT No.	2020.018.02
DATE:	11-13-24
DRAWN BY:	LCE
APPROVED BY:	QTL
<b>SHEET</b>	<b>V1</b>

GENERAL NOTES

- 1. THE BOUNDARY AND TOPOGRAPHIC SURVEYS FOR THIS PROJECT WERE FURNISHED BY THE CLIENT... 2. ANY SITE CONDITIONS DIFFERENT FROM THAT WHICH IS REPRESENTED HEREON... 3. THE LOCATION OF ALL EXISTING UTILITY SERVICES, FACILITIES AND STRUCTURAL FEATURES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION...

NOTE: THE OWNER USED IN THESE NOTES SHALL MEAN NESARALLI HOLDINGS, LLC 14451 W COLONIAL DRIVE WINTER GARDEN, FLORIDA 34787

DEMOLITION NOTES

- 1. 48 HOURS PRIOR TO COMMENCING OF CONSTRUCTION, CONTRACTOR SHALL CALL SUNSHINE (1-800-432-4770) FOR UTILITY LOCATES WITHIN THE CONSTRUCTION LIMITS AND ANY AREA TO BE EXCAVATED. 2. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO COMMENCING CONSTRUCTION FOR DIG PERMITS, WATER AND WASTEWATER PERMITS, AND/OR OTHER PERMITS AS APPLICABLE...



EROSION CONTROL NOTES

- 1. ALL EROSION CONTROL MEASURES SHOWN HEREON ARE THE MINIMUM STANDARDS. ANY EROSION CONTROL REQUIRED BEYOND THAT SPECIFIED SHALL BE CONSIDERED AS PART OF THIS CONTRACT. 2. ALL EROSION CONTROL WORKS SHALL CONFORM TO THE LOCAL WATER MANAGEMENT DISTRICT, FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) STANDARDS...

GRADING AND DRAINAGE NOTES

- 1. ALL SOIL STRIPPINGS, DELETERIOUS AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED LEGALLY BY THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER OR SPECIFIED ELSEWHERE IN THE PLANS FOR SELECTED DISPOSAL. 2. THE OWNER SHALL PROVIDE A GEOTECHNICAL ENGINEER TO MAKE DETERMINATIONS ON THE SUITABILITY OF MATERIAL ACQUIRED FROM EXCAVATIONS OR BORROW OPERATIONS AND TO DETERMINE THE SUITABILITY AND CONTROL FOR EMBANKMENT OPERATIONS...

UTILITY NOTES

- 1. ALL UTILITY PIPES SHALL HAVE A MINIMUM THIRTY SIX (36) INCHES OF COVER FROM CROWN OF PIPES. 2. ALL PVC WATER DISTRIBUTION SYSTEM SHALL BEAR NATIONAL SANITATION FOUNDATION (NSF) LOGO FOR POTABLE WATER USE. 3. ALL DUCTILE IRON PIPE (DIP) WATER DISTRIBUTION SYSTEM WITH NOMINAL DIAMETER FOUR (4) INCHES THROUGH TWENTY FOUR (24) INCHES SHALL CONFORM TO ANSI/AWWA C151/A21.51 AND SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 350 PSI WITH STANDARD CEMENT MORTAR LINING...

AS-BUILT NOTES

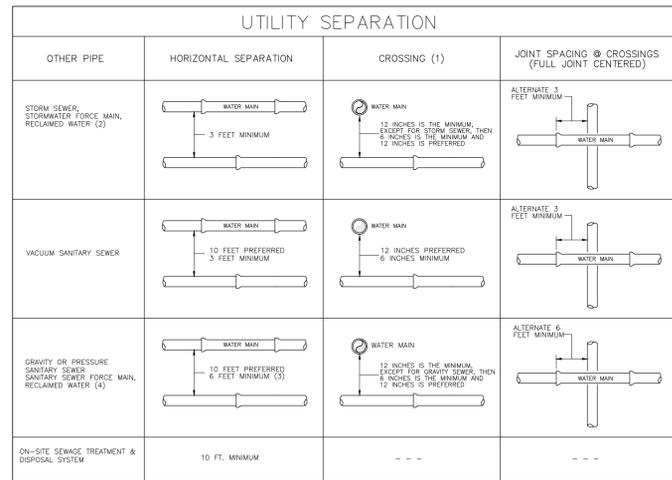
- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE PROJECT ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILT DRAWINGS SHALL DEPICT ANY CHANGES DURING CONSTRUCTION TO THE DESIGN DOCUMENTS EITHER DRAWINGS OR SPECIFICATIONS. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CLOSED CIRCUIT TV (CCTV) LOG AND VIDEO OF THE SANITARY SYSTEM PIPES AND MANHOLES. 3. DIMENSIONS, ELEVATIONS, CONTOURS, AND/OR CROSS-SECTIONS OF ALL STORMWATER PIPES, DITCHES, AND SWALES SURVEYED TO DETERMINE STORAGE-RELATIONSHIPS FOR STORAGE VOLUME, DEPTH AND STORAGE VOLUME FOR WET RETENTION/DETENTION PONDS...

EMERGENCY WASTEWATER SPILL AND WATER MAIN BREAK PROCEDURES

- 1. EXCAVATE CAUTIOUSLY: THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF WASTEWATER FORCE MAINS AND GRAVITY SEWERS. 2. TELEPHONE NOTIFICATION: ORANGE COUNTY DISPATCH OPERATOR SHALL BE NOTIFIED IMMEDIATELY IN THE EVENT OF A FIRM MAIN, GRAVITY SEWER, REUSE MAIN OR WATER MAIN BREAK OR DAMAGE AT (407) 823-9150. 3. REPAIR IMMEDIATELY: ALL DAMAGE TO ORANGE COUNTY MAINS AND LATERALS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE...

UTILITY PIPE SCHEDULE

Table with columns: SERVICE, MATERIAL, CLASS, TEST PRESSURE. Lists specifications for water main and wastewater force main pipes of various diameters.



(1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES. (2) RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. (3) 6 FT FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.

\*\* THIS SEPARATION TABLE IS PROVIDED FOR YOUR CONVENIENCE ONLY. REFER TO F.A.C. RULE 62-555.314 FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.

REVISIONS

Table with columns: No., DATE, DESCRIPTION, APPD BY. Lists revision details for utility notes.

SOLOMON'S AUTO BODY DEVELOPMENT

14451 W COLONIAL DR WINTER GARDEN, FL 34787

GENERAL NOTES

CLIENT:

NESARALLI HOLDINGS LLC 14451 W COLONIAL DR WINTER GARDEN, FL 34787



1320 W PINE STREET ORLANDO, FL 32805

PHONE: 407-254-0040 CELL: 407-234-8944

CERTIFICATE OF AUTHORIZATION No. 27340

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NOT FOR CONSTRUCTION UNLESS SIGNED AND SEALED

QUANG T. LAM, P.E. FL REGISTRATION No. 62550

DATE

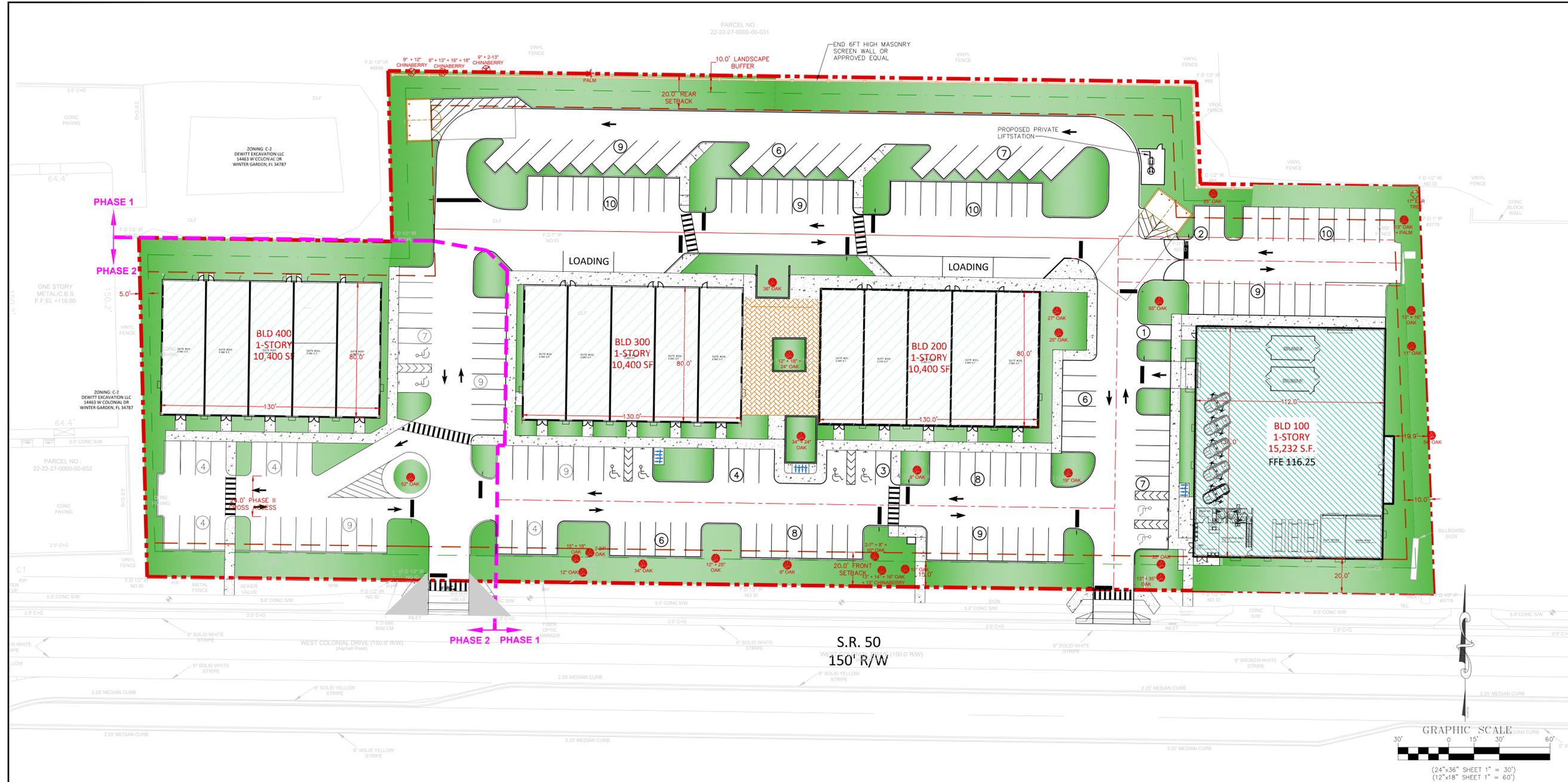
PROJECT No. 2020.018.02

DATE: 11-13-24

DRAWN BY: LCE

APPROVED BY: QTL

SHEET C0



No.	DATE	DESCRIPTION	APP'D BY
1	09/18/20	CITY OF WINTER GARDEN COMM.	QTL
2	09/17/21	CITY OF WINTER GARDEN COMM.	QTL
3	03/31/23	CITY OF WINTER GARDEN COMM.	QTL
4	08/24/23	CITY OF WINTER GARDEN COMM.	QTL
5	01/06/24	CITY OF WINTER GARDEN COMM.	QTL
6	05/14/24	CITY OF WINTER GARDEN COMM.	QTL

**SOLOMON'S AUTO BODY DEVELOPMENT**  
 14451 W COLONIAL DR  
 WINTER GARDEN, FL 34787

**OVERALL SITE PLAN**

CLIENT:  
 NESARALLI HOLDINGS LLC  
 14451 W COLONIAL DR  
 WINTER GARDEN, FL 34787

**LAM**  
 Civil Engineering, Inc.

1320 W PINE STREET  
 ORLANDO, FL 32805

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 CELL: 407-234-8944

CERTIFICATE OF AUTHORIZATION No. 27340

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QUANG T. LAM, P.E.  
 FL REGISTRATION No. 62550

DATE

PROJECT No. **2020.018.02**

DATE: **11-13-24**

DRAWN BY: **LCE**

APPROVED BY: **QTL**

**SHEET C1**

**SITE IDENTIFICATION**

PARCEL IDENTIFICATION No. 22-22-27-0000-00-034, 070, 075 PARTIAL (PHASE II - 056, 057)  
 SECTION 22, TOWNSHIP 22S, RANGE 27E

**SITE AREA**

EXISTING AREAS	
PHASE I	
IMPERVIOUS AREA	0.0 AC (0%)
PERVIOUS AREA	3.74 AC (100%)
TOTAL PHASE I SITE AREAS	3.74 AC (100%)
PHASE II	
BUILDINGS (10,809 SF)	0.25 AC (26%)
PAVEMENTS (17,308 SF)	0.40 AC (41%)
PERVIOUS	0.32 AC (33%)
TOTAL PHASE II SITE AREAS	0.97 AC (100%)
TOTAL PHASES I & II	
BUILDINGS (10,809 SF)	0.25 AC (5%)
PAVEMENTS (17,308 SF)	0.40 AC (9%)
PERVIOUS	4.06 AC (86%)
TOTAL PHASES I & II SITE AREAS	4.71 AC (100%)
PROPOSE AREAS	
PHASE I	
BLD 100, 200, & 300 (BASE 36,032 SF)	0.83 AC (22%)
IMPERVIOUS (PAVEMENT/ SIDEWALK)	2.41 AC (65%)
TOTAL IMPERVIOUS	3.24 AC (87%)
PERVIOUS AREA	0.50 AC (13%)
TOTAL PHASE I SITE AREA	3.74 AC (100%)
PHASE II	
BLD 400 (BASE 10,400 SF)	0.24 AC (25%)
IMPERVIOUS (PAVEMENT/ SIDEWALK)	0.45 AC (46%)
TOTAL IMPERVIOUS	0.69 AC (71%)
PERVIOUS AREA	0.28 AC (29%)
TOTAL PHASE II SITE AREA	0.97 AC (100%)
TOTAL PHASES I & II	
BLD 100, 200, 300, & 400 (BASE 46,432 SF)	1.07 AC (23%)
IMPERVIOUS (PAVEMENT/ SIDEWALK)	2.86 AC (61%)
TOTAL IMPERVIOUS	3.93 AC (84%)
PERVIOUS AREA	0.78 AC (16%)
TOTAL PHASES I & II SITE AREA	4.71 AC (100%)

**SITE ZONING**

EXISTING ZONING	C-2
EXISTING LAND USE	VACANT
PROPOSE LAND USE	COMMERCIAL/OFFICE
FUTURE LAND USE	COMMERCIAL/OFFICE

**SURROUNDING ZONING AND FUTURE LAND USE**

DIRECTION	ZONING	FUTURE LAND USE
EAST	C-2	COMMERCIAL
WEST	C-2	COMMERCIAL
NORTH	R-2	RESIDENTIAL
SOUTH	C-2	COMMERCIAL

**PARKING DATA**

PARKING SPACES REQUIRED (COMMERCIAL/OFFICE)  
 • 3 SP. PER 1,000 SF => REQUIRED SPACES=139 SPACES BASED 46,432 SF

PARKING SPACES PROVIDED (TOTAL PROVIDE 174 PARKING SPACES)

PHASE	TYPE	SPACES
PHASE I	PARKING 9'x20' SPACES	131 SPACES
	HANDICAP PARKING 12'x20' SPACES	6 SPACES
	TOTAL SPACES	137 SPACES
PHASE II	PARKING 9'x20' SPACES	35 SPACES
	HANDICAP PARKING 12'x20' SPACES	2 SPACES
	TOTAL SPACES	37 SPACES

PROJECTED TRIP ENDS GENERATION (FOR PHASES I AND II)

- AVERAGE DAILY TRIP: 592 ADT (46.4 \* 12.76 AVER. RATE PER 1,000 SF)
- AM PEAK HOUR TRIP: ENTER (85%) 55 TRIPS, EXIT (15%) 10 TRIPS, TOTAL 65 A.M. PEAK TRIP (46.4 \* 1.40 AVER. RATE PER 1,000 SF)
- PM HOUR TRIP: ENTER (26%) 15 TRIPS, EXIT (74%) 44 TRIPS, TOTAL 59 P.M. PEAK TRIP (46.4 \* 1.26 AVER. RATE PER 1,000 SF)

**BUILDING SETBACK**

BUILDING SETBACK	PERMITTED	PROPOSED
FRONT	20'	20'
SIDE	20'	5'(WEST), 20'(EAST)
REAR(RESIDENTIAL)	20'	24'

**BUILDING AREA**

BUILDING No.	AREA	PHASE
100	15,232 SF	I
200	10,400 SF	I
300	10,400 SF	I
400	10,400 SF	II
TOTAL	46,432 SF (F.A.R. 0.23)	

**USES**

- ALL ALLOWABLE USE WITHIN C-2 ALTERIAL COMMERCIAL DISTRICT.
- PROHIBITED USES:
  - RESTAURANT WITH DRIVE-THRU.
  - MEDICAL LABORATORY OR CLINICAL LABORATORY TO INCLUDE BLOOD WORK AND DIAGNOSTICS.

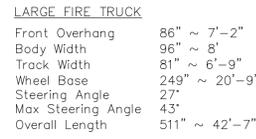
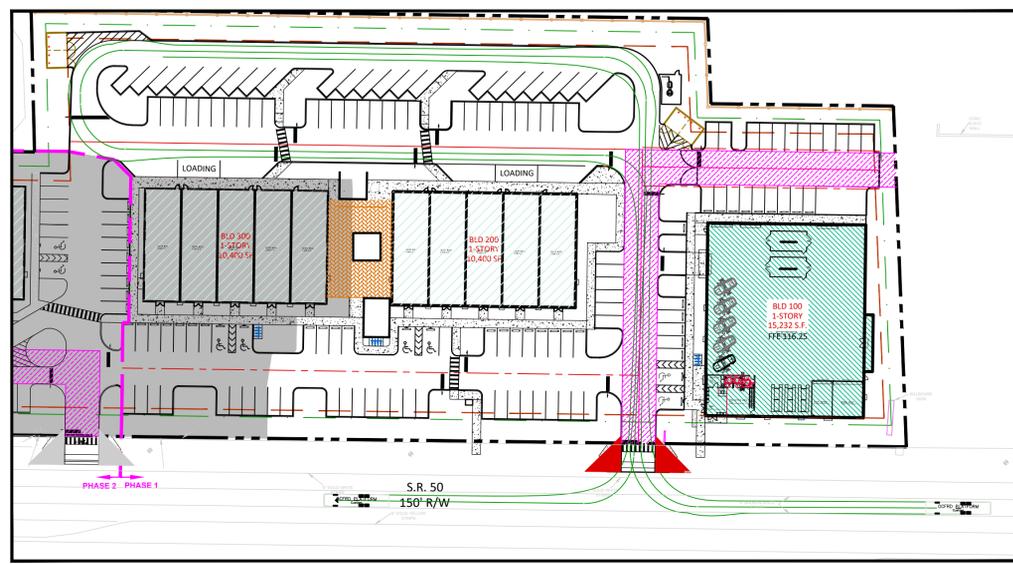
**SITE LEGEND**

- SOIL LINES
- PROPERTY LINE
- PARKING COUNT (TOTAL 175 SPACES)
- POWER LINE EASEMENT
- FUTURE BUILDINGS
- CROSS ACCESS EASEMENT

**SOIL TYPES**

SOIL No.	SOIL NAME	HYDROLOGIC GROUP
2	LOCKHOOSA FINE SAND	TYPE A
5	WABASSO FINE SAND	TYPE A/D
6	ZOLFO FINE SAND	TYPE A

SOURCE: USDA SCS SOIL SURVEY OF ORANGE COUNTY, FL 2020



**FIRE TRUCK MOVEMENT**

SCALE 1"=60'

CLOSEST WG FIRE STATION IS FIRE STATION 24,  
131 E PALMETTO, WINTER GARDEN, FL 34787

**SITE NOTE**

- DUMPSTER ENCLOSURE SHALL MEET DESIGN GUIDELINES WITH MAXIMUM HIGH SHALL BE 6 FEET AND DUMPSTER OR MATERIAL WITHIN THE SERVICE AREA SHALL NOT EXTEND ABOVE THE REQUIRED MASONRY WALL. SEE SHEET C5.1 - SITE DETAILS.
- TURN LANE STRIPING SHALL MEET FDOT DESIGN STANDARDS INDEX 17346 LATEST EDITION.
- ALL CURBING AND PAVING AREA IN FRONT OF FIRE DEPARTMENT APPARATUS (I.E. FIRE HYDRANT, FDC, ETC) SHALL HAVE 4" WIDE STRIPING EXTEND 7.5FT FROM APPARATUS PAINTED OSHA YELLOW.
- CURB RADIUS IS AT FACE OF CURB.
- REFER TO SHEET C5 - SITE DETAILS FOR ASPHALT PAVEMENT SECTION DETAIL.
- THE OWNER IS RESPONSIBLE FOR MEETING ALL PROVISIONS OF ADA AND FLORIDA ACCESSIBILITY CODE.
- ALL WORK SHALL CONFORM TO CITY OF WINTER GARDEN STANDARDS AND SPECIFICATIONS.
- FENCING, SHALL MEET ALL CITY REQUIREMENTS FOR HEIGHT, TYPE, ETC. CHAIN LINK FENCING, IF USED, SHALL BE VINYL COATED PER CODE.
- THE CITY OF WINTER GARDEN WILL INSPECT PRIVATE SITE IMPROVEMENTS ONLY TO THE EXTENT THAT THEY CONNECT TO CITY OWNED/MAINTAINED SYSTEMS (ROADWAYS, DRAINAGE, UTILITIES, ETC.). IT IS THE RESPONSIBILITY OF OWNER AND DESIGN ENGINEER TO ENSURE THAT PRIVATELY OWNED AND MAINTAINED SYSTEMS ARE CONSTRUCTED TO THE INTENDED SPECIFICATIONS. THE CITY IS NOT RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF PRIVATELY OWNED SYSTEMS, TO INCLUDE, BUT NOT BE LIMITED TO, ROADWAYS, PARKING LOTS, DRAINAGE, STORMWATER PONDS OR ON-SITE UTILITIES.

**SITE NOTE (CONTINUE)**

- THE CONTRACTOR IS RESPONSIBLE FOR THE NOTIFICATION, LOCATION AND PROTECTION OF ALL UTILITIES THAT MAY EXIST WITHIN THE PROJECT LIMITS.
- NO FILL OR RUNOFF WILL BE ALLOWED TO DISCHARGE ONTO ADJACENT PROPERTIES; EXISTING DRAINAGE PATTERNS SHALL NOT BE ALTERED. THE APPLICANT SHOULD NOTE THAT IF APPROVAL IS GRANTED, THE CITY OF WINTER GARDEN IS NOT GRANTING RIGHTS OR EASEMENTS FOR DRAINAGE FROM, OR ONTO, PROPERTY OWNED BY OTHERS. OBTAINING PERMISSION, EASEMENTS OR OTHER APPROVALS THAT MAY BE REQUIRED TO DRAIN ONTO PRIVATE PROPERTY IS THE OWNER/DEVELOPER'S RESPONSIBILITY. SHOULD THE FLOW OF STORMWATER RUNOFF FROM, OR ONTO ADJACENT PROPERTIES BE UNREASONABLE OR CAUSE PROBLEMS, THE CITY WILL NOT BE RESPONSIBLE AND ANY CORRECTIVE MEASURES REQUIRED WILL BE THE RESPONSIBILITY OF THE OWNER. SITE CONSTRUCTION SHALL ADHERE TO THE CITY OF WINTER GARDEN EROSION AND SEDIMENT CONTROL REQUIREMENTS AS CONTAINED IN CHAPTER 106 - STORMWATER. IF APPROVAL IS GRANTED BY THE CITY OF WINTER GARDEN, IT DOES NOT WAIVE ANY PERMITS THAT MAY BE REQUIRED BY FEDERAL, STATE, REGIONAL, COUNTY, MUNICIPAL OR OTHER AGENCIES THAT MAY HAVE JURISDICTION.
- AS-BUILT RECORD DRAWINGS SHALL COMPLY WITH CITY OF WINTER GARDEN REQUIREMENTS AVAILABLE ON-LINE
- ALL STORM (≥12") AND SANITARY LINES (≥6") SHALL BE INSPECTED BY CCTV PRIOR TO COMPLETION.
- CONTRACTOR TO OBTAIN A STRUCTURAL ENGINEER TO DESIGN AND PERMIT THE RETAINING WALL TO MEET CITY OF WINTER GARDEN REQUIREMENTS.
- REFER TO SHEET C0 - GENERAL NOTES FOR ADDITIONAL NOTES.

**REVISIONS**

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**SOLOMON'S AUTO BODY DEVELOPMENT**

14451 W COLONIAL DR  
WINTER GARDEN, FL 34787

**GEOMETRY, MARKING AND SIGNAGE PLAN**

**CLIENT:**

NESARALLI HOLDINGS LLC  
14451 W COLONIAL DR  
WINTER GARDEN, FL 34787

**LAM**  
Civil Engineering, Inc.

1320 W PINE STREET  
ORLANDO, FL 32805  
PHONE: 407-254-0040  
CELL: 407-234-8944

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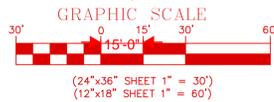
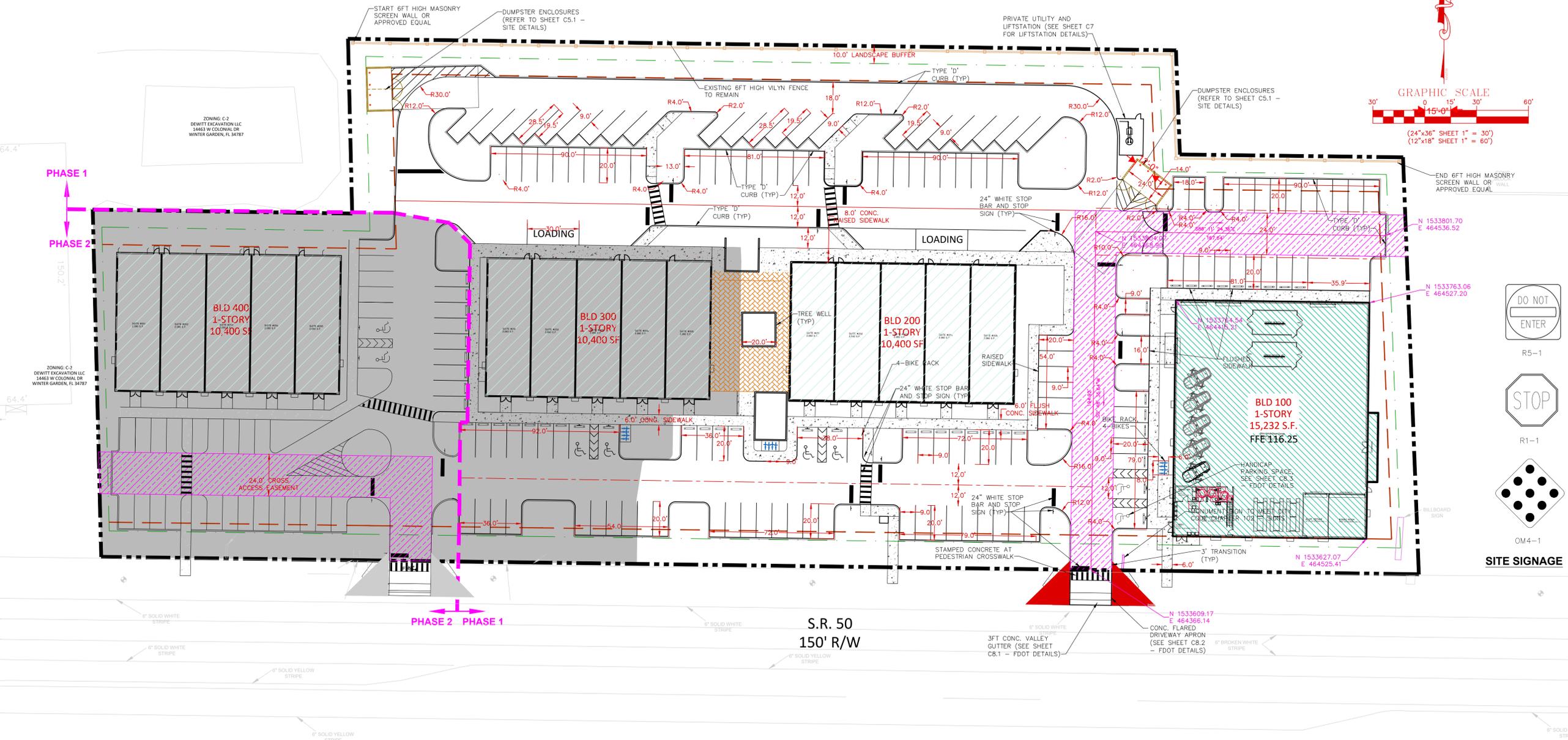
**PROJECT No.** 2020.018.02

**DATE:** 11-13-24

**DRAWN BY:** LCE

**APPROVED BY:** QTL

**SHEET** C1.1

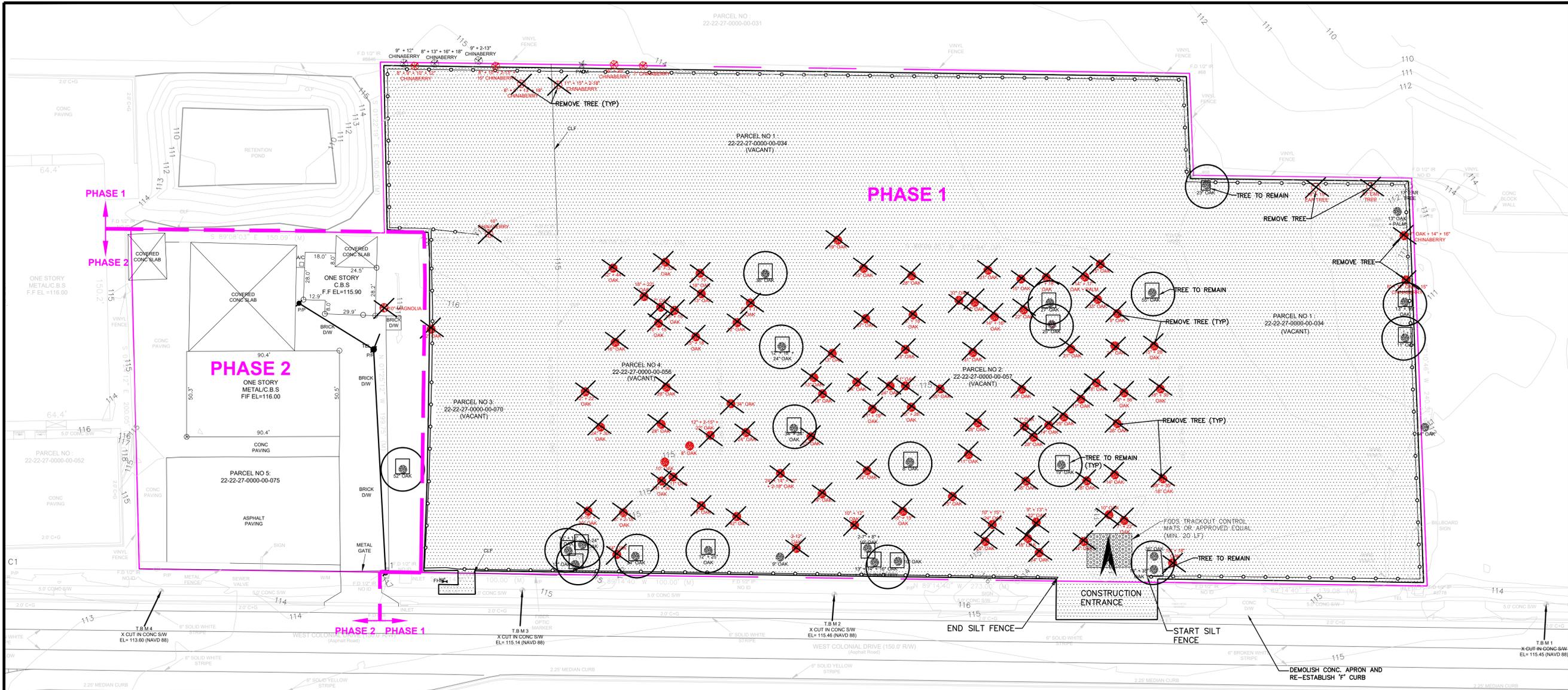


**SITE SIGNAGE**

S.R. 50  
150' R/W

ZONING: C-2  
DEWITT EXCAVATION LLC  
14463 W COLONIAL DR  
WINTER GARDEN, FL 34787

ZONING: C-3  
DEWITT EXCAVATION LLC  
14463 W COLONIAL DR  
WINTER GARDEN, FL 34787



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SOLOMONS' AUTO BODY DEVELOPMENT

14451 W COLONIAL DR  
WINTER GARDEN, FL 34787

**DEMOLITION AND  
EROSION CONTROL PLAN**

CLIENT:  
NESARALLI HOLDINGS LLC  
14451 W COLONIAL DR  
WINTER GARDEN, FL 34787

**LAM**  
Civil Engineering, Inc.

1320 W PINE STREET  
ORLANDO, FL 32805

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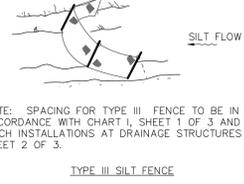
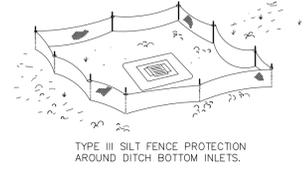
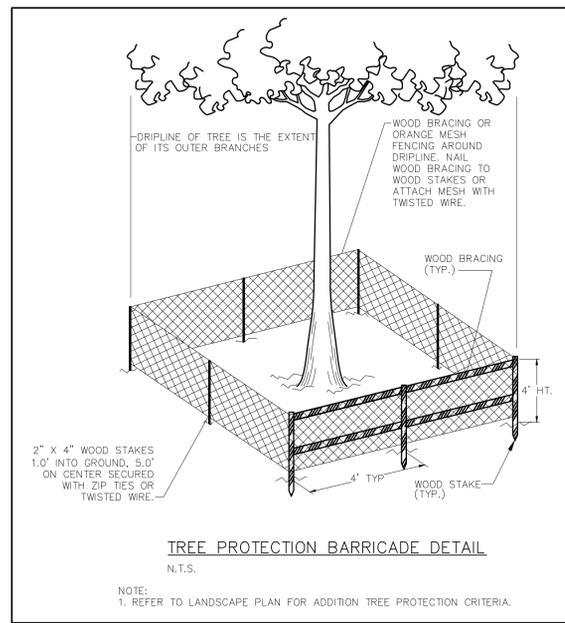
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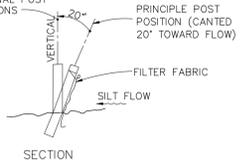
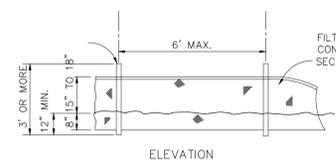
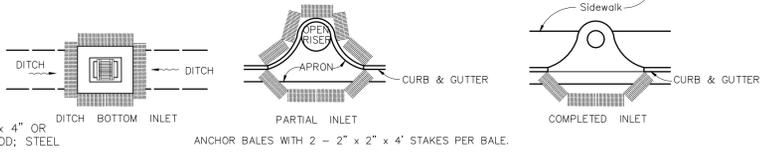
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**SHEET C2**



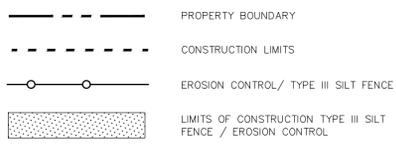
SILT FENCE APPLICATIONS



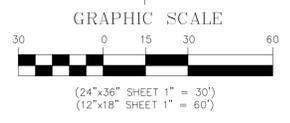
DEMOLITION AND EROSION CONTROL NOTES

- ANY CONSTRUCTION ADJACENT TO DITCH OR STORMWATER CONVEYANCE SYSTEM OR WATER BODY SHALL HAVE DOUBLE SILT FENCE AND/OR FLOATING TURBIDITY BARRIER TO PREVENT TURBID STORMWATER DISCHARGE OFFSITE.
- CONTRACTOR TO OBTAIN A SEPARATE TREE REMOVAL PERMIT WITH CITY OF WINTER GARDEN PRIOR TO ANY TREE REMOVAL.
- PRIOR TO GETTING CERTIFICATE OF OCCUPANCY FOR BUILDING 100, EXISTING AUTO REPAIR BUILDING WITHIN PHASE 3 WILL HAVE TO BE CLOSED. ONLY ONE AUTO REPAIR BUILDING TO BE OPERATIONAL DURING ANY ONE TIME.
- REFER TO SHEET C0 - GENERAL NOTES FOR DEMOLITION AND EROSION CONTROL NOTES.

DEMOLITION LEGEND



48 HOURS BEFORE DIGGING  
CALL  
1-800-432-4770  
SUNSHINE STATE ONE CALL CENTER

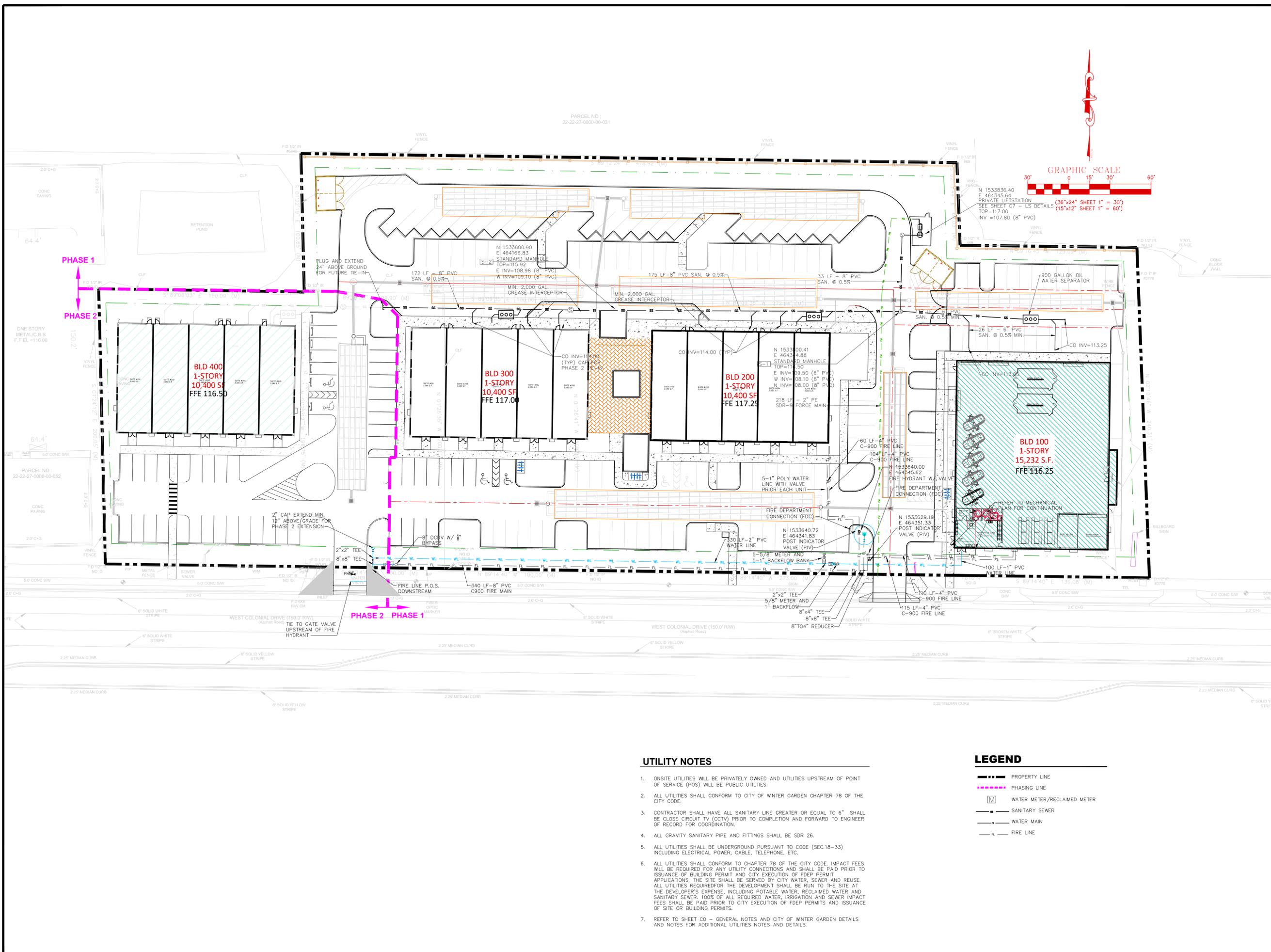


NOTE: SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (LF).  
NOTE: BALES TO BE STAKED AT THE DIRECTION OF THE ENGINEER.

TYPE III SILT FENCE

N.T.S.





UTILITY NOTES

1. ONSITE UTILITIES WILL BE PRIVATELY OWNED AND UTILITIES UPSTREAM OF POINT OF SERVICE (POS) WILL BE PUBLIC UTILITIES.
2. ALL UTILITIES SHALL CONFORM TO CITY OF WINTER GARDEN CHAPTER 78 OF THE CITY CODE.
3. CONTRACTOR SHALL HAVE ALL SANITARY LINE GREATER OR EQUAL TO 6" SHALL BE CLOSE CIRCUIT TV (CCTV) PRIOR TO COMPLETION AND FORWARD TO ENGINEER OF RECORD FOR COORDINATION.
4. ALL GRAVITY SANITARY PIPE AND FITTINGS SHALL BE SDR 26.
5. ALL UTILITIES SHALL BE UNDERGROUND PURSUANT TO CODE (SEC.18-33) INCLUDING ELECTRICAL POWER, CABLE, TELEPHONE, ETC.
6. ALL UTILITIES SHALL CONFORM TO CHAPTER 78 OF THE CITY CODE. IMPACT FEES WILL BE REQUIRED FOR ANY UTILITY CONNECTIONS AND SHALL BE PAID PRIOR TO ISSUANCE OF BUILDING PERMIT AND CITY EXECUTION OF FDEP PERMIT APPLICATIONS. THE SITE SHALL BE SERVED BY CITY WATER, SEWER AND REUSE. ALL UTILITIES REQUIRED FOR THE DEVELOPMENT SHALL BE RUN TO THE SITE AT THE DEVELOPER'S EXPENSE, INCLUDING POTABLE WATER, RECLAIMED WATER AND SANITARY SEWER. 100% OF ALL REQUIRED WATER, IRRIGATION AND SEWER IMPACT FEES SHALL BE PAID PRIOR TO CITY EXECUTION OF FDEP PERMITS AND ISSUANCE OF SITE OR BUILDING PERMITS.
7. REFER TO SHEET C0 - GENERAL NOTES AND CITY OF WINTER GARDEN DETAILS AND NOTES FOR ADDITIONAL UTILITIES NOTES AND DETAILS.

LEGEND

- PROPERTY LINE
- PHASING LINE
- [M] WATER METER/RECLAIMED METER
- SANITARY SEWER
- WATER MAIN
- FIRE LINE

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SOLOMON'S AUTO BODY DEVELOPMENT

14451 W COLONIAL DR  
WINTER GARDEN, FL 34787

UTILITY PLAN

CLIENT:

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14451 W COLONIAL DR  
WINTER GARDEN, FL 34787



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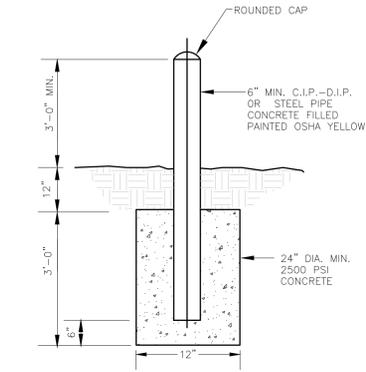
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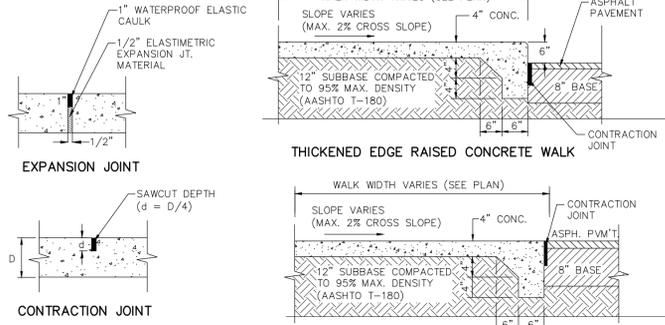
APPROVED BY: QTL

SHEET C4



DEPENDENT UPON THE FACILITY/DEVICE TO BE PROTECTED LARGER BOLLARDS AND CONCRETE ANCHORS MAY BE REQUIRED.

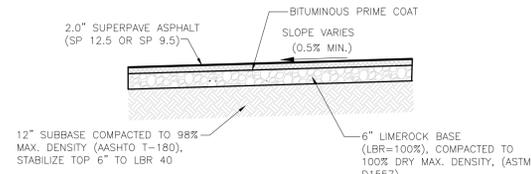
**BOLLARD DETAIL**  
N.T.S.



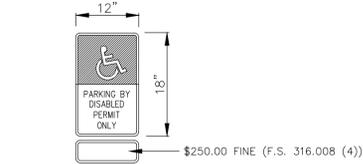
- NOTE:**
1. ALL CONCRETE SIDEWALKS SHALL HAVE A FULL 1/2" EXPANSION JOINT AT A MAXIMUM DISTANCE OF 40 LINEAR FEET AND A SAW CUT OR FORMED DUMMY CONTRACTION JOINT AT EVENLY SPACED INTERVALS NOT TO EXCEED 8 LINEAR FEET.
  2. ALL CONCRETE SHALL BE 3,000 PSI CONCRETE WITH FIBER MESH REINFORCEMENT (1.5 LB/CY OF CONCRETE) PER FDOT SPEC. #350.
  3. 4" THICK SIDEWALK WITH LIGHT BROOM FINISH & TROWELED EDGE.

**SIDEWALK DETAILS**

N.T.S.



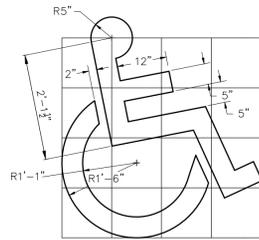
- NOTES:**
1. REFER TO GEOTECHNICAL REPORT BY MTE, INC. ENTITLED SOLOMON'S AUTO BODY COMMERCIAL PROPERTY DATED AUGUST 24, 2020 FOR PAVEMENT RECOMMENDATION.
  2. ALTERNATIVE LIMEROCK IS 6" CRUSHED CONCRETE WITH LBR=125 COMPACTED TO 100% OF MAX. DRY DENSITY (ASTM D1557)
  3. ALL COMPACTION SHALL BE 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T-180).



- NOTES:**
1. FTP-20-06 PER FDOT INDEX 17355 (SHEET 2 OF 11).
  2. ALL LETTERS ARE 1" SERIES "C", PER MUTCD.
  3. TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
  4. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
  5. ONE (1) SIGN IS REQUIRED FOR EACH PARKING SPACE. 5. HEIGHT OF SIGN SHALL 7'-0" MINIMUM FROM FINISHED GROUND TO BOTTOM OF SIGN.

**HANDICAP PARKING SIGN DETAIL**

N.T.S.

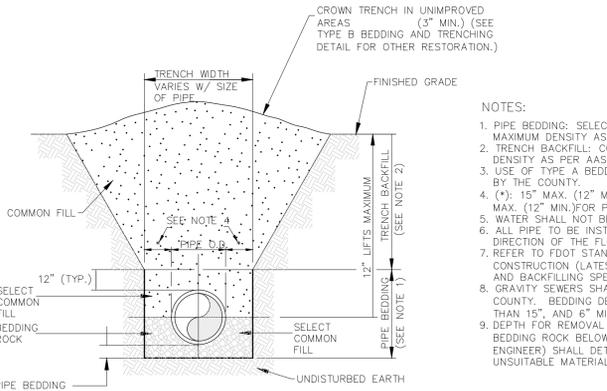


**HANDICAP SYMBOL DETAIL**

- NOTE:**
1. HANDICAP SPACE IS TO BE OUTLINED IN A 4" BLUE PAINTED STRIPE
  2. HANDICAP LONGITUDINAL AND CROSS SLOPES SHALL NOT EXCEED 2%.
  3. HANDICAP PARKING SPACES SHALL MEET ALL ADA STANDARDS FOR HANDICAP ACCESSIBILITY. (28 CFR PART 36 LATEST EDITION)

**HANDICAP DETAILS**

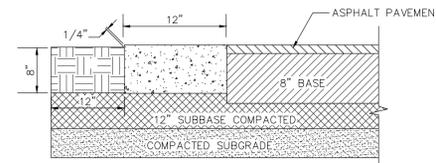
N.T.S. (FDOT INDEX #17346)



- NOTES:**
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180
  2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  3. USE OF TYPE A BEDDING TO BE DETERMINED IN THE FIELD AS DIRECTED BY THE COUNTY.
  4. (\*): 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. (12" MIN.) FOR PIPE DIAMETER 24" AND LARGER.
  5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
  6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
  7. REFER TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SECTION 125 FOR ADDITIONAL EXCAVATION AND BACKFILLING SPECIFICATION.
  8. GRAVITY SEWERS SHALL UTILIZE TYPE A BEDDING, IF REQUIRED BY THE COUNTY. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER LESS THAN 15", AND 6" MINIMUM FOR PIPE DIAMETER 16" AND LARGER.
  9. DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL GOVERN DEPTH OF BEDDING ROCK BELOW THE PIPE. THE TESTING SERVICE (GEOTECHNICAL ENGINEER) SHALL DETERMINE IN THE FIELD THE REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION.

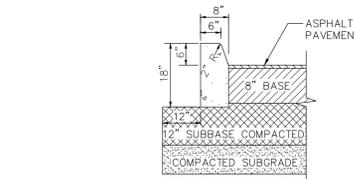
**TYPE A BEDDING AND TRENCHING DETAIL**

N.T.S.



**CONCRETE RIBBON CURB**

N.T.S.

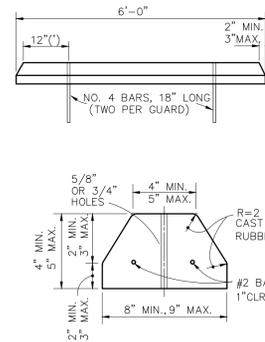


**NOTE:** WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

1. ALL CONCRETE SHALL BE 3,000 PSI CONCRETE WITH FIBER MESH REINFORCEMENT (1.5 LB/CY OF CONCRETE) PER FDOT SPEC. #350.
2. 8" BASE SHALL CONSIST OF 8" LIMEROCK BASE, COMPACTED TO 98% MAXIMUM DENSITY, LBR=100 (AASHTO T-180).
3. 12" SUBBASE COMPACTED TO 98% MAXIMUM DENSITY (AASHTO T-180). STABILIZE TO LBR=40.
4. COMPACTED SUBGRADE MINIMUM 12" AT 6" LIFT INCREMENT.

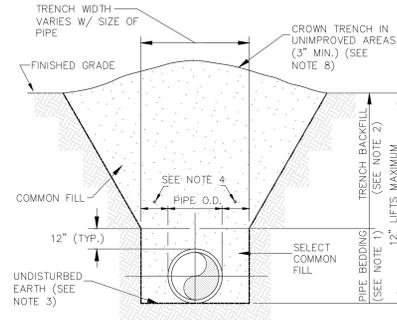
**TYPE 'D' CURB**

N.T.S. (FDOT INDEX #300)



**CONCRETE BUMPER GUARD**

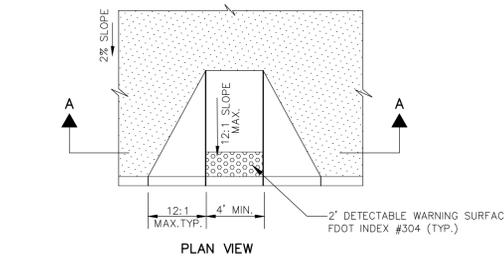
N.T.S.



**BEDDING AND TRENCHING DETAIL**

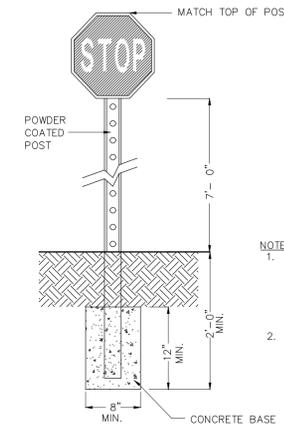
N.T.S.

- NOTES:**
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE COUNTY.
  4. (\*): 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. (12" MIN.) FOR PIPE DIAMETER 24" AND LARGER.
  5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
  6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW. REFER TO THE SPECIFICATIONS FOR SHEETING AND BRACING IN EXCAVATIONS. 7. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES.
  7. REFER TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SECTION 125 FOR ADDITIONAL EXCAVATION AND BACKFILLING SPECIFICATION.



**TYPICAL HANDICAP RAMP**

N.T.S. (FDOT #304)



**TRAFFIC SIGNAGE INSTALLATION**

N.T.S.

- NOTE:**
1. SIGNAGE TO CONFORM TO LATEST FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND FDOT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  2. SEE PLANS FOR SIGNAGE TYPES AND LOCATIONS.

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6	05/14/24	CITY OF WINTER GARDEN COMM.	QTL

**SOLOMON'S AUTO BODY DEVELOPMENT**  
14451 W COLONIAL DR  
WINTER GARDEN, FL 34787

**SITE DETAILS**

CLIENT:  
NESARALLI HOLDINGS LLC  
14451 W COLONIAL DR  
WINTER GARDEN, FL 34787

**LAM**  
Civil Engineering, Inc.

1320 W PINE STREET  
ORLANDO, FL 32805

PHONE: 407-254-0040  
CELL: 407-234-8944

CERTIFICATE OF AUTHORIZATION No. 27340

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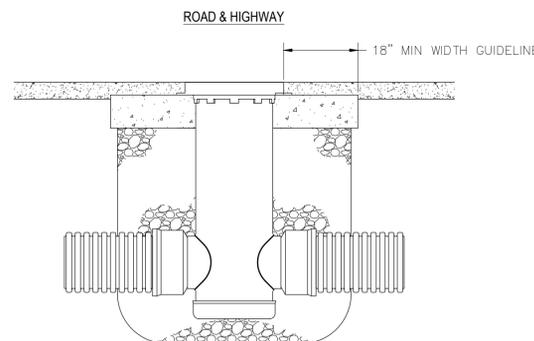
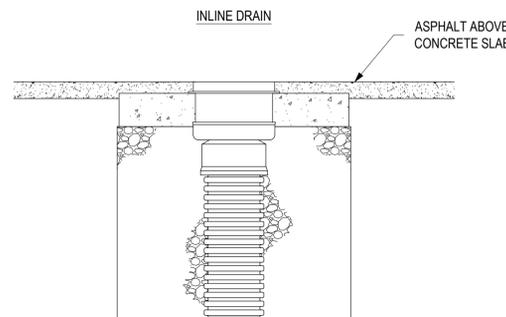
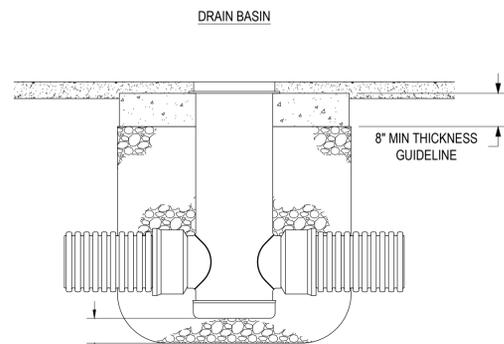
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QUANG T. LAM, P.E.  
FL REGISTRATION No. 62550

DATE

PROJECT No.	2020.018.02
DATE:	11-13-24
DRAWN BY:	LCE
APPROVED BY:	QTL
<b>SHEET</b>	<b>C5</b>

### ASPHALT INSTALLATION

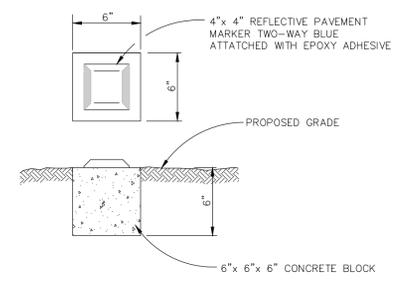


STRUCTURE SIZE	H-20 GRATE OPTIONS			
	12"	15"	18"	24"
12"	N/A	STANDARD	SOLID	2X2 R&H
15"	N/A	STANDARD	SOLID	2X2 R&H
18"	N/A	STANDARD	SOLID	2X2 R&H
24"	N/A	STANDARD	SOLID	2X2 R&H
30"	PEDESTRIAN	STANDARD	SOLID	2X2 R&H
36"	PEDESTRIAN	STANDARD	SOLID	2X2 R&H

- 1 - THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.
- 2 - TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS.
- 3 - 36" DRAIN BASIN REQUIRES 36"x30" REDUCING CONE. REDUCING CONE REQUIRES MINIMUM 2.25FT FROM GRADE TO TOP OF PIPE.

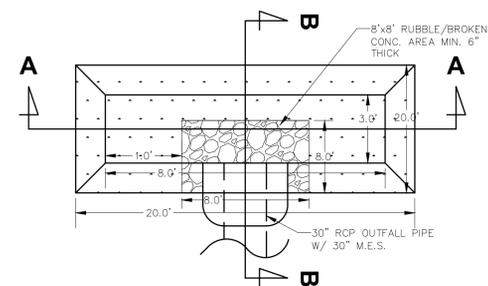
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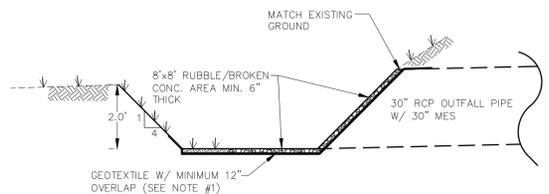


NOTE: DELINEATORS ARE TO BE PLACED NO MORE THAN 50 FEET APART (ON CENTER) IN STRAIGHT AREAS. ALONG CURVES DELINEATORS ARE TO BE PLACED NO MORE THAN 30 FEET APART TO ENSURE PROPER DELINEATION.

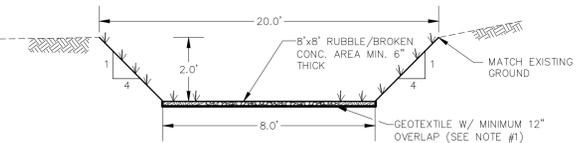
**FIRE ACCESS DELINEATOR DETAIL**  
N.T.S.



**GRASS SPREADER SWALE (GSS) PLAN VIEW**  
N.T.S.



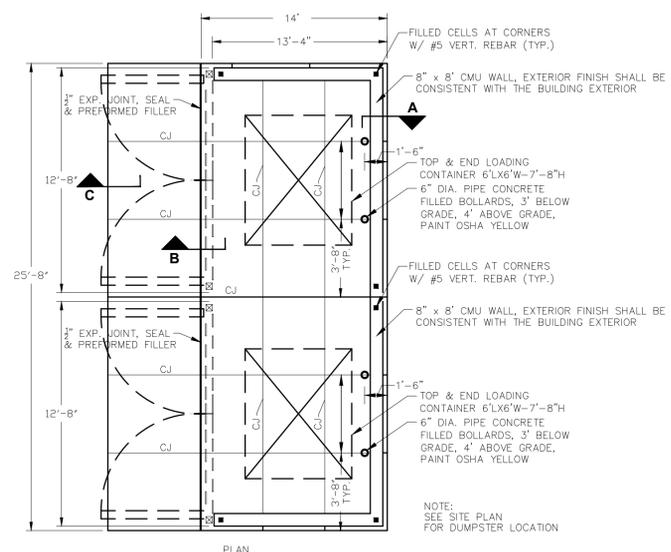
**GSS SECTION B-B**  
N.T.S.



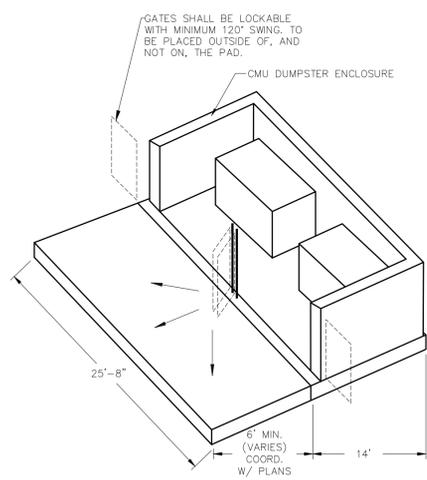
**GSS SECTION A-A**  
N.T.S.

**GRASS SPREADER SWALE DETAIL**  
N.T.S.

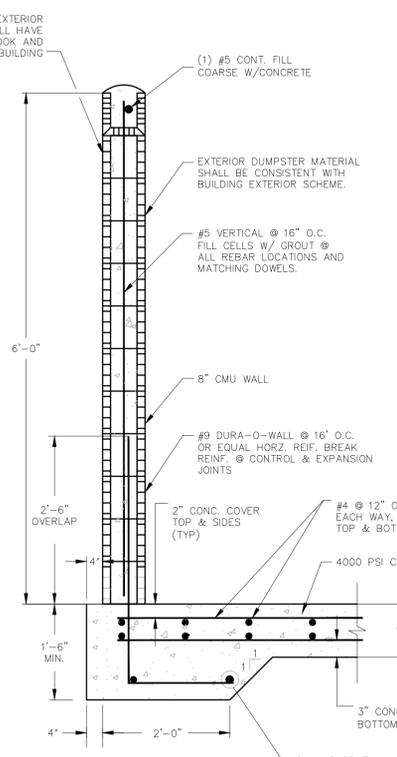
- NOTE:
1. AREA UNDER RUBBLE/BROKEN CONCRETE SHALL BE STABILIZE AND HAVE GEOTEXTILE WITH MINIMUM 12" OVERLAP (FDOT INDEX #199).
  2. SOD SHALL BE NO MUCK GROWN BAHIA TYPE.



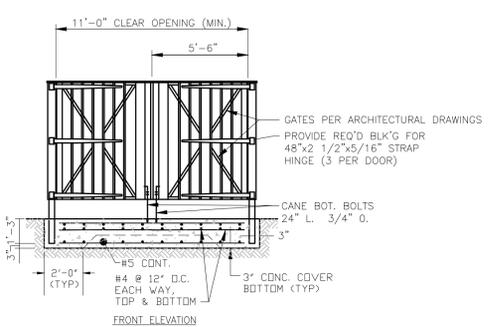
**DUMPSTER PAD DETAIL PLAN**  
N.T.S.



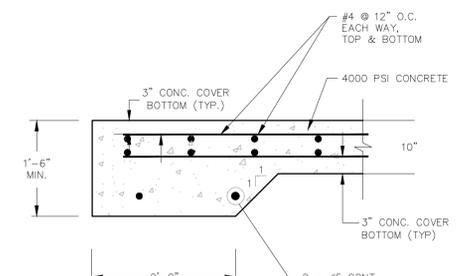
**DUMPSTER PAD DETAIL ISOMETRIC**  
N.T.S.



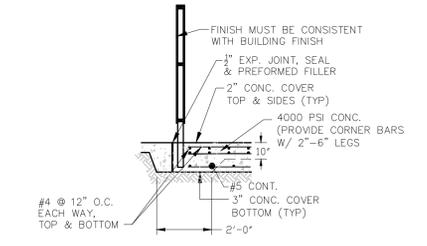
**SECTION A DUMPSTER ENCLOSURE**  
N.T.S.



**DUMPSTER GATE DETAIL**  
N.T.S.



**SECTION C TYP. TURN-DOWN-SLAB EDGE**  
N.T.S.



**SECTION B TRASH DUMPSTER GATE**  
N.T.S.

### REVISIONS

### SOLOMON'S AUTO BODY DEVELOPMENT

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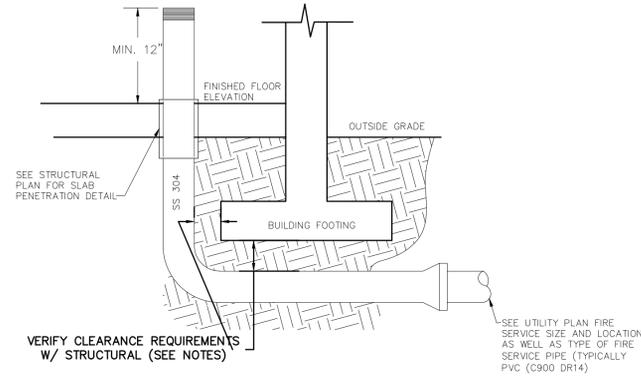
PROJECT No. 2020.018.02

DATE: 11-13-24

DRAWN BY: LCE

APPROVED BY: QTL

SHEET C5.1

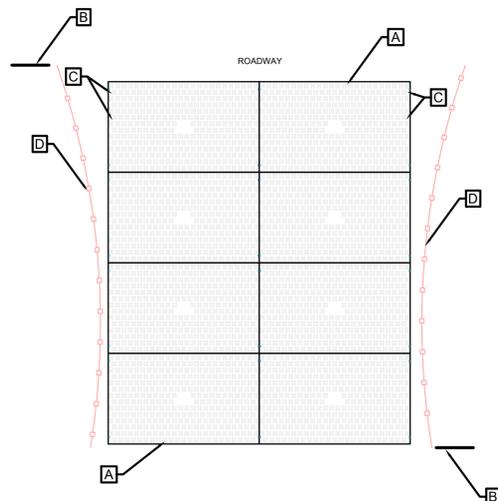


**FIRE RISER STUB-UP DETAIL**  
N.T.S.

- NOTES:**
- CONTRACTOR(S) SHALL ALWAYS ENSURE THAT ALL CONSTRUCTION SHOWN HEREON MEETS THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION (AHJ), AS MANY FIRE REVIEWERS, INSPECTORS, MARSHALS, ETC HAVE VARYING REQUIREMENTS, AS ALLOWED IN THE NATIONAL FIRE PROTECTION CODE (NFPA).
  - RESTRAIN ALL JOINTS PER OCU RESTRAINING FIGURE A104-1 AND A104-2.
  - RISER ASSEMBLY TO MEET F.S. 633.539.
  - ENTIRE ASSEMBLY TO BE INSTALLED, TESTED AND FLUSHED AS ONE LINE BY THE SITE CONTRACTOR TO THE FLANGE AS SHOWN.
  - ENSURE NO PIPE JOINTS ARE UNDERNEATH BUILDING FOOTER PER NFPA 13 10.6.5.
  - SERVICE MAINS MUST NOT RUN UNDER BUILDING(S) UNLESS SPECIAL PRECAUTIONS ARE TAKEN (I.E. ARCHED FOUNDATION WALLS, COVERED TRENCHING, AND ISOLATION VALVE(S), PER NFPA 24 10.6 AND NFPA 13 10.6.2 WHERE THE UNDERGROUND PIPING MUST PASS THROUGH THE FOUNDATION TO ATTACH TO THE RISER, PROVIDE CLEARANCE TO PREVENT BREAKAGE OF THE PIPING DUE TO BUILDING SETTLEMENT PER NFPA 13 9.3.4. ENSURE PIPE OPENINGS ARE THROUGH PIPE SLEEVES FOUR INCHES LARGER THAN THE NOMINAL PIPE DIAMETER AND FILLED WITH ASPHALT MASTIC OR SIMILAR FLEXIBLE WATERPROOFING MATERIAL. CONTRACTOR TO COORDINATE WITH STRUCTURAL ENGINEER AND FIRE PROTECTION ENGINEER AS NECESSARY.

**FODS TRACKOUT CONTROL SYSTEM INSTALLATION**

THE PURPOSE AND DESIGN OF THE FODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A DISTURBED LAND AREA ONTO A PAVED STREET. THIS MANUAL IS A PLATFORM FROM WHICH TO INSTALL A FODS TRACKOUT CONTROL SYSTEM. (NOTE: THIS IS NOT A ONE SIZE FITS ALL GUIDE.) THE INSTALLATION MAY NEED TO BE MODIFIED TO MEET THE EXISTING CONDITIONS, EXPECTATIONS, OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE. ULTIMATELY THE FODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.



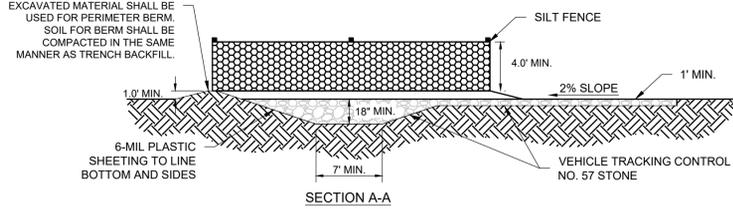
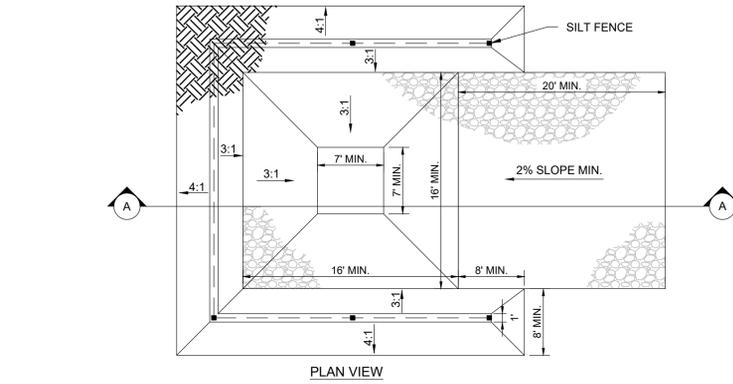
**TYPICAL ENTRANCE LAYOUT**

- KEY NOTES:**
- FODS TRACKOUT CONTROL SYSTEM MAT.
  - FODS SAFETY SIGN.
  - ANCHOR POINT.
  - SILT OR ORANGE CONSTRUCTION FENCE.

- INSTALLATION:**
- THE SITE WHERE THE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
  - CALL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE OF FODS TRACKOUT CONTROL SYSTEM INSTALLATION FOR THE MARKING OF UNDERGROUND UTILITIES. CALL THE UTILITY NOTIFICATION CENTER AT 811.
  - ONCE THE SITE IS ESTABLISHED WHERE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED, ANY EXCESSIVE UNEVEN TERRAIN SHOULD BE LEVELED OUT OR REMOVED SUCH AS LARGE ROCKS, LANDSCAPING MATERIALS, OR SUDDEN ABRUPT CHANGES IN ELEVATION.
  - THE INDIVIDUAL MATS CAN START TO BE PLACED INTO POSITION. THE FIRST MAT SHOULD BE PLACED NEXT TO THE CLOSEST POINT OF EGRESS. THIS WILL ENSURE THAT THE VEHICLE WILL EXIT STRAIGHT FROM THE SITE ONTO THE PAVED SURFACE.
  - AFTER THE FIRST MAT IS PLACED DOWN IN THE PROPER LOCATION, MATS SHOULD BE ANCHORED TO PREVENT THE POTENTIAL MOVEMENT WHILE THE ADJOINING MATS ARE INSTALLED. ANCHORS SHOULD BE PLACED AT EVERY ANCHOR POINT (IF FEASIBLE) TO HELP MAINTAIN THE MAT IN ITS CURRENT POSITION.
  - AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT.
  - ONCE THE SECOND MAT IS PLACED ADJACENT TO THE FIRST MAT, MAKE SURE THE H BRACKET IS CORRECTLY SITUATED BETWEEN THE TWO MATS, AND SLIDE MATS TOGETHER.
  - NEXT THE CONNECTOR STRAPS SHOULD BE INSTALLED TO CONNECT THE TWO MATS TOGETHER.
  - UPON PLACEMENT OF EACH NEW MAT IN THE SYSTEM, THAT MAT SHOULD BE ANCHORED AT EVERY ANCHOR POINT TO HELP STABILIZE THE MAT AND ENSURE THE SYSTEM IS CONTINUOUS WITH NO GAPS IN BETWEEN THE MATS.
  - SUCCESSIVE MATS CAN THEN BE PLACED TO CREATE THE FODS TRACKOUT CONTROL SYSTEM REPEATING THE ABOVE STEPS.

- USE AND MAINTENANCE**
- VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT CUT ACROSS THE MATS.
  - DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S-TURN ROUTE DOWN THE LENGTH OF THE FODS TRACKOUT CONTROL SYSTEM.
  - MATS SHOULD BE CLEANED ONCE THE VOIDS BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY.
  - THE USE OF ICE MELT, ROCK SALT, SNOW MELT, DE-ICER, ETC. SHOULD BE UTILIZED AS NECESSARY DURING THE WINTER MONTHS AND AFTER A SNOW EVENT TO PREVENT ICE BUILDUP.

- REMOVAL**
- REMOVAL OF FODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION.
  - STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE INNERMOST POINT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST.
  - THE ANCHORS SHOULD BE REMOVED.
  - THE CONNECTOR STRAPS SHOULD BE UNBOLTED AT ALL LOCATIONS IN THE FODS TRACKOUT CONTROL SYSTEM.
  - STARTING WITH THE LAST MAT IN THE SYSTEM, EACH SUCCESSIVE MAT SHOULD THEN BE MOVED AND STACKED FOR LOADING BY FORKLIFT OR EXCAVATOR ONTO A TRUCK FOR REMOVAL FROM THE SITE.



**CONCRETE WASHOUT DETAIL**  
N.T.S.

**CONCRETE WASHOUT AREA INSTALLATION NOTES:**

- CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
- CONCRETE WASHOUT AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8'X8'. THE SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1. THE DEPTH OF THE PIT SHALL BE AT LEAST 3'. THE BERM SURROUNDING THE SIDES AND BACK OF THE CONCRETE WASHOUT AREA SHALL HAVE A HEIGHT OF 1'. THE VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASHOUT AREA. A SILT FENCE SHALL BE INSTALLED ALONG THE TOP OF THE PERIMETER BERM PER THE DETAIL.
- VEHICLE TRACKING CONTROL IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS.
- A CURB STEP SHALL BE IMPLEMENTED IF A CURB EXISTS AT THE ACCESS POINT TO THE CONCRETE WASHOUT AREA.
- HIGHLY VISIBLE SIGNS SHALL BE PLACED AT THE CONSTRUCTION SITE ENTRANCE, WASHOUT AREA AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION(S) OF THE CONCRETE WASHOUT AREA(S) TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.

**CONCRETE WASHOUT AREA INSPECTION AND MAINTENANCE NOTES:**

- THE CITY SITE INSPECTOR SHALL INSPECT THE CONCRETE WASHOUT AREA AT THE FOLLOWING INTERVALS:
  - AFTER INITIAL INSTALLATION.
  - AT LEAST WEEKLY WHILE THE CONCRETE WASHOUT AREA IS PRESENT ON SITE.
- CONCRETE WASHOUT MATERIALS SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
- CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- WHEN CONCRETE WASHOUT AREAS ARE REMOVED, EXCAVATIONS SHALL BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOP SOIL, ANY DISTURBED AREAS ASSOCIATED WITH INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED AND MULCHED.
- CONCRETE WASHOUT CONTAINERS ARE RECOMMENDED TO BE PLACED INSIDE THE CONCRETE WASHOUT AREA FOR LESS MAINTENANCE.
- CONCRETE WASHOUT CONTAINERS ARE NOT AN ACCEPTABLE SUBSTITUTE FOR CONCRETE WASHOUT AREAS.**

**REVISIONS**

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WINTER GARDEN, FL 34787

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1320 W PINE STREET  
ORLANDO, FL 32805  
PHONE: 407-254-0040  
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CERTIFICATE OF  
AUTHORIZATION No. 27340

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QUANG T. LAM, P.E.  
FL REGISTRATION No. 62550

DATE

<b>PROJECT No.</b>	<b>2020.018.02</b>
<b>DATE:</b>	<b>11-13-24</b>
<b>DRAWN BY:</b>	<b>LCE</b>
<b>APPROVED BY:</b>	<b>QTL</b>
<b>SHEET</b>	<b>C5.2</b>



STORMTECH CHAMBER SPECIFICATIONS

- 1. CHAMBERS SHALL BE STORMTECH SC-740 OR SC-310.
2. CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS.
3. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPIDE FLOW OR LIMIT ACCESS FOR INSPECTION.
4. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
5. CHAMBERS SHALL MEET ASTM F2922 (POLYETHYLENE) OR ASTM F2418-16 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
6. CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
7. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
a. A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
b. A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET. THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 OR ASTM F2922 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
c. STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
8. CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

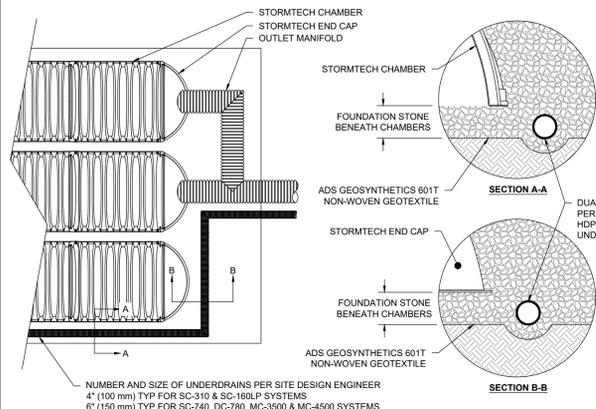
IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310/SC-740 SYSTEM

- 1. STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
- STONESHOOTER LOCATED OFF THE CHAMBER BED.
- BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
- BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
4. THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
6. MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
7. EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4"-2" (20-50 mm).
8. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
9. ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

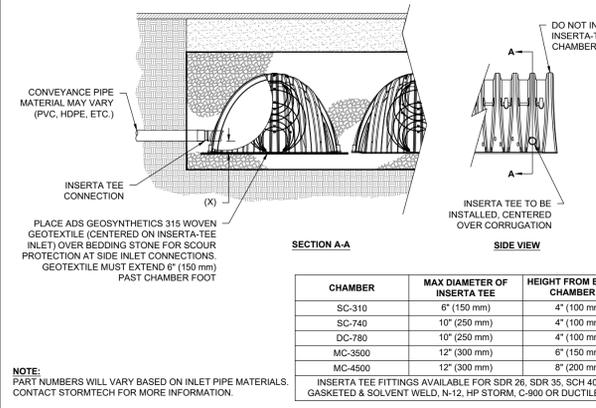
NOTES FOR CONSTRUCTION EQUIPMENT

- 1. STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
2. THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
- NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
- NO RUBBER Tired LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
3. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



5 UNDERDRAIN DETAIL



6 INSERTA-TEE SIDE INLET DETAIL

Table with columns: CHAMBER, MAX DIAMETER OF INSERTA TEE, HEIGHT FROM BASE OF CHAMBER (X). Rows include SC-310, SC-740, DC-780, MC-3500, MC-4500.

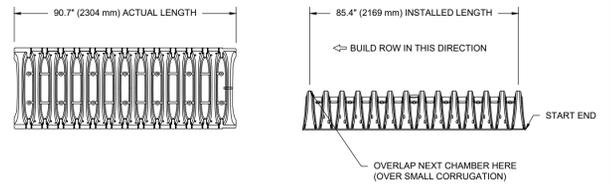
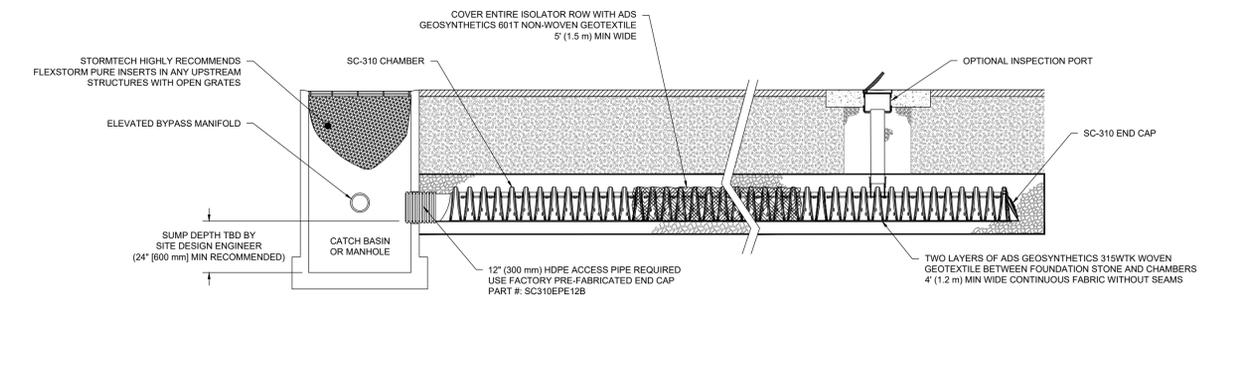


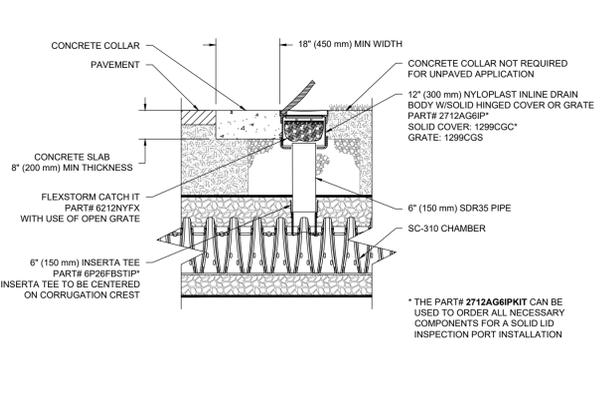
Table with columns: PART #, STUB, A, B, C. Rows include SC310EP06T, SC310EP06BPC, SC310EP08T, SC310EP08BPC, SC310EP10T, SC310EP10BPC, SC310EPE12B.

PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B". PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T". ALL STUBS, EXCEPT FOR THE SC310EPE12B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP.

2 SC-310 TECHNICAL SPECIFICATIONS



3 SC-310 ISOLATOR ROW DETAIL



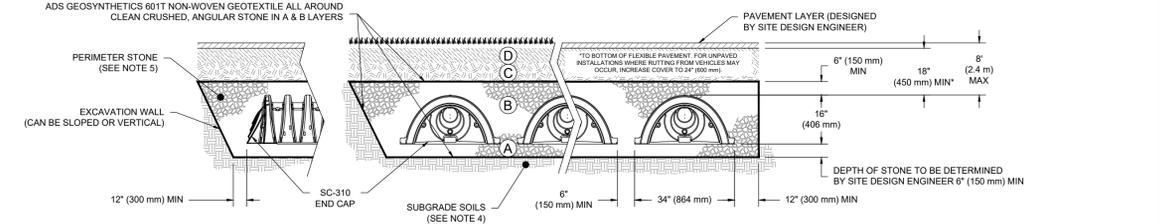
INSPECTION & MAINTENANCE
STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
A. INSPECTION PORTS (IF PRESENT)
A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
B. ALL ISOLATOR ROWS
B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
B.3. REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
C. VACUUM STRUCTURE SUMP AS REQUIRED
STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.
NOTES
1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

4 SC-310 6" (150 mm) INSPECTION PORT DETAIL

ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

Table with columns: MATERIAL LOCATION, DESCRIPTION, AASHTO MATERIAL CLASSIFICATIONS, COMPACTION / DENSITY REQUIREMENT. Rows include FINAL FILL, INITIAL FILL, EMBEDMENT STONE, and FOUNDATION STONE.

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M45) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:
1. SC-310 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
4. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
5. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
6. ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

1 SC-310 CROSS SECTION DETAIL

REVISIONS table with columns: No., DATE, DESCRIPTION, APP'D BY. Includes revisions for CITY OF WINTER GARDEN COMM.

SOLOMON'S AUTO BODY DEVELOPMENT
14451 W COLONIAL DR
WINTER GARDEN, FL 34787
STORMTECH DETAILS AND NOTES

CLIENT:
NESARALLI HOLDINGS LLC
14451 W COLONIAL DR
WINTER GARDEN, FL 34787

LAM Civil Engineering, Inc.
1320 W PINE STREET
ORLANDO, FL 32805
PHONE: 407-254-0040
CELL: 407-234-8944
CERTIFICATE OF AUTHORIZATION No. 27340

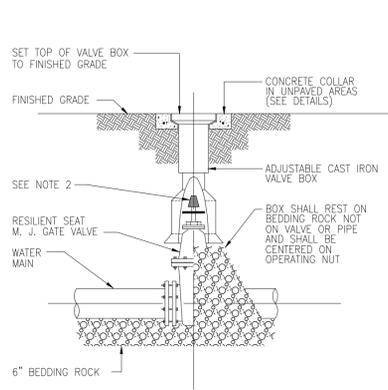
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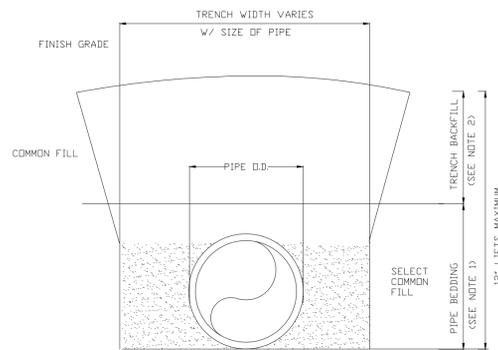
PROJECT No. 2020.018.02
DATE: 11-13-24
DRAWN BY: LCE
APPROVED BY: QTL

SHEET C5.3



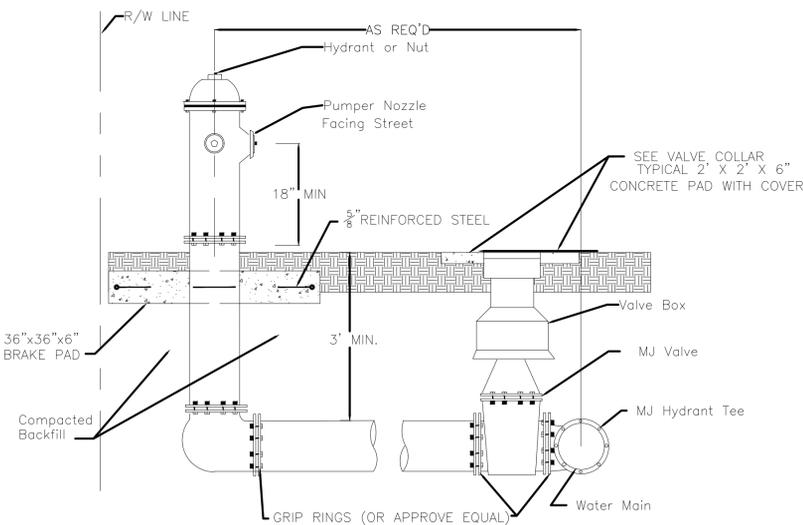
- NOTES:  
 1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.  
 2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.

GATE VALVE AND BOX DETAIL

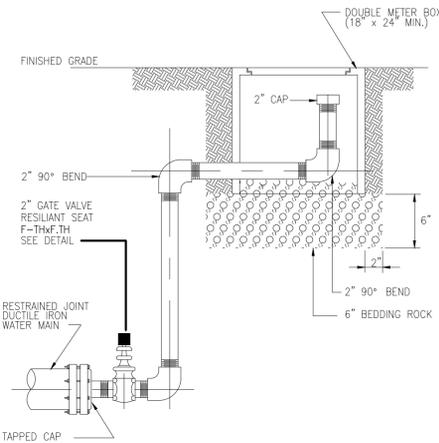


- NOTES:  
 1. PIPE BEDDING: FDOT SELECT BACKFILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T - 180  
 2. TRENCH BACKFILL: FDOT SELECT STRUCTURAL BACKFILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T - 180.  
 3. (\*): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.  
 4. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.  
 5. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.

STANDARD BEDDING DETAIL

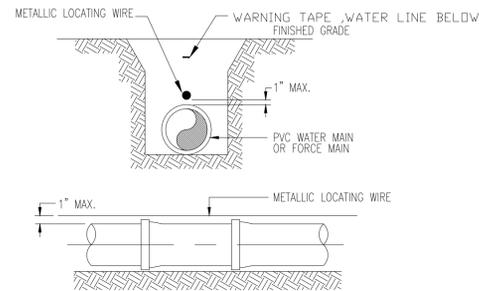


TYPICAL HYDRANT SETTING DETAIL



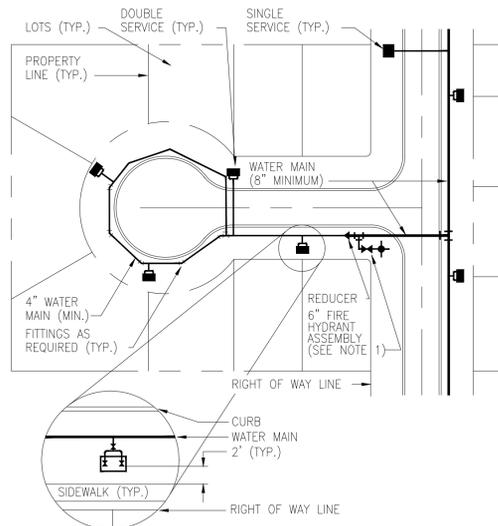
- NOTES:  
 1. ALL 2" PIPE AND FITTINGS SHALL BE SCHEDULE 40 GALVANIZED STEEL OR BRASS WITH THREADED (NPT) JOINTS.

BLOWOFF VALVE DETAIL



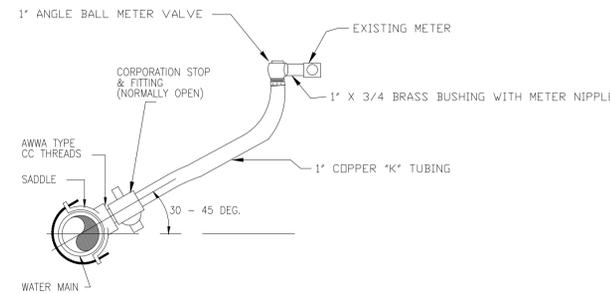
- NOTES:  
 1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (14 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR  
 2. AND SHALL BE ATTACHED TO THE TOP OF PIPE WITH DUCK TAPE, AT LEAST FIVE TIMES PER JOINT  
 3. LOCATING WIRE SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND COVER  
 4. AND BE CAPABLE OF EXTENDING 12" ABOVE TOP OF BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION.

PVC PIPE LOCATING WIRE DETAIL

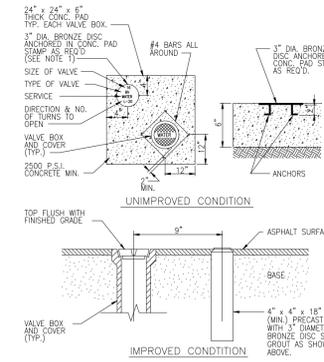


- NOTES:  
 1. ANCHORING TYPE 90° BEND SHALL ONLY BE USED WHERE RIGHT-OF-WAY CONSTRUCTIONS WILL NOT ALLOW INSTALLATION OF A STRAIGHT ASSEMBLY.  
 2. METER BOX TO BE INSTALLED BY CONTRACTOR  
 3. ALL SERVICES AT LOT LINES.

WATER SERVICE LOCATION DETAIL



WATER SERVICE CONNECTION DETAILS



- NOTES:  
 1. BRONZE IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES 16" AND LARGER, OR AS REQUIRED BY THE CITY FOR CRITICAL OFFSITE VALVES.  
 2. VALVE COLLAR DIMENSIONS MAY BE REDUCED TO 18" X 18" X 6" WHEN THE BRONZE IDENTIFICATION DISC IS NOT REQUIRED.

VALVE COLLAR DETAIL

Materials Manufacture

- Service Connections: - 2" connections Brass fittings  
 Gate Valves: - Size 2"  
 Mueller A2360  
 AVR Resilient steel valve  
 American Flow 2500  
 Butterfly Valves: - Larger than 12"  
 Mueller Lineseel III M. J.  
 Kennedy BFV, Fig. 30  
 Fittings: - 4" and larger (Domestic Ductile Iron)  
 Pipe: - 2" PVC SDR-21  
 4" to 12" PVC, C-900 DR-18 Class 150  
 Larger than 12" - Ductile Iron Class 51  
 Tubing: - 1" Copper K  
 Tapping Valve: - Mueller T - 2360 - 16  
 American Flow AFC 2500  
 Kennedy 950-X  
 Tapping Sleeve: - (Fabricated Steel)  
 For size on size tap Mueller #H304 American Flow 2800  
 Mueller #615 Ford - FTSC Fast  
 JCM 432 JCM 412 ESS  
 Mueller H624  
 Restrained Fittings: - (PVC Pipe)  
 JCM - 610 Surgripe  
 Romac - Gripe Ring 611, 612, 613  
 Check Valves: - American Flow 525C  
 Mueller MA-2600-6-01 LW  
 Corporation Stops: - 3/4" & 1" - Mueller 110-H-15008  
 3/4" & 1" - Ford F-1000

Curb Stops

- (full part) 3/4" & 1" Mueller B-20200 F.I.P.  
 3/4" Ford B11-333-W  
 3/4" Ford AV11-333W (angle curb stop)  
 1" Ford B 41-444-W  
 1" Ford BA41-444-W (angle curb stop)  
 3/4" MUELLER curb stop full port #14285  
 1" MUELLER curb stop full port B24275

Fire Hydrant Distance Requirements:

- Zoning Class Distance  
 R-1 800 feet  
 R-2, R-3, R-NC, PUD's 500 feet  
 C-1, C-2, C-3, C-4, I-1 500 feet  
 I-2 300 feet  
 Fire hydrant point: -  
 Sherwin-Williams Industrial Yellow B 54437

General Notes: Revised February 13, 1999

- All private water systems shall have a City approved backflow device assembly at each connection point to the City water system.
- Repairs to new water lines, to obtain specified pressure test, will not allowed up to a number equal to 10 % of the total number of joint connections.
- All mains and service laterals shall be hydrostatically tested at 150 psi for a two hour period.
- Fire hydrant meter is required for any water usage in project (City will provide). Cost \$25,000 (non-refundable) deposit and \$1000.00 security deposit required. Billing is monthly for consumption used.
- Warning tape, non-detectable, size 2" with "Water Line Below", must be placed 8" to 12" below finished grade on all PVC water mains, laterals and header tees, number 14 gauge tracer wire shall be attached to the top of the pipe with duct tape, at least five times per joint. The tracer wire shall also be attached to all PVC laterals and extended to the top of each valve box on the inside so that a pipe locator can be connected to it.
- City Engineer and Utilities Director must approve any item or change not mentioned or covered in our standard specifications or details.
- Only City employees are permitted to open or close any valves or fire hydrants owned by or connected to the City water system.
- No solvent cement joints shall be accepted.
- Thrust blocks - use only if retainer fittings or all thread rods cannot be used.
- Water main depth to be a minimum of 36" and a maximum of 42" below final grade.
- All service laterals must be uniform distance between curb and sidewalk and located on property lot line.
- No splicing together of customer service laterals will be allowed between the water main and curb stop.
- Schedule 80 PVC to be used on 2" header tee assembly for multi-service laterals with brass fittings.
- Curbs must be imprinted with a "W" inside of a painted square (blue), directly in front of each service lateral.
- Depth of curb stop, in meter box, must be 8" below finished grade.
- Main valve no more than 1,000 feet apart.
- Valves at all T's and crosses

Acceptable Material List

Materials Manufacture

- U-Branch - 1"x3/4"x7"-1/2" Mueller H-15363  
 1"x3/4"x7" 1/2" Ford U-48-43  
 Compression Coupling: - 3/4" thru 2"  
 Dresser style 65  
 Smith-Blair 522  
 JCM 220  
 Compression Tees: - 3/4" thru 2"  
 Dresser style 65  
 JCM 223  
 Service Saddles: - cc thread outlet - 1"  
 Mueller DB 2 A - 100  
 Ford 202  
 JCM 402-0480-07 & 09  
 Valve Boxes: - Tyler 461-S 18" - 24"  
 Tyler 562-S 24" - 36"  
 Fire Hydrants: - Size - 5 1/4" Barrel  
 Mueller A-423  
 Kennedy K-81-A  
 American Flow B-84-B  
 Gate Valves: - 4" thru 12"  
 Mueller A-2360-20  
 Kennedy 1571-A  
 American Flow 2500

Water Meter Box Specifications

- Single meter box installation:  
 CDR - WA03-1118-12C  
 WFB111812C21 - WITH LID  
 C.I. reader lid 4"x6" over 90 degree open

Double meter box installation:

- CDR - WA00-1517-12C  
 C.I. reader lid 6"x9" over 90 degree open  
 WFB151712C21 - WITH LID

2" meter box installation:

- WFB173012C21 - WITH LID

NO.	DATE	REVISIONS

CITY OF WINTER GARDEN - STANDARD DETAILS FOR WATER DISTRIBUTION SYSTEMS

CITY OF WINTER GARDEN ENGINEERING DEPARTMENT

STANDARD DESIGN
JK DRAWN
4/14/99 DATE
1 OF 3 WATER4-14

REVISONS				
DATE				
NO.				

CITY OF WINTER GARDEN STANDARD DETAILS FOR WASTEWATER COLLECTION SYSTEM

CITY OF WINTER GARDEN ENGINEERING DEPARTMENT

STANDARD DESIGN
JK DRAWN
4/14/99 DATE
2 OF 3 SEWER4-23.dwg

**GENERAL NOTES - COLLECTION SYSTEM**

1. MAINS AND SERVICES SHALL BE PVC SDR-35, FORCEMAINS TO BE MIN SDR 18 OR D.I.P. EPOXY COATED 350 PSI.
2. ALL SERVICES SHALL BE 6" DIAMETER AND TERMINATE AT THE PROPERTY LINE WITH A 6" CLEAN OUT.
3. MAGNETIC TAPE MUST BE PLACED 2' ABOVE THE TOP OF PIPE FOR THE ENTIRE LENGTH OF ALL MAINS AND SERVICES.
4. ALL MANHOLES SHALL BE PAINTED INSIDE AND OUT WITH BITUMASTIC SUPER SERVICE BLACK OR APPROVED EQUAL.
5. ALL PIPE CONNECTIONS TO PRE-CAST MANHOLES SHALL BE MADE USING A FLEXIBLE RUBBER BOOT AND STAINLESS STEEL STRAP OR "A" LOCK MANHOLES.
6. CONNECTIONS MADE TO EXISTING MANHOLES SHALL BE CORE BORED WITH A MINIMUM 6" BORE WITH FLEXIBLE BOOT AND STAINLESS STEEL CLAMP.
7. DEAD END MANHOLES MUST HAVE A MINIMUM OF 5 FEET OF COVER OVER PIPE.
8. CONCRETE DONUTS ARE ACCEPTABLE TO RAISE MANHOLES UP TO 1 FOOT.
9. MAIN VALVES NO MORE THAT 1,00 FEET APART.
10. VALVES AT ALL T'S AND CROSSES.
11. "S" CUT SHALL BE PLACED ON CURB AT EACH SERVICE LOCATION.
12. ALL MAINS SHALL BE TV INSPECTED IN ACCORDANCE WITH SPECIFICATIONS BELOW.

**TESTING AND INSPECTION FOR ACCEPTANCE OF GRAVITY SEWERS**

**CLOSED CIRCUIT TELEVISION INSPECTION OF SEWER LINES**

**GENERAL**

1. All new sanitary sewer lines in the city of Winter Garden's area shall be subjected to a closed circuit TV inspection prior to being accepted by the City, whether private or City maintained.

**REQUIREMENTS PRIOR TO INSPECTION RELEASE**

1. All elements of the sewer system must be installed and be completely finished. This includes main sewer lines, laterals cleanouts, and manholes.
2. All sewer lines shall be cleaned prior to the TV inspection.
3. A hydraulic sewer cleaner shall not be used during the TV inspection procedure. If lines are found to be unclean during the TV inspection, the inspection will be terminated.
4. If sewer line is to be cleaned without cleaning all lines below the line in question, the Contractor shall plug all lines entering the manhole from which the line is being cleaned and shall remove all debris and water from that manhole before removing the plugs.
5. When a sewer lines is under a paved area, the area shall be compacted and primed before the system shall be released for TV inspection.

**PROCEDURE FOR TELEVISION**

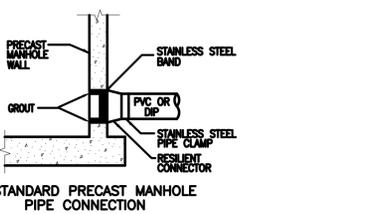
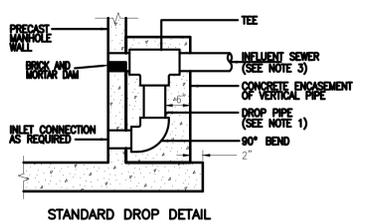
1. The City's Engineering Inspection Division shall be given at least two (2) days notice prior to the time planned for the TV inspection to commence. A definite time and date will be agreed upon by the Contractor and inspector at that time.
2. No inspection shall commence without the presence of the inspector, except when prior arrangements have been made between the Contractor, Inspector and the City. In the event the inspection is permitted to start without the inspectors presence, the television must meet all requirements herein.
3. All TV inspections shall commence up stream of the system to prevent foreign substances from entering a section previously televised. The camera shall be started from the down stream manhole and television will be done against the normal flow of the line. This procedure will allow for the viewing of the service laterals.
4. Before the camera is placed in the sewer line, water with yellow or orange dye shall be put into the upstream manhole of the section being televised. This will enable the camera to detect any changes in grade that may be present in the system.
5. The TV and video tape shall be turned on before the camera is placed in the manhole for inspection and shall not be turned off until the camera is removed from the manhole. The camera shall be moved through the line under the control of the TV camera operator. The camera shall be drawn through the line at a rate not to exceed thirty (30) feet per minute and shall stop at all service connections in the line.
6. A video tape shall be made of the entire system being televised. This shall become the property of the City upon completion of the TV inspection (not a copy). The tape (s) shall be labeled in such a manner that states the project name, date of inspection and line sections according to construction plans contained on each tape. A written report shall accompany the tape (s).

**TELEVISION EQUIPMENT MINIMUM REQUIREMENTS**

1. The closed circuit TV camera shall produce a clear color picture on the monitor and on the video tapes. The camera shall be able to show detail to the point that all joints and any defects may be readily seen at the time of the inspection. The camera shall have the ability to view in the 360 degree pattern. If the camera cannot view 360 degrees the contractor must have the ability to view service connections separately with a camera for this purpose to inspect any service connection the City requests.
2. An electronic dataview shall be used during the TV inspection which projects the following information on the video screen and video tape:
  1. Date of inspection
  2. Manhole number of sewer line being inspected.
  3. Footage of sewer line during inspection.
3. The video recorder shall produce a no noise still picture, and provide both audio and video during the inspection.
4. A measuring device, approved by the City to check the grade of the pipe during the inspection, shall be required on any disputed areas and these will be retelevised.
5. Audio of the inspection shall be simultaneously recorded on the video tape. The audio shall consist of ordinary description and commentary.

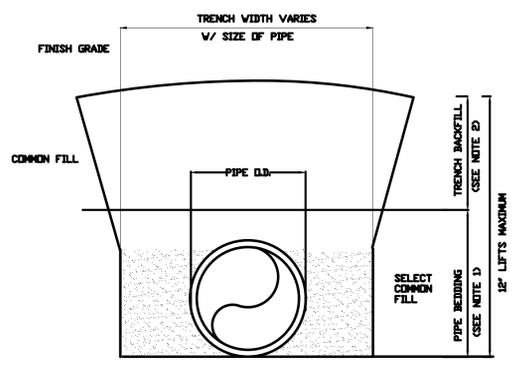
**REQUIREMENTS PRIOR TO SEWER SYSTEM BEING ACCEPTED**

1. There shall be no deviation in sewer grade that would exceed one half inch (1/2) for grades of 0.40% or less, or one inch (1") for grades greater that 0.40% provided that any such variation does not result in a level or reverse sloping invert.
2. If deviations greater than the above are found, the Contractor shall replace those portions of the line.
3. Any sections requiring repairs due to pipe fractures of poor grade must be retelevised within the same guidelines after the repair work is completed.
4. Any section found to have been unclean or any clogged cleanouts shall also require retelevision when cleaning of said line is completed.
5. Any section of PVC pipe with more that 5% deflection (reduction on vertical inside diameter) shall not be accepted.



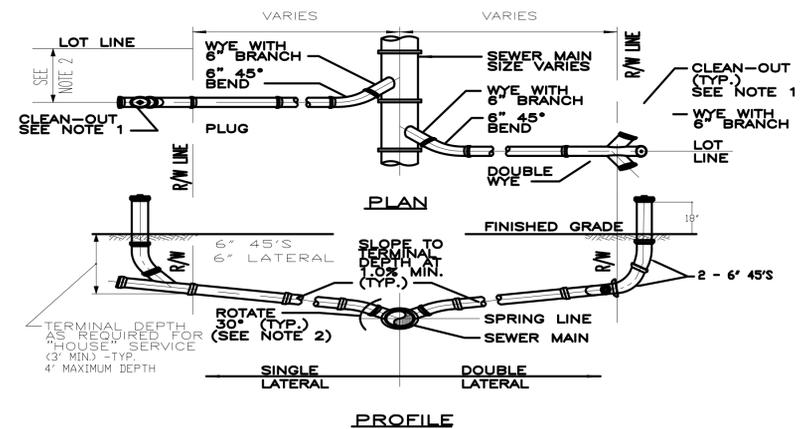
- NOTES:**
1. DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
  2. AN OUTSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT WHICH HAVE AN INVERT 2' OR MORE ABOVE THE MANHOLE INVERT.

**MANHOLE CONNECTION DETAILS**



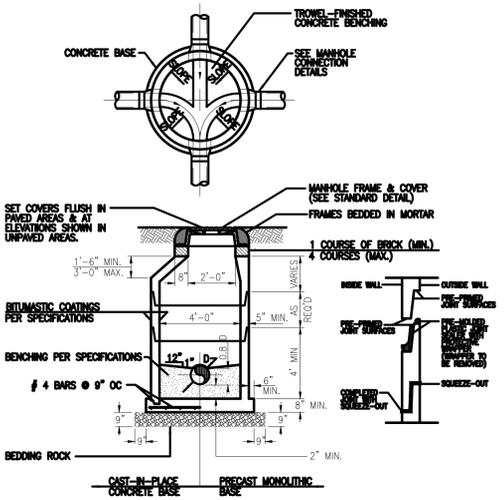
- NOTES:**
1. PIPE BEDDING: FDOT SELECT FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180
  2. TRENCH BACKFILL: FDOT SELECT FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  3. (Ø): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
  4. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
  5. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.

**STANDARD BEDDING DETAIL**



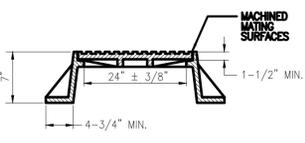
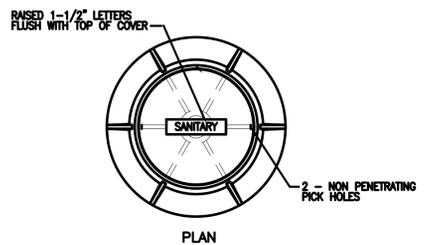
- NOTES:**
1. CLEANOUT SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH STANDARD PLUMBING CODE.
  2. INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.

**SERVICE LATERAL DETAIL**



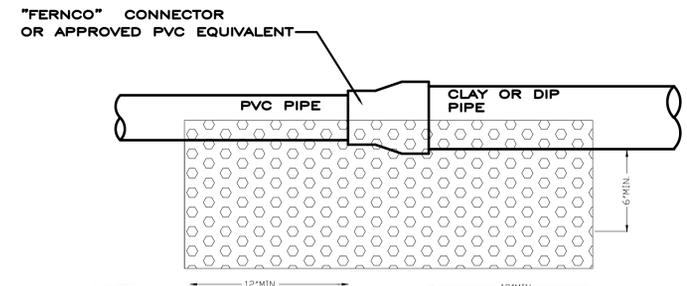
- NOTES:**
1. DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAILS.
  2. E-Z RAPP OUTSIDE ALL JOINTS
  3. GROUT WITH NON-SHRINKING GROUT INSIDE JOINTS

**PRECAST CONCRETE MANHOLE PLAN AND SECTION**



- NOTES:**
- MANHOLE FRAME & COVER SHALL BE USF 420-C (FRAME WT.240#-COVER WT. 130#) AS MANUFACTURED BY U.S. FOUNDRY & MFG. CORP. OR APPROVED EQUAL.

**STANDARD MANHOLE FRAME AND COVER**



- NOTE:**
1. FIELD VERIFY MATERIALS OF EXISTING PIPES TO SELECT PROPER CONNECTOR.

**SEWER MAIN / LATERAL CONNECTION DETAIL**

From the City of Winter Garden's Manual of Standards and Specifications for Utilities Construction

12.4 AS BUILT REQUIREMENTS/RECORD DRAWINGS

12.4.1 RECEIVABLES

The DESIGN ENGINEER shall submit FOUR (4) certified sets (24"x36") of Record Drawings to the CITY prior to issuance of Certificate of Completion for the improvements. The DESIGN ENGINEER shall be responsible for recording information on the approved PLANS concurrently with construction progress. Record Drawings submitted to the CITY as part of the project acceptance shall comply with the following requirements:

- 1 - CD or DVD\*\* in a jewel case to include Two (2) electronic files of record drawings shall be provided to the City. One Drawing file shall be PDF format (Signed and Sealed) and the second shall be in AutoCAD format.
1. Engineering and/or Survey Company Name with prepared by statement
2. Project Name, City of Winter Garden Project Number
3. Date the data is burned onto disk
4. Designate "Record Drawing", "Preliminary Record Drawing" or "Other".
Auto-CAD Files must be submitted in DWG format minimally.
Each file should be for one section of development and one layer included below. Multiple sections will not be accepted in one file.
Provide outline of layers on the Auto-CAD file.
Auto-CAD files shall be saved by using the E-TRANSMIT command.
Drawings shall clearly show all field changes of dimension and detail including changes made by field order or by change order.
Drawings shall clearly show all details not on original contract drawings but constructed in the field.
Tie into section corners in the Florida State Plane Coordinate System East to insure proper orientation at each end of baseline.
Each sheet of the PLANS shall be signed, sealed and dated by the DESIGN ENGINEER as being "Record Drawings".

12-1 Digital and CAD Requirements

12.4.2 DATUM

- As used in the design and shown on the Record Drawing; Horizontal datum shall be referenced to North American Datum of 1983, on the 1990 adjustment for Florida Transverse Mercator - East Zone.
Where there is no baseline, the baseline for water main should be the sanitary sewer, if there is no sanitary sewer then the storm sewer, if no storm sewer the property/ROW line, baseline for sanitary sewer should be the sanitary sewer, baseline for storm sewer should be the storm sewer.
All record data shall be digitally positioned on the design drawings prepared by the engineer of record.
In all cases, State Plane Coordinates shall be used in the electronic datum, station, off-set and elevations shall be shown on the plan.

12.4.3 GENERAL (FOR ALL LAYERS)

- All references to "proposed" and "plan" are to be removed from the Record Drawing.
All lines, structures, and other items that are relocated will be removed and shown in the proper location.
All record drawings will be signed and sealed by Certified Land Surveyor or Professional Engineer licensed to practice in the State of Florida.
Clearly mark existing infrastructure which is to remain.
Clearly mark existing infrastructure which has been abandoned, and how it was abandoned.
Station, length, width and depth of flowable fill used.
Record Drawings shall not be greater than 1" equals 30'.
All Detail sheets shall be included with each record drawing.
Location by station and elevation, width, depth and length of flowable fill used for all uses.
Supply all surveys of the project and or property

12-2 Digital and CAD Requirements

12.4.4 WATER, REUSE AND FORCE MAINS (EACH TO BE LOCATED ON A SEPERATE LAYER)

- Location of all meter boxes, valves, tees, bends, reducers, caps, plugs, fire hydrants, backflow preventers, water services, taps, air release valves, including top of pipe at ARV, and centerline of water main on

12-2 Digital and CAD Requirements

- station and offset not to exceed 100'. All horizontal deflections shall be called out.
Top of pipe elevations should be shown on all tees, valves, bends, reducers, caps, plugs, centerline of water main not to exceed 100 lineal feet, and bottom flange of barrel section of the fire hydrant.
Restrained joint pipe length (station to station).
Manufacturer, model, usage, type and size of valves shall be shown on the plan.
Numbered sample points locations needed for DEP submittal (to be removed from "final" as-built).
Length of run between fittings, type of and size of pipe material.
Call out variation (if it exists) in stationing of corporation compared to meter box.

12.4.5 SANITARY SEWERS: (TO BE LOCATED ON A SEPARATE LAYER)

- Manhole rim elevation, invert elevations and directions.
Length of run between sanitary structures, type of and size of pipe material with calculated percentage of slope for the run of pipe.
Location of sanitary service wyes with station and offset, together with the invert elevation, station and offset, pipe diameter and material (only at clean-out).
Applicable lift station information should be filled out on the detail sheet for lift stations.

12.4.6 WATER/SANITARY/STORM/REUSE PIPE CROSSINGS AND SEPARATIONS (PART OF WATER, SANITARY, REUSE AND/OR STORM LAYER)

- Pipe types, sizes and material.
Crossings; Top and bottom elevations of pipes crossing each other and the distance between the outside of the two lines.
Separation; Distance between the outside of the two lines.

12.4.7 CONFLICT STORM/WATER/SANITARY/REUSE STRUCTURES (PART OF EACH APPLICABLE LAYER)

- Top and bottom of casing.
All info asked for in storm or sanitary manhole descriptions with the addition of top of all pipes.

12.4.8 CASINGS (PART OF EACH APPLICABLE LAYER)

- Material and thickness.
Top of and invert of casing.
Length and station and offset of ends.
If used, station and offset for vent, including tap location, and fittings.

12.4.9 STORM SEWERS AND UNDERDRAIN (TO BE LOCATED ON A SEPARATE LAYER)

12-3 Digital and CAD Requirements

- Manhole and catch basin rim elevation, outfalls and top of headwall invert elevations and direction, weir elevations, bottom of manholes and catch basins (sumps).
Length of run between storm structures, type of and size of pipe material with calculated percentage of slope for the run of pipe.
Location of service connections (without manholes) together with the invert elevation, pipe diameter and material.
Dry retention, wet retention, dry detention, wet detention areas.
Exfiltration trenches, Station at beginning and end of system, width, depth.
Top of and toe of slope on berm elevation designed to stop flooding.
Underdrain, Station at beginning and end of the system, type of and size of pipe with clean-out locations.

12.4.10 STREET LIGHTS (TO BE LOCATED ON A SEPARATE LAYER)

- Manufacturer, model, and height of poles shall be shown on the record drawings.
Manufacturer, model, and wattage and voltage of lights shall be shown on the record drawings.
Pull boxes, station and offset.
Length of conduit runs between boxes and poles, type of, and size of pipe material. Shown as, laid in the ground not as a wiring schematic, with amount, by color, type of, and size of wiring material.
Service connection, type (Duke Energy owned, City metered) station and offset.

12.4.11 IRRIGATION (TO BE LOCATED ON A SEPARATE LAYER)

- Backflow preventer, control stand location, Control valve, zone, station and offset.
Main line piping size, material, lengths, depth.
Heads, Type (1/4, half, 3/4, full circle) zone, station and offset.
Control Stand, station and offset.

12.4.12 LANDSCAPING (TO BE LOCATED ON A SEPARATE LAYER)

- Tree type, caliper, and height.
Tree grate, size, and model.
Station, elevation, length, width, and depth of Structural Soil used.
Top of and toe of slope on berm elevation for landscaping.

12.4.13 PRIVATE CONSTRUCTION IMPACTS TO RIGHT-OF-WAY (TO BE LOCATED ON A SEPARATE LAYER)

- Private utility or revocable easements in the City ROW's or on City property must be shown on the plan. Any improvements within the easement need to be shown and called out as private. The recording information should be on the as-built.

12-4 Digital and CAD Requirements

- Privately owned lighting, irrigation and landscaping in the City right-of-way needs to be called out as private and identified.
All aerial and underground footer easements (in ROW).

12.4.14 FLOWABLE FILL (PART OF EACH APPLICABLE LAYER)

- Limits of flowable fill shall be noted on the as-built (Location, Length, Width, & Depth).

12-5 Digital and CAD Requirements

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY THE INDIVIDUAL NAMED ABOVE, USING A DATED DIGITAL SIGNATURE IN THE SPACE BELOW, PER F.A.C. RULE 61G15-23.004. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISIONS

Table with columns: No., DATE, DESCRIPTION, APPD BY. Contains revision entries for items 1 through 6.

SOLOMON'S AUTO BODY DEVELOPMENT

14451 W COLONIAL DR WINTER GARDEN, FL 34787

CITY OF WINTER GARDEN AS-BUILT / RECORD DRAWINGS

CLIENT: NESARALLI HOLDINGS LLC 14451 W COLONIAL DR WINTER GARDEN, FL 34787

LAM Civil Engineering, Inc. 1320 W PINE STREET ORLANDO, FL 32805 PHONE: 407-254-0040 CELL: 407-234-8944

CERTIFICATE OF AUTHORIZATION No. 27340 THIS DOCUMENT AND ANY DESIGN DOCUMENTS RELATED TO THIS PROJECT IS THE PROPERTY OF LAM CIVIL ENGINEERING, INC. AND IS COPYRIGHTED.



PROJECT No. 2020.018.02

DATE: 11-13-24

DRAWN BY: LCE

APPROVED BY: QTL

SHEET C6.2

# RILEY & Company, Inc. (H-20 GP)

w/ BATTERY BACK-UP FOR AUDIO AND VISUAL ALARMS

SCOPE: Supply one complete H-20 LP Pre-Fab Lift Station, per design.  
Pumps shall be capable of pumping domestic & commercial sewage.

Complete system shall be supplied by:  
**RILEY & Company, Inc.**  
Sanford, FL 32773 (Ph. 407-265-9963)

PRIOR TO BID DATE, ANY PREFAB LIFT STATION SUPPLIER NOT SPECIFIED, BUT WANTING TO BE PRE-APPROVED AS AN ALTERNATE SUPPLIER MUST SUBMIT THE FOLLOWING FOR ENGINEER APPROVAL:

- 1- Submit complete data on the alternate system showing that the equipment meets or exceeds the quality and performance of the specified system.
- 2- Submit a plotted system head curve on the proposed alternate pump curve utilizing the design criteria (elevations, force main losses, pressures and station losses).
- 3- Pumps and electrical control panel must be warranted for a minimum of 3 years.
- 4- Fiberglass wetwell must be warranted for a minimum of 20 years.
- 5- Any fees charged by Engineer to review alternate systems shall be paid by contractor.

The H-20 Load Rated Fiberglass Wetwell Must Be Manufactured By L.F. Manufacturing, Giddings, Texas, Which Includes A Written 20 Yr. Warranty. Certification of the wetwell H-20 load rating must be supplied with submittals. H-20 certification must be signed and sealed by an engineer registered in the State of Florida.

After the H-20 load rated wetwell has been installed, the ASTM Certification Number and Serial Tracking Number must be visible.

**PUMPS:**

Submersible pumps shall be HOMA Model GRP44/3. The pumps shall be installed in the H-20 LP FRP wetwell utilizing a dual slide rail system. The non-clog pumps must be a 3" discharge with a 3" solids handling capability. Stator winding shall be open type with Class F insulation and shall be heat-shrink fitted into the stator housing. The use of pins, bolts, or other fastening devices is not acceptable. A heat sensor thermostat shall be attached to the top end of the motor winding and shall be connected in series with the magnetic contactor coil in the control panel to stop motor if winding temperature exceeds 140 C., but shall automatically reset when the winding temperature returns to normal. Two heat sensor thermostats shall be used on three phase motors. The pump motor shaft shall be AISI 430F SS threaded to take the pump impeller. Upper & lower mechanical seals shall be Silicon Carbide vs Silicon Carbide.

**DUPLEX CONTROL PANEL:**

To insure complete unit and warranty responsibility the electrical control panel must be manufactured and built by the pump supplier. The pump supplier must be a TUV (UL508A CERTIFIED) manufacturing facility, with a minimum of 5 years history in the manufacturing of electrical control panels.

The Enclosure shall be NEMA 4X, minimum 30" high x 30" wide x 10" deep Marine Grade Aluminum with 4 point latching system.

The enclosure shall have external mounting feet to allow for wall mounting.

The following components shall be mounted through the enclosure:

- 1- ea. Red Alarm Beacon (Light) 4" x 4" Minimum Diameter
- 1- ea. Alarm Horn (minimum 95 DCB)
- 1- ea. Generator Receptacle w/ weatherproof cover (SCM460 -UL 1686)
- 1- ea. Alarm Silence Pushbutton

The back panel shall be fabricated from .125, 5052-H32 marine alloy aluminum. All components shall be mounted by machined stainless steel screws.

The following components shall be mounted to back panel:

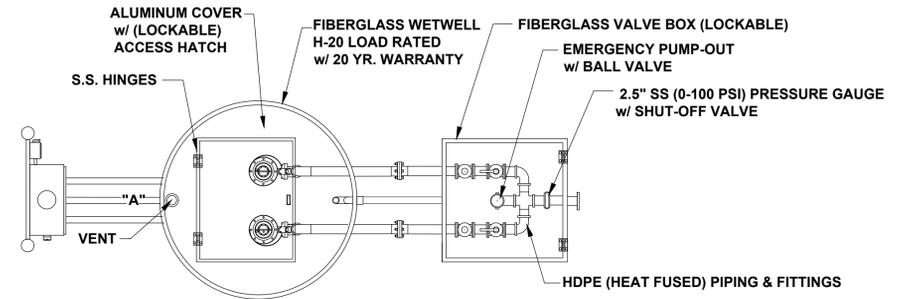
- 2- ea. Motor Contactors
- 1- ea. Phase Monitor (3 Ph) w/2 N/O & 1 N/C Contacts
- 1- ea. Control Transformer (480 Volt Only) (Min. 500VA)
- 1- ea. Silence Relay Module
- 1- ea. Duplex Alternator w/ Pump Selector Switch
- 1- ea. Model RCBB5AH Battery Back-Up w/ Smart Charger For The High Level Alarm System
- 20- ea. Terminals For Field Connections
- 6- ea. Terminals For Motor Connections (Single Phase Only)
- 7- ea. Grounding Lugs
- 1- ea. Seal Failure Relay

The inner door shall be fabricated from .080, 5052-H32 marine alloy aluminum. The inner door shall have a continuous aluminum piano hinge.

The following components shall be mounted through the inner door:

- 1- ea. Main Circuit Breaker
- 1- ea. Emergency Circuit Breaker
- 1- ea. Mechanical Interlock For Emergency And Main Breakers (UL Listed)
- 2- ea. Short Circuit Protectors w/ Auxiliary Contacts
- 1- ea. Control Circuit Breaker
- 2- ea. Seal Failure Indicator Lights
- 1- ea. Hand-Off-Auto Selector Switches
- 2- ea. Pump Run Pilot Lights
- 1- ea. Power On Pilot Light
- 2- ea. Elapse Time Meters (Non-Resettable)
- 1- ea. GFI Duplex Convenience Outlet

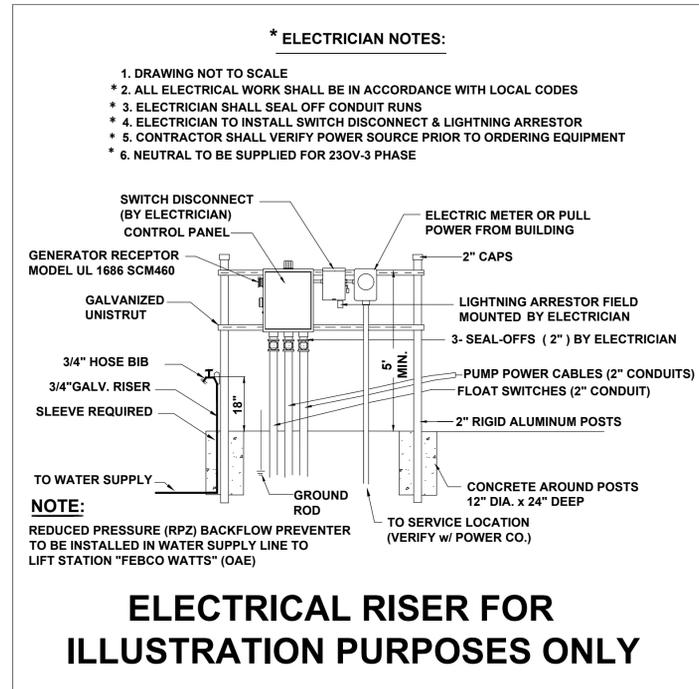
PUMP DATA		ELEVATIONS	
PRIMARY PUMP CAPACITY	42.0 GPM	TOP OF WETWELL	117.00
PRIMARY TDH	126.0' TDH	INLET INVERT	107.80
PUMP MANUFACTURER	HOMA	HIGH LEVEL ALARM (HLA)	110.00
PUMP MODEL #	GRP59/1	2nd PUMP ON (LAG)	108.50
R.P.M.	3450	1st PUMP ON (LEAD)	105.00
HORSEPOWER	5.1	PUMPS OFF (OFF)	104.00
IMPELLER DIAMETER	6 1/8"	BOTTOM OF WETWELL	103.50
ELECTRICAL/ VOLTS / PHASE	230V/1	WETWELL DIAMETER	60"
PUMP DISCHARGE SIZE	2"		



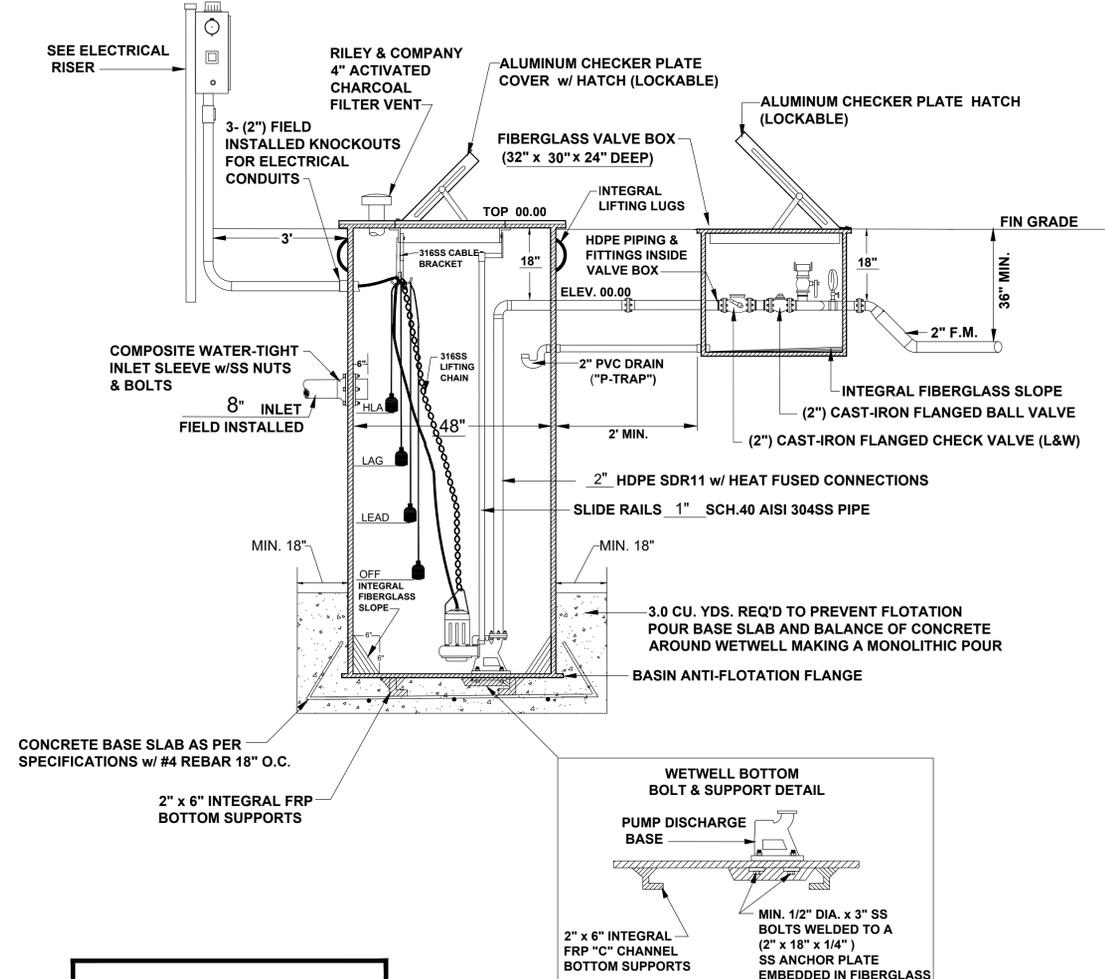
NOTE: PUMP CONTROL PANEL SHALL BE LOCATED 3 FEET FROM WETWELL PERIMETER AT POINT "A"

**NOTES:**

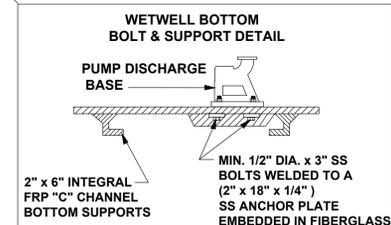
1. Water service with hose bibb and reduced pressure backflow preventer to be installed near lift station. (See Electrical Riser Illustration)
2. System shall be operated and maintained to provide uninterrupted service as required by DEP Chapter 62-604.500.
3. Approved Operation & Maintenance Manual(O&M) shall be kept available for operation and maintenance personnel
4. A weather resistant emergency contact sign shall be installed at the lift station and made visible to the public (Lettering shall be min. 2" in height).
5. INSPECTION & TESTING: A factory representative shall be provided for a one (1) time start-up and shall have complete knowledge of the proper operation and maintenance for the complete lift station package.



01-18-18



CONCRETE BASE SLAB AS PER SPECIFICATIONS w/ #4 REBAR 18" O.C.



**RILEY & Company, Inc.**  
5491 Benchmark Lane  
Sanford, FL 32773  
PH. 407-265-9963

**REVISIONS**

No.	DATE	DESCRIPTION	APP'D BY
1	09/18/20	CITY OF WINTER GARDEN COMM.	QTL
2	09/17/21	CITY OF WINTER GARDEN COMM.	QTL
3	03/31/23	CITY OF WINTER GARDEN COMM.	QTL
4	08/24/23	CITY OF WINTER GARDEN COMM.	QTL
5	07/06/24	CITY OF WINTER GARDEN COMM.	QTL
6	05/14/24	CITY OF WINTER GARDEN COMM.	QTL

**SOLOMON'S AUTO BODY DEVELOPMENT**  
14451 W COLONIAL DR  
WINTER GARDEN, FL 34787

**LIFTSTATION DETAILS**

CLIENT:  
NESARALLI HOLDINGS LLC  
14451 W COLONIAL DR  
WINTER GARDEN, FL 34787

**LAM**  
Civil Engineering, Inc.  
1320 W PINE STREET  
ORLANDO, FL 32805  
PHONE: 407-254-0040  
CELL: 407-234-8944  
CERTIFICATE OF AUTHORIZATION No. 27340

NOT FOR CONSTRUCTION UNLESS SIGNED AND SEALED

QUANG T. LAM, P.E.  
FL REGISTRATION No. 62550

DATE

PROJECT No. 2020.018.02

DATE: 11-13-24

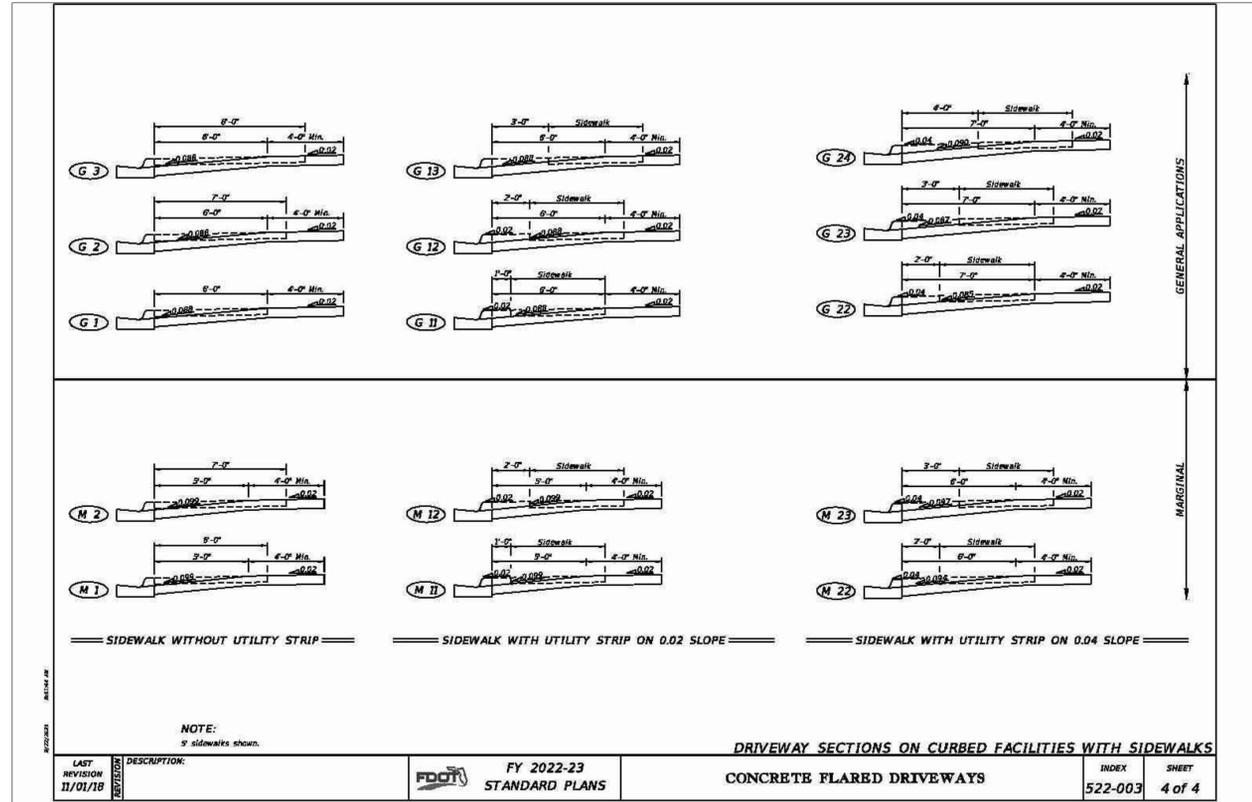
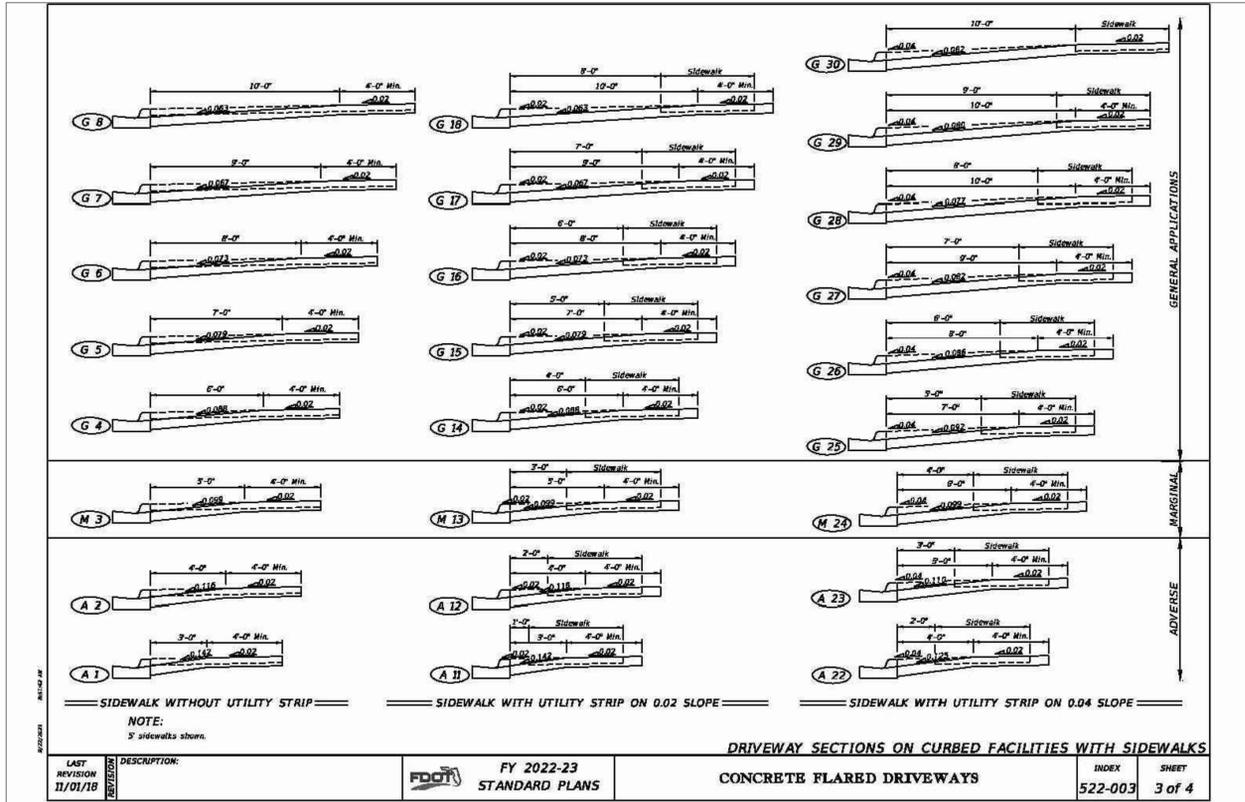
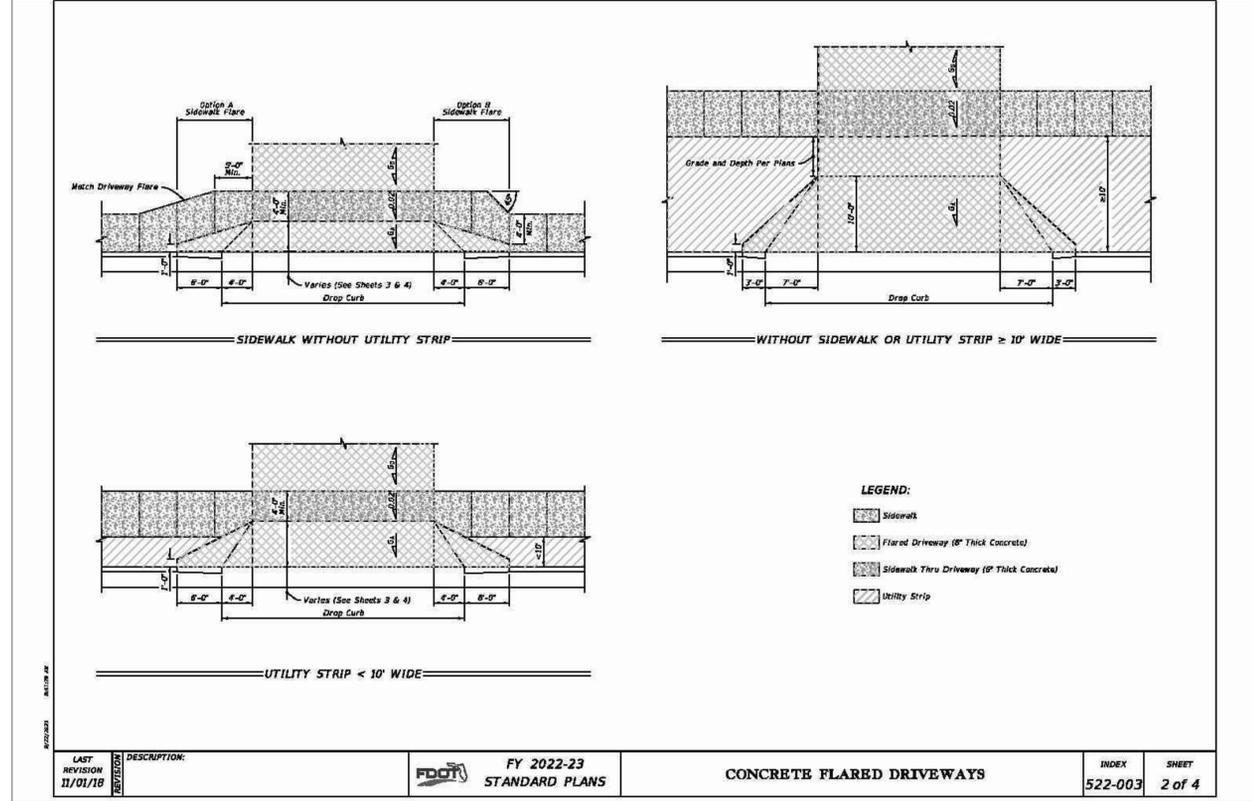
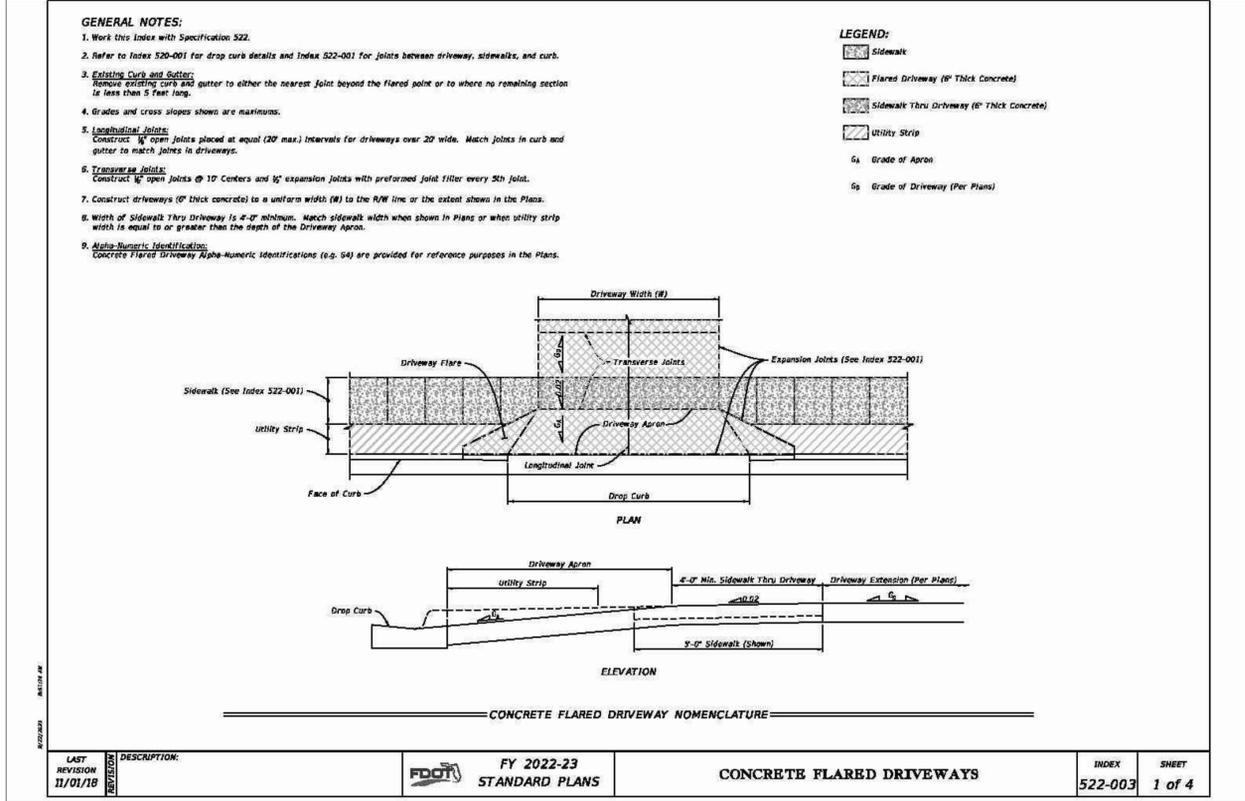
DRAWN BY: LCE

APPROVED BY: QTL

**SHEET C7**







**REVISIONS**

No.	DATE	DESCRIPTION	APP'D BY
1	09/18/20	CITY OF WINTER GARDEN COMM.	QTL
2	09/17/21	CITY OF WINTER GARDEN COMM.	QTL
3	03/31/23	CITY OF WINTER GARDEN COMM.	QTL
4	08/24/23	CITY OF WINTER GARDEN COMM.	QTL
5	01/06/24	CITY OF WINTER GARDEN COMM.	QTL
6	05/14/24	CITY OF WINTER GARDEN COMM.	QTL

**SOLOMON'S AUTO BODY DEVELOPMENT**  
 14451 W COLONIAL DR  
 WINTER GARDEN, FL 34787

**FDOT STANDARD DETAILS**

CLIENT:  
 NESARALLI HOLDINGS LLC  
 14451 W COLONIAL DR  
 WINTER GARDEN, FL 34787

**LAM**  
 Civil Engineering, Inc.

1320 W PINE STREET  
 ORLANDO, FL 32805

PHONE: 407-254-0040  
 CELL: 407-234-8944

CERTIFICATE OF AUTHORIZATION No. 27340

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NOT FOR CONSTRUCTION  
 UNLESS SIGNED AND SEALED

QUANG T. LAM, P.E.  
 FL REGISTRATION No. 62550

DATE

PROJECT No.	2020.018.02
DATE:	11-13-24
DRAWN BY:	LCE
APPROVED BY:	QTL
<b>SHEET</b>	<b>C8.2</b>

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1850 Kings Court • Kissimmee, Florida • 34741  
Phone: (407) 931225 • Fax: (407) 209-2884

REVISIONS	
NO.	DESCRIPTION
1	8/16/23 REVISED PER SITE LAYOUT CHANGES
2	2/8/24 REVISED PER CITY COMMENTS
3	11/29/24 REVISED PER CITY COMMENTS
4	1/22/25 REVISED PER CITY COMMENTS

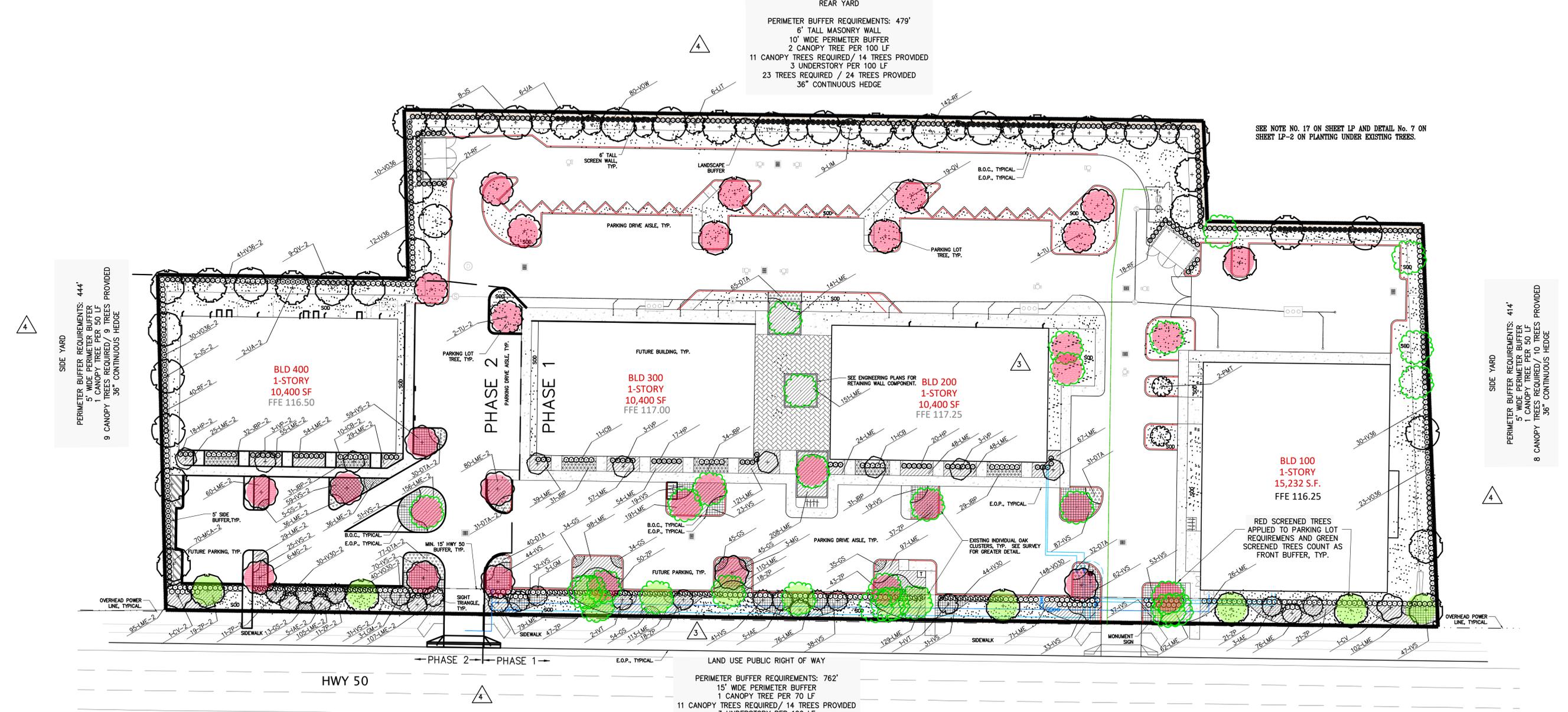
NO.	DATE	DESCRIPTION
1	8/16/23	REVISED PER SITE LAYOUT CHANGES
2	2/8/24	REVISED PER CITY COMMENTS
3	11/29/24	REVISED PER CITY COMMENTS
4	1/22/25	REVISED PER CITY COMMENTS

**PLANTING PLAN**  
**SOLOMON AUTO BODY, INC.**  
14451 WESS COLONIAL DRIVE  
WINTER GARDEN, FLORIDA 34787  
(407) 656-4225  
FLORIDA

PROJECT NO./FILE NAME	DESIGNED
20019	MLJ
DATE	DRAWN
4/21/2023	MLJ
SCALE	CHECKED
AS SHOWN	MLJ
SHEET NO.	OF
LP-1	3

This has been electronically signed & sealed by Mark Lanier Johnson, R.L.A. on 2-19-2025. Printed copies of this document are not considered signed & sealed until the signature must be verified on any electronic copies.

MARK LANIER JOHNSON  
FLORIDA LICENSE NO. 1630



**Winter Garden Code Notes**

- A fully functioning, automatically controlled irrigation system shall be designed, to promote the viability of installed trees and shrubs. This system shall provide separate zones for plants with high and low water requirements. The irrigation system shall be designed and operated to meet the requirements of Chapter 114, Artical II, Section 39 of the Winter Garden Code of Ordinances. Irrigation will be temporary for the purpose of establishing plant material.
- All landscaping shall be installed according to the Florida-Friendly Best Management Practices for Protection of Water Resources by the Green Industries and shall meet or exceed Standards for Florida No. 1 grade, or better, as set forth in the Florida Department of Agriculture and Consumer Services "Florida Grades and Standards for Nursery Plants 2022", and including any revisions as determined by the State Plant Board of Florida.
- Minimum 5' wide landscape buffer yard is required between internal paved areas and adjacent property line(s) and R.O.W.
- A minimum five percent of the total plants installed, not including turf, shall be Florida native plants.
- Landscape shall be installed a minimum 2.5 feet from building foundations.
- Trees, at the time of installation, shall be provided a planting area of minimum twenty-five (25) S.F., with the tree located no closer than 2.5 feet measured from the center of the tree trunk to the nearest edge of the landscaped area.
- Tree species that acquire a mature height of more than 12 feet shall not be planted under electrical distribution lines.
- Landscaped areas shall use turf or plants with a drought tolerance rating of medium or higher.
- Invasive exotic plant species should be removed when the plant is not seeding or fruiting to minimize seed dispersal.
- Landscaping within sight triangles shall provide unobstructed cross-visibility. All landscaping within the Sight Triangle shall be maintained to provide visibility between two (2) feet above grade and six (6) feet in height.

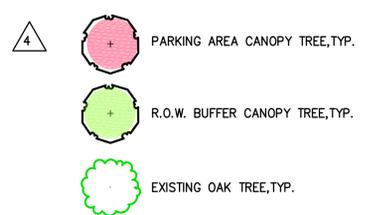
**LANDSCAPE CALCULATIONS**

PARKING SPACE QUANTITY	=	196 SPACES
PARKING TREE QUANTITY (ONE TREE PER 10 SPACES)	=	20 TREES
PARKING AREA LANDSCAPE REQUIRED (10% OF PARKING)	=	9,083 SF
TOTAL PARKING AREA LANDSCAPE PROVIDED	=	9,083 SF *
MINIMUM 40% BEDS ON PROPOSED PARKING ISLANDS	=	3,633 SF *
TOTAL PARKING BEDS AREA LANDSCAPE PROVIDED	=	3,633 SF *
12+" TREES RETAINED - PHASE 1	=	28 / 629" D.B.H.
12+" TREES RETAINED - PHASE 2	=	1 / 52" D.B.H.
TOTAL 12+" TREES REMOVED	=	84 SINGLE/CLUSTERED TREES
REPLACEMENT TREES REQUIRED (2:1)	=	168
TREES PROVIDED	=	74 TREES **
EXISTING TREES 12"< = 29 TREES (28+1=29)		
EXISTING TREES >12" = 10 TREES		
CANOPY = 35 TREES (10 LIVE OAKS)PS		

BALANCE OF TREE REQUIREMENT TO BE PAID INTO CITY TREE FUND. = 94 TREE DEFICIT  
 COST OF INSTALLED CANOPY TREE = \$950.00  
 PAYMENT TO CITY TREE FUND = \$89,300.00

NOTE: COST OF TREE PROVIDED BY WOLF'S IRRIGATION AND LANDSCAPING, ST. CLOUD, FL.  
 LIVE OAK, 65 GAL / 11'-12" HT / 5'-5.5" SPREAD / 3.5" CALIPER.

\* ADDITIONAL PLANTINGS PROVIDED AT OWNER'S OPTION.



**ABBREVIATIONS:**

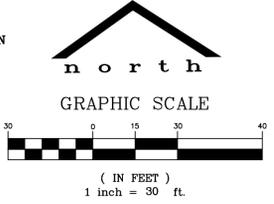
APPROX.	= APPROXIMATE	L.O.C.	= LIMITS OF CONSTRUCTION
B.C.	= BOTTOM OF CURB	L.P.	= LOW POINT
B.O.C.	= BACK OF CURB	MAX.	= MAXIMUM
B.O.W.	= BOTTOM OF WALL	MIN.	= MINIMUM
BTD.	= BOOTED	M.T.	= MULTIPLE TRUNK
CAL.	= CALIPER	N.I.C.	= NOT IN CONTRACT
C.C.	= COMBINED CALIPER	N.T.S.	= NOT TO SCALE
C.G.	= CONTAINER GROWN	O.A.	= OVERALL
CL	= CENTER LINE	O.C.	= ON CENTER
C.M.T.	= CLEAR MULTIPLE TRUNK	O.D.	= OUTSIDE DIAMETER
CMU	= CONCRETE MASONRY UNIT	OPT.	= OPTIONAL
C.S.T.	= CLEAR SINGLE TRUNK	PL	= PROPERTY LINE
C.T.	= CLEAR TRUNK	P.T.	= PRESSURE TREATED
D.B.H.	= DIAMETER BREST HIGH	QTY	= QUANTITY
EA	= EACH	R.O.W.	= RIGHT OF WAY
EL.	= ELEVATION	S.F.	= SQUARE FOOT
E.O.P.	= EDGE OF PAVEMENT	SPRD.	= SPREAD
EX./EXG.	= EXISTING	SYM	= SYMBOL
F.O.C.	= FACE OF CURB	T.	= TALL
FT.	= FOOT	T.C.	= TOP OF CURB
GAL.	= GALLON	T.O.W.	= TOP OF WALL
G.C.	= GALLON CONTAINER	T.S.	= TOE OF SLOPE
GALV.	= GALVANIZED	TYP.	= TYPICAL
H.P.	= HIGH POINT	W.	= WIDE
I.D.	= INSIDE DIAMETER	W/	= WITH
INV.	= INVERT ELEVATION	W/O	= WITH OUT
L.A.	= LANDSCAPE ARCHITECT	ø	= DIAMETER

PHASE 1 SAVED OAK TREES		
INCHES CAL. SAVED	TOTAL CALIPER	
7	2	14
8	2	16
9	3	27
10	2	20
11	1	11
12	3	36
13	4	52
14	1	14
15	1	15
16	2	32
18	2	36
19	1	19
23	1	23
24	4	96
25	2	50
27	1	27
34	2	68
35	2	70
36	1	36
55	1	55
12+ INCHES	22	629
TOTAL INCHES	32	717

PHASE 2 SAVED OAK TREES		
INCHES CAL. SAVED	TOTAL CALIPER	
52	1	52

NOTE: SEE ENGINEER'S DEMOLITION PLANS FOR MORE DETAIL.



**NOTES**

- Work under these documents shall consist of preparation of planting areas, furnishing all new plant materials and planting all proposed plant materials specified herein and as shown on the drawings, notes, and specifications. Work shall also include adjustments to finished grading, furnishing and spreading topsoil, staking, watering, pruning, fertilizing, mulching, and laying sod; and maintenance and protection of plants until final acceptance by the OWNER, as well as fulfilling all guarantee provisions.
- Locations, elevations and dimensions of existing above and below ground utilities, structures, and other features are shown according to the best information available at the time of the preparation of these plans, but do not purport to be absolutely correct. The LANDSCAPE CONTRACTOR shall field verify the locations, elevations and dimensions of all existing features affecting his work prior to construction. The LANDSCAPE CONTRACTOR shall become familiar with all plans prepared by others that affect the landscape and irrigation work. Any discrepancies shall be brought to the attention of the LANDSCAPE ARCHITECT or OWNER.
- It shall be the LANDSCAPE CONTRACTOR's sole responsibility to notify any interested agencies or parties of his intent to excavate and to obtain from all agencies or other interested parties locations of all existing utilities of every kind in the areas where he intends or plans to excavate. Such locations shall be obtained prior to starting construction and shall be maintained during construction. 48 hours before beginning work, contractor may call the utility owner(s) and "SUNSHINE STATE ONE" (TELEPHONE: 1-800-82-8981).
- The LANDSCAPE CONTRACTOR shall interface with other work being performed by other contractors. It will be necessary for the LANDSCAPE CONTRACTOR to coordinate and schedule activities, where necessary, with other contractors and their subcontractors.
- The LANDSCAPE CONTRACTOR shall control runoff and erosion during construction through the use of sediment basins, straw or hay bales as appropriate.
- The LANDSCAPE CONTRACTOR shall sprinkle or otherwise manually apply water to affected construction areas to control both significant wind erosion and fugitive dust. Refer to Civil Engineering Drawings for sediment control provided by General Contractor and Site Contractor as part of site work.
- The LANDSCAPE CONTRACTOR shall at all times keep the premises free from accumulation of waste materials or debris caused by his crews during the performance of the work. The LANDSCAPE CONTRACTOR shall remove all waste materials, debris, unused plant material, empty plant containers and all equipment from the project site, on a daily basis.
- The LANDSCAPE CONTRACTOR shall be responsible for removing existing vegetation as required and preparing planting areas prior to installation of plant materials.
- The LANDSCAPE CONTRACTOR shall insure adequate vertical drainage in all planted areas. Where applicable, vertical drilling through hardpan and compacted fill may be used to insure drainage. The LANDSCAPE CONTRACTOR shall insure that his work does not impact established or projected drainage patterns.
- The GENERAL CONTRACTOR, in coordination with the LANDSCAPE CONTRACTOR, shall select a protected area or areas of the site which are free of construction-related compaction or degradation during the construction process, for the stockpiling of the horizon "O" (litter layer) and "A" (topsoil layer) of the site soil profile.
- Any new or additional topsoil brought on site shall fall in the pH range of 4.5 to 6.5, prior to addition of fertilizers or organic amendments to support plant viability. Organic content of topsoil shall be between 3% and 15%, with pH of 4.5 - 6.5. The LANDSCAPE CONTRACTOR shall test project soils to verify that the on-site soils are acceptable for proper growth of plant materials and adequate drainage in plant beds and planters. The LANDSCAPE CONTRACTOR shall coordinate the location and procurement of existing on-site samples and replacement soils with the LANDSCAPE ARCHITECT. Representative samples shall be submitted to a certified testing laboratory for analysis. The findings shall be reviewed and approved by the OWNER or LANDSCAPE ARCHITECT prior to delivery and installation of planting materials at the job site.
- Any area within 0' to 12' of a curb or building shall have existing soils removed and replaced with a specified planting mix. See separate written specifications for further details.
- The GENERAL CONTRACTOR shall carry out compaction and infiltration test in accordance with the written specification.
- Soil in parking islands and within eight feet of curbs and buildings shall be removed to a minimum depth of nine inches and replaced with fresh soil not contaminated with building materials. See Specifications for further detail concerning topsoil makeup, depth, etc.
- When working within existing tree canopy drip lines, LANDSCAPE CONTRACTOR shall take precaution to avoid cutting major woody roots of >1" diameter. Shifting the position of the plant a few inches may help to avoid damaging tree roots. Use an air knife or water jet to blow soil out of the way to find structural roots. Rehydrate roots with water, immediately. If jack and bore technique is required, the process shall be executed at least 12' below the existing grade to avoid most roots.
- When outside of tree canopy dripline, any roots of existing trees encountered during installation, and obstructing installation, shall be cut off evenly, with clean, sharp pruning tools. Minimize damage to existing tree systems. Where possible, hand-shovel around existing roots to avoid damaging them.
- When installing plants within existing tree drip line, use a nursery grade potting soil or soilless media, with peat, bark, perlite or vermiculite, and with a soil Ph of approximately 5.3-6.4. No "sawdust" or sand shall be included. Micronutrients appropriate for the plant species shall be included.
- All existing plant beds and trees to remain within the construction limit line shall be left undisturbed. Existing trees, as noted on the drawings, shall be left undisturbed and protected by wooden barricades erected at the perimeter of the tree drip line(s). No vehicle shall traverse this area nor shall any storage materials or equipment be permitted within this area. Any existing plant beds or trees damaged by construction activity shall be replaced by the responsible party at their own expense.
- Every possible safeguard shall be taken to protect building surfaces, equipment, furnishings and existing plant areas to remain (including lawn). The LANDSCAPE CONTRACTOR is responsible for any damage or injury to person or property that may occur as a result of negligence in the execution of the LANDSCAPE CONTRACTOR's work. GENERAL CONTRACTOR shall be responsible for removal of construction debris within one (1) foot of building foundation.
- All planting areas shall be fine graded by the LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR shall notify OWNER if site grading is inappropriate for the health of plant material.
- The OWNER shall have the right to reject any and all work and materials which, in the OWNER'S opinion, do not meet the requirements of the planting plan, details, specifications, and these notes. The LANDSCAPE CONTRACTOR shall replace rejected work and continue specified maintenance until reinspected and acceptance. The LANDSCAPE CONTRACTOR shall remove rejected plants and materials from the planting site within 48 hours and replace with acceptable materials.
- No plant or material substitutions or modifications to practices specified or detailed in these documents will be permitted without prior written consent of the LANDSCAPE ARCHITECT or OWNER. If specified materials are not available, LANDSCAPE CONTRACTOR shall identify the extent and quantity of the proposed substitution and submit, in writing, along with a recommended substitution that meets or exceeds the initial requirement. If the use of larger plants is approved, the root ball shall be increased in proportion to the size of the plant per Grades and Standards. Minimum container or caliper size of trees may be increased, if necessary, to provide overall plant size specified.
- Prior to planting installation, the LANDSCAPE CONTRACTOR shall confirm the availability of all the specified plant materials, and make arrangements with the LANDSCAPE ARCHITECT if reviewing and mutually field tagging (specify plant materials), at least 2 weeks prior to procurement and delivery to the job site. The LANDSCAPE ARCHITECT of record may inspect plants at nursery. Review of Grades and Standards will occur at time of delivery at site.
- Except for characteristic otherwise specified in these documents, all plants shall adhere to qualifications of Florida No. 1 grade, or better, as set forth in the Florida Department of Agriculture and Consumer Services "Florida Grades and Standards for Nursery Plants 2022", and including any revisions as determined by the State Plant Board of Florida. All plants shall be nursery-grown stock typical of their species or variety. They shall be sound, healthy and vigorous, well-branched and densely foliated when in leaf, according to the accepted normal shape of the species. They shall exhibit no damaging levels of disease, abiotic disorders, or insect activity. They shall have healthy, well-developed root systems. Where there are discrepancies between the Florida Grades and Standards and the descriptions and specifications found in the plans, notes and specifications of this document, this document shall prevail. Plants called out as "Specimen" shall be Florida Fancy or better, per above mentioned standard.

- While LANDSCAPE ARCHITECT, OWNER, or OWNER'S AUTHORIZED REPRESENTATIVE may provide input through joint visits to nurseries with the LANDSCAPE CONTRACTOR, selection of the plant is the responsibility of the LANDSCAPE CONTRACTOR. Inspection of plants shall occur at the site, and on the day of delivery.
- LANDSCAPE CONTRACTOR shall hire an objective third-party to review the quality of the plants where delivered to the site. See Grades and Standards for related information.
- The plant quantities shown on the landscape contract documents are for the convenience of the LANDSCAPE CONTRACTOR. Where there are discrepancies in plant quantities, the plan prevails. Spacing of plant material shall take precedence over quantity of materials indicated for planting areas. The LANDSCAPE CONTRACTOR is responsible for verifying all quantities and reporting any discrepancies to the LANDSCAPE ARCHITECT for clarification prior to award of contract and commencement of work.
- Balled and Burlapped (B&B) trees shall be nursery grown in the field, root pruned, fertilized and irrigated a minimum 12 months prior to harvesting. Prior to shipping to the site, trees shall be harvested and cured or "hardened-off" for a minimum 6 weeks and until new roots begin growing. Certification of this shall be presented through the burlap root wrapping to the OWNER or LANDSCAPE ARCHITECT from any grower. During transport, storage, and installation trees shall be protected from desiccation and other damage per ANSI A300(Part 6)012, section 63.6.2. No chains or cables shall be used when installing plant materials. LANDSCAPE CONTRACTOR may contact "Roots Plus" Growers Association at (800) 837-4001 for names of some nurseries practicing these methods. All other trees to be container grown or as specified.
- All plants shall be hardy under climatic conditions similar to those in the locality of the project.
- As per these drawings and specifications, the "HL" (height) of proposed plant materials, unless otherwise specified, shall mean the actual distance as measured from the soil stress mark on the trunk or base of the plant to the top elevation of the plant. All plants shall comply with Grades and Standards for root ball size, relative to specified plant height and width.
- All installation of plant material and related construction activity shall comply with applicable jurisdictional codes. The LANDSCAPE CONTRACTOR is responsible for obtaining all permits associated with his work.
- The LANDSCAPE CONTRACTOR shall field stake the location of all shrub and ground cover plant bed outlines and individual trees, palms, and accent shrubs in accordance with the plans. The LANDSCAPE CONTRACTOR shall obtain the LANDSCAPE ARCHITECT'S approval to proceed with installation; prior to delivery and installation of the plant material. If existing conditions do not allow the design to be laid out as shown on plans, notify the LANDSCAPE ARCHITECT OWNER immediately.
- All proposed trees shall be installed either entirely in or entirely out of planting beds. Planting bed outlines shall not be obstructed and shall be smooth and flowing. If trees are located outside of beds in sod areas, maintain a minimum 3' wide offset to allow for mowers to maneuver.
- No trees shall be planted within designated utility corridors or public right of way (without RIGHT OF WAY UTILIZATION PERMIT). No plants shall be located within four feet (4') of any utility or swale centerline identified on the drawings. Field-adjust as necessary and review adjustments with LANDSCAPE ARCHITECT or OWNER, prior to installation.
- The LANDSCAPE CONTRACTOR shall be responsible for the stability and plumb condition of all installed plant materials and replacing any damaged plant material with plants of equal size and condition of remaining thriving plants, at no cost to the owner. At no additional cost to the owner, it shall be the contractor's responsibility to prevent plants and trees from falling or being blown over and to replace all plants damaged due to inadequate guying or staking.
- All proposed planting areas for trees, palms, shrubs, and groundcovers shall be top dressed with three (3) inches of specified Pine needle or Pine Bark Nugget mulch spread uniformly in depth over the planting beds as delineated on the plans. Mulch shall not be installed within one (1) foot of buildings. The landscape scope of work includes mulching as an integral part of the project and not as a separate cost works item.
- The LANDSCAPE CONTRACTOR shall verify the extent of sod work in the field. The LANDSCAPE CONTRACTOR shall be responsible for providing grass sod in the areas shown on the plan / disturbed by construction activity) in sufficient quantity to provide full coverage. Additional sod required will be adjusted based on a square footage unit price. The surface of all areas to be grassed or sodded shall be prepared for the placement of sod by the LANDSCAPE CONTRACTOR. Areas to be sodded shall be amended per soils report to provide required nutrients, organic matter, etc. in the topsoil. The LANDSCAPE CONTRACTOR shall remove all debris from the areas as shown on the plan to receive sod and lay sod evenly without gaps. All joints shall be staggered. Topsoil depth in sodded areas shall be minimum 3" and graded to elevations per Civil engineering plans.
- All other areas disturbed during construction shall be sodded or seeded and mulched with Argentine Bahia grass unless otherwise specified on the plans, details or specifications. If grass seed is specified, it shall be delivered to the job in containers with Florida Department of Agriculture tags attached, indicating the seed grower's compliance with the department's quality program.
- The LANDSCAPE CONTRACTOR shall be responsible for removing all tree stakes and guy wires from trees which are established at the end of one (1) complete growing season, except that palms shall be staked for one (1) year. Trees which have been replaced shall remain staked for one (1) full growing season, and the owner shall be responsible for removing tree stakes and guy wires. Staking materials shall be disposed off site.
- The LANDSCAPE CONTRACTOR shall water, mulch, weed, prune, and otherwise maintain all plants, including sod, until the irrigation system is fully operational and final acceptance by the OWNER. All plant materials shall be watered to insure plant survival, in accordance with "Florida Grades and Standards for Nursery Plants 2015".
- Upon completion of the work, the LANDSCAPE CONTRACTOR shall notify the OWNER and the LANDSCAPE ARCHITECT in writing, and request a final inspection. Any items that are judged incomplete or unacceptable by the OWNER or the LANDSCAPE ARCHITECT shall be promptly corrected by the LANDSCAPE CONTRACTOR.
- The LANDSCAPE CONTRACTOR shall guarantee all shrubs and groundcovers for a period of one hundred eighty (180) calendar days from the date of final acceptance in writing from the OWNER. At the time of final acceptance, the one hundred eighty (180) day guarantee period shall commence. Trees shall be guaranteed for one (1) year. Any materials which have died during this period shall be promptly replaced with specimen that meet the minimum requirements called for in these documents. The LANDSCAPE CONTRACTOR shall not be held responsible for death or damage resulting from lightning, vandalism, or from negligence by the OWNER. The OWNER shall be responsible for watering and otherwise maintaining plants during the guarantee period if a maintenance agreement is not accepted from the LANDSCAPE CONTRACTOR.
- Contractor shall not recommend and install invasive species as replacement for plants on planting plan. See fleppc.org and invasivespecies.org for problem species.
- The LANDSCAPE CONTRACTOR shall submit a separate proposal for a one (1) year maintenance agreement.
- All landscape bids shall be itemized with the amounts based on per plant unit prices, including mulch, fertilizer, etc. Any substitutions, additions, or deletions will change the total amount of the CONTRACT FEE based on the above mentioned unit price criteria.
- See landscape specifications for further requirements.
- All trees shall be provided with uninterrupted soil volume to a depth of 3', and with no limitations such as a high water table, poor drainage, compaction, etc. Trees with mature height or spread of greater than 50 feet shall require 900 S.F. of uninterrupted open surface area. Trees with mature height or spread of between 30' and 50' shall require 400 S.F. of uninterrupted open surface area. Trees with mature height of less than 30 feet shall require 100 S.F. of uninterrupted open surface area. If necessary, trees may be planted in soil depths as shallow as 18 inches, but open surface space shall be increased to attain required soil volume for respective tree sizes. If the soil volume and open space are not available, the LC shall provide the LA and Owner with options for the provision of adequate soil volume through the use of structural soils, root paths, etc. under adjacent pavement.

If these plans are reproduced in a different size, the scale may not be accurate.

**PLANT LIST**

Symbol	PH 1	PH 2	Scientific and Common	Size	Space	Canopy	Quantity	
							PH 1	PH 2
<b>Trees &amp; Palms</b>								
CV		CV-2	Callistemon viminalis "Red Cluster" "Red Cluster" Bottlebrush	45 GAL.; 11'x4'; 2.5" Cal.; 5' C.S.T	A.S.	NO	1	1
IAE		IAE-2	Ilex attenuata "Eagleston" Eagleston Holly	30 GAL.; 11' x 3.5'; 2.5" Cal., 6' C.S.T.; Full;	A.S.	NO	8	5
IVP		IVP-2	Ilex vomitoria 'Pendula' Weeping Yaupon Holly	30 GAL.; 8'x 2.5'; 2" Cal; 4' C.S.T.; 1.5" D.B.H.	A.S.	NO	5	3
IVT		IVT-2	Ilex vomitoria 'Pendula' Weeping Yaupon Holly	30 GAL.; 8'x 2.5'; 2" Cal; 4' C.S.T.; 1.5" D.B.H.	A.S.	NO	3	-
JS		JS-2	Juniperus siliicicola Southern Red Cedar	30 GAL.; 12'x 4'; 3" Cal; 4' C.S.T.; 2 1/2" D.B.H.	A.S.	YES	8	2
LIM		LIM-2	Lagerstroemia indica "Muskegee" Lavender Crape Myrtle	30 GAL.; 8'x3.5'; 2" Cal.; 4' C.S.T	A.S.	NO	9	-
LIT		LIT-2	Lagerstroemia indica "Tuscarora" Red Crape Myrtle	30 GAL.; 8'x3.5'; 2" Cal.; 4' C.S.T	A.S.	NO	6	-
LGM		LGM-2	Magnolia Grandiflora "Little Gem" "Little Gem" Magnolia	30 GAL.; 11'x 2.5'; 2.5" Cal.; 4' C.S.T.	A.S.	NO	3	3
MG		MG-2	Magnolia Grandiflora Southern Magnolia	30 GAL.; 12'x 3'; 2" Cal.; 6' C.S.T.; 1 1/2" D.B.H.	A.S.	YES	3	6
PMT		PMT-2	Podocarpus macrophyllus Yew Tree	30 GAL.; 12'x 3'; 2" Cal.; 6' C.S.T.; 1 1/2" D.B.H.	A.S.	NO	2	-
QV		QV-2	Quercus virginiana Live Oak	65 GAL.; 13'x 5.5'; 3.5" Cal., 6' C.S.T.; Full;	A.S.	YES	19	9
TU		TU-2	Tabebuia umbellata Yellow Tabebuia	30 GAL.; 12'x 3'; 2" Cal.; 5' C.S.T.; 1 1/2" D.B.H.	A.S.	YES	4	2
UA		UA-2	Ulmus alatus Winged Elm	30 GAL.; 12'x3.5'; 2" Cal.; 5' C.S.T	A.S.	A.S.	6	2
<b>Shrubs and Groundcover</b>								
DTA		DTA-2	Dianella tasmanica 'Variegata' Variegated Tasmanian Flax Lily	1 Gal; 12" OA; 9 PPP; Full	18" O.C.		168	138
GS		GS-2	Gelsemium sempervirens Caroline Yellow Jessamine	1 Gal.; Full; 18" Runner, Min.	12" O.C.		301	18
HP		HP-2	Hamelia patens 'patens' Native Firebush	3 Gal.; 24" x 24", Full	3' O.C.		37	17
ICB		ICB-2	Ilex cornuta 'Burfordii' Burford Holly	3 Gal.; 24" x 24", Full	3' O.C.		22	10
IV30		IV30-2	Ilex vomitoria Yaupon Holly	7-Gal.; 30"x22"; Full	3' O.C.		44	30
IV36		IV36-2	Ilex vomitoria Yaupon Holly	7-Gal.; 36" x 27", Full	3' O.C.		42	41
IVS		IVS-2	Ilex vomitoria 'Stokes Dwarf' Dwarf Yaupon Holly	3 Gal.; 12" x 9"; Full	24" O.C.		528	270
JBP		JBP-2	Juniperus conferta 'Blue Pacific' Blue Shore Juniper	3 Gal.; 7" x 19"	24" O.C.		60	63
LME		LME-2	Liriodi muscari 'Emerald Goddess' Emerald Goddess Liriope	1 Gal; 9 PPP; Full	18" O.C.		2188	867
MCA		MCA-2	Muhlenbergia capillaris Muhly Grass	1 Gal.; 18" O.A.; Full	24" O.C.		-	70
RF		RF-2	Rhododendron 'Formosa' Large Lavender Azalea	7 Gal.; 36" x 36", Full Sun Grown; Full	36" O.C.		181	40
VOW		VOW-2	Viburnum obtatum 'Withlacochee' Withlacochee Walter's Viburnum	3-Gal.; 36" x 27", Full	3' O.C.		80	-
VO30		VO30-2	Viburnum odoratissimum Sweet Viburnum	7-Gal.; 30"x22"; Full	3' O.C.		148	40
VO36		VO36-2	Viburnum odoratissimum Sweet Viburnum	7-Gal.; 36" x 27", Full	3' O.C.		33	30
ZP		ZP-2	Zamia pumila Coontie Fern	3 Gal.; 18"x18"; Min. 10+ Fronds	30" O.C.		255	41
SOD		SOD	Paspalum notatum 'Argentine' Bahia Grass	Solid Sod	S.F.		-	-

**Ecotone Land and Design INC.**  
Landscape Architectural Site Planning

1850 Kings Court • Kissimmee, Florida • 34741  
Phone: (407) 931225 • Fax: (407) 209-2884

**REVISIONS**

NO.	DATE	DESCRIPTION	BY
1	8/16/23	REVISED PER SITE LAYOUT CHANGES	M
2	8/28/24	REVISED PER CITY COMMENTS	M
3	11/29/24	REVISED PER CITY COMMENTS	M
4	1/22/25	REVISED PER CITY COMMENTS	M

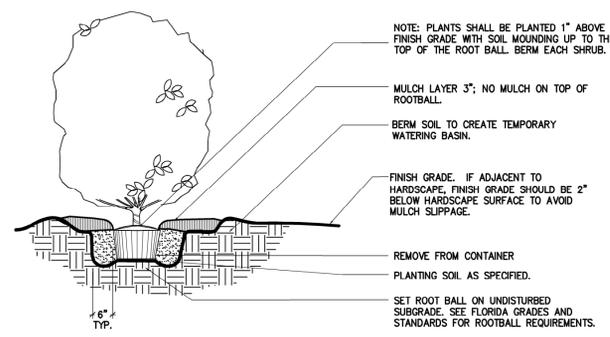
**PLANTING PLAN**

**SOLOMON AUTO BODY, INC.**  
14451 WEST COLONIAL DRIVE  
WINTER GARDEN, FLORIDA 34787  
(407) 856-4223  
FLORIDA  
WINTER GARDEN

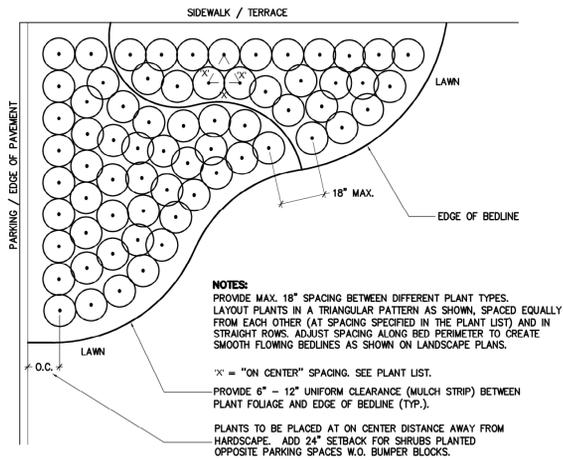
PROJECT NO./FILE NAME	DESIGNED
20019	MLJ
DATE	DRAWN
4/21/2023	MLJ
SCALE	CHECKED
AS SHOWN	MLJ
SHEET NO.	OF
LP-2	3

This has been electronically signed & sealed by Mark Lanier Johnson, P.L.A. on 11-23-2023. Printed copies of this document are not considered signed & sealed unless the signature must be verified on any electronic copies.

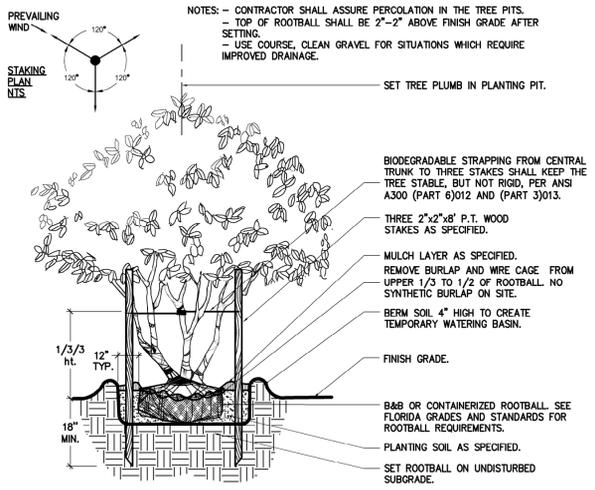
THESE DOCUMENTS AND THEIR CONTENTS ARE THE PROPERTY OF ECOTONE LAND DESIGN, INC. AND ANY REPRODUCTIONS, REVISIONS, MODIFICATIONS OR USES OF THESE DOCUMENTS WITHOUT THE EXPRESS WRITTEN CONSENT OF ECOTONE LAND DESIGN, INC. ARE PROHIBITED. PL. 04



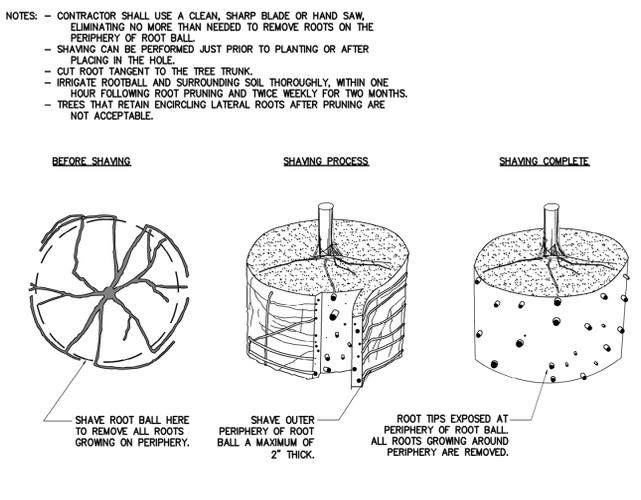
1 TYP. HEDGE PLANTING DETAIL  
LP-03 SECTION SCALE: N.T.S.



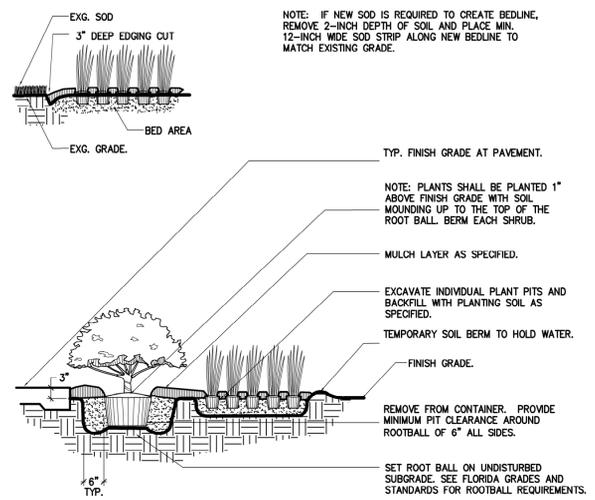
2 SHRUB/GROUNDCOVER SPACING DETAIL  
LP-03 SECTION SCALE: N.T.S.



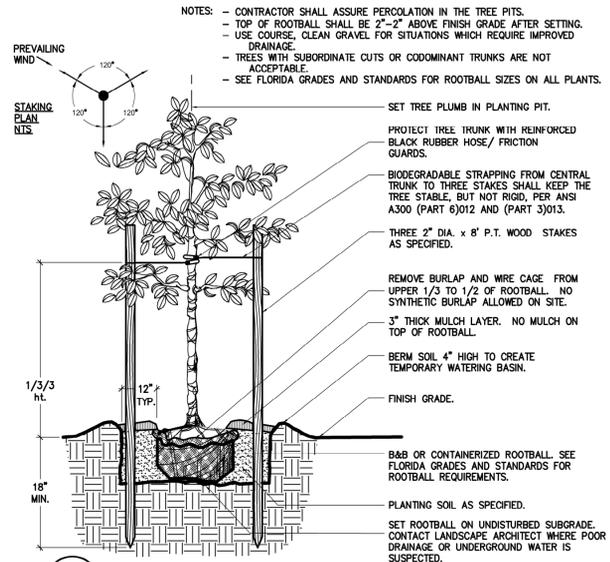
3 TYP. MULTI-TRUNK PLANTING DETAIL  
LD-03 SECTION SCALE: N.T.S.



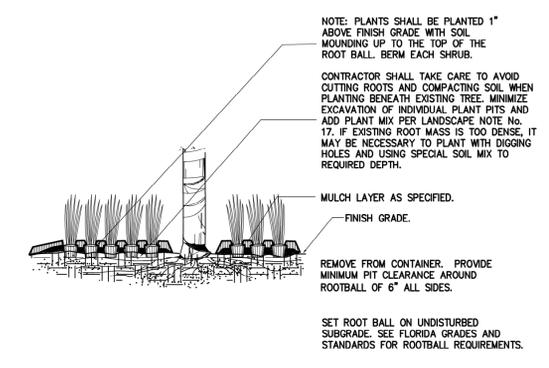
4 TYP. ROOT BALL SHAVING DETAIL  
LP-03 SECTION AND ELEVATION SCALE: N.T.S.



5 PLANTING DETAIL  
LP-03 SECTION SCALE: N.T.S.



6 TYP. SMALL TREE PLANTING DETAIL  
LP-03 SECTION SCALE: N.T.S.



7 PLANTING BENEATH EXISTING TREE  
LP-03 SECTION SCALE: N.T.S.

(UNDER 4" CAL.)

NO.	DATE	REVISIONS

**PLANTING PLAN**  
**SOLOMON AUTO BODY, INC.**  
 14451 WEST COLONIAL DRIVE  
 WINTER GARDEN, FLORIDA 34787  
 (407) 656-4223  
 WINTER GARDEN  
 FLORIDA

PROJECT NO./FILE NAME	DESIGNED
20019	MLJ
DATE	DRAWN
4/21/2023	MLJ
SCALE	CHECKED
AS SHOWN	MLJ
SHEET NO.	OF
LP-2	3

This has been electronically signed & sealed by Mark L. Johnson, RLA, on 1-23-2023. Printed copies of this document are not considered signed & sealed and the signature must be verified on any electronic copies.

MARK LANIER JOHNSON  
FLORIDA LICENSE NO. 1830

**Ecotone Land Design INC**  
**Landscape Architectural Site Planning**  
 1850 Kings Court • Kissimmee, Florida • 34741  
 Phone: (407) 931-223 • Fax: (407) 209-2884

DRAWING INDEX	
SHEET NO.	SHEET TITLE
A-1.0	INDEX
A-2.0	FLOOR PLANS & MEZZ. SECTION
A-3.0	EXTERIOR ELEVATIONS
A-3.1	EXTERIOR ELEVATIONS
A-3.0-C	COLORED EXTERIOR ELEVATIONS
A-3.1-C	COLOREDEXTERIOR ELEVATIONS

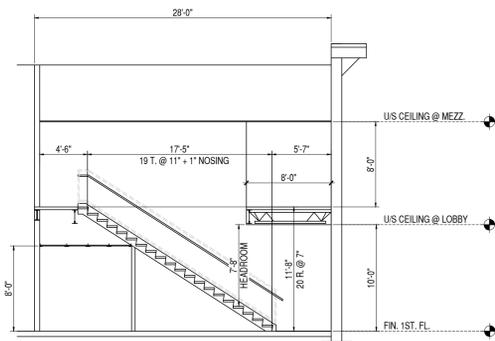
APPLICABLE BUILDING CODES: COMMERCIAL
Florida Building Code 8th edition (2023)
National Electrical Code 2020 & FBC 2023 Energy Code 8th Edition
FBC Florida Energy Code 8th edition (2023)
FBC Mechanical 8th edition (2023)
FBC Plumbing Code 8th edition (2023)
Florida Fire Prevention Code 8th edition
NFPA 101 Life Safety Code (2021) with Florida Amendments
NFPA 1 Uniform Code (2021) with Florida Amendments

BUILDING DATA	
BUILDING TYPE	II-B UNSPRINKLED
OCCUPANCY CLASSIFICATION	GROUP S-1 Motor Vehicle Repair Garage
OCCUPANT LOAD	74 PEOPLE
NO. OF STORIES	1
BUILDING HEIGHT	32'-0"
BUILDING AREA	1ST. FL. 15,548 S.F. MEZZ. FL. 952 S.F. GROSS TOTAL 16,500 S.F.

# BUILDING # 100

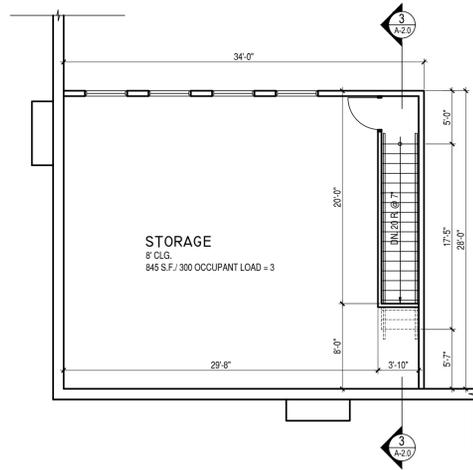
## Solomons Auto Body





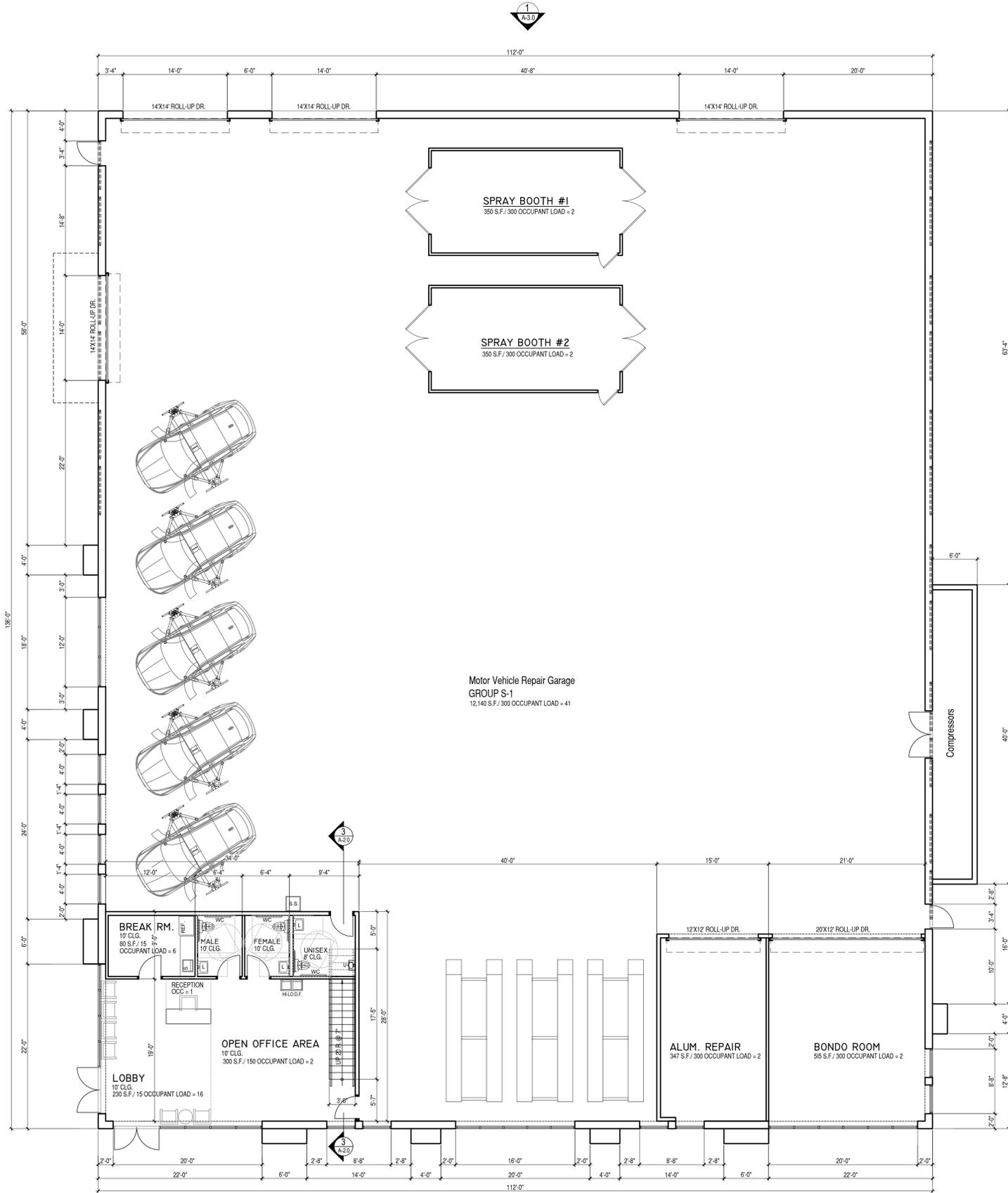
**SECTION**  
SCALE 1/8" = 1'-0"

3  
A-2.0



**MEZZ. FLOOR PLAN**  
SCALE 1/8" = 1'-0"

2  
A-2.0



**FLOOR PLAN**  
SCALE 1/8" = 1'-0"

1  
A-2.0



KAD Designs Inc. 6900 Tourist Lakes Blvd, Suite 400 Orlando Florida 32827 Tel. 407-344-4122 Fax. 407-344-1322 Email: karim.kaddesigns@gmail.com

REVISIONS

CONTRACTOR:

**PROJECT:**  
 COMMERCIAL BUILDING  
 Building #100 - Solomons Auto Body  
 14451 W Colonial Drive  
 Winter Garden, FL 34787

**SHEET TITLE:**  
 FLOOR PLANS & SECTION

**COMERCIAL CODE COMPLIANCE:**  
 THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE  
 FOLLOWING APPLICABLE REGULATIONS:  
 1. FLORIDA BUILDING CODE (FBC) 2018 (AS AMENDED)  
 2. INTERNATIONAL MECHANICAL AND ELECTRICAL (IMC) 2018 (AS AMENDED)  
 3. INTERNATIONAL PLUMBING AND MECHANICAL (IPMC) 2018 (AS AMENDED)  
 4. INTERNATIONAL FIRE AND SAFETY (IFSC) 2018 (AS AMENDED)  
 5. INTERNATIONAL ENERGY CONSERVATION (IECC) 2018 (AS AMENDED)  
 6. INTERNATIONAL HAZARDOUS WASTE HANDLING AND DISPOSAL (IHWHD) 2018 (AS AMENDED)

SCALE: AS SHOWN  
DRAWN BY: gk

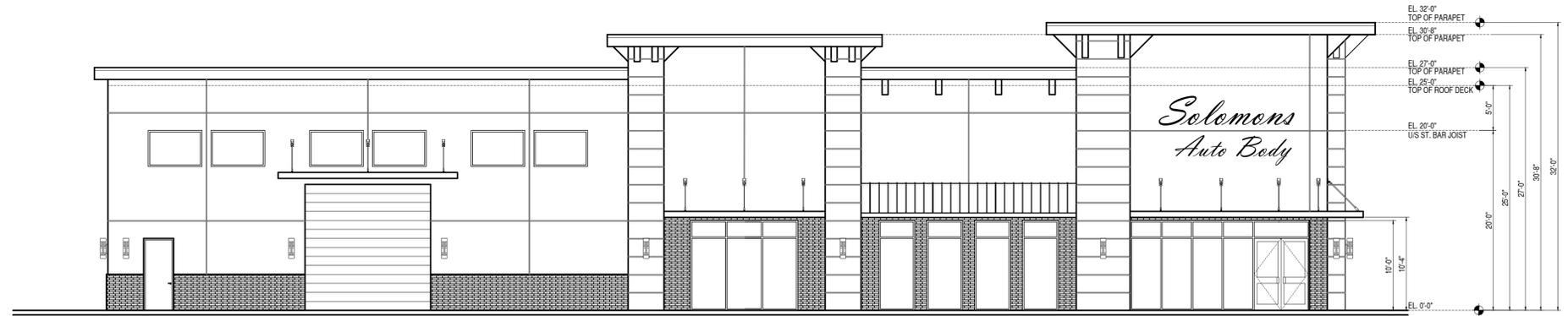
DATE: 01-18-2024

PROJECT NO:

KAD 3653

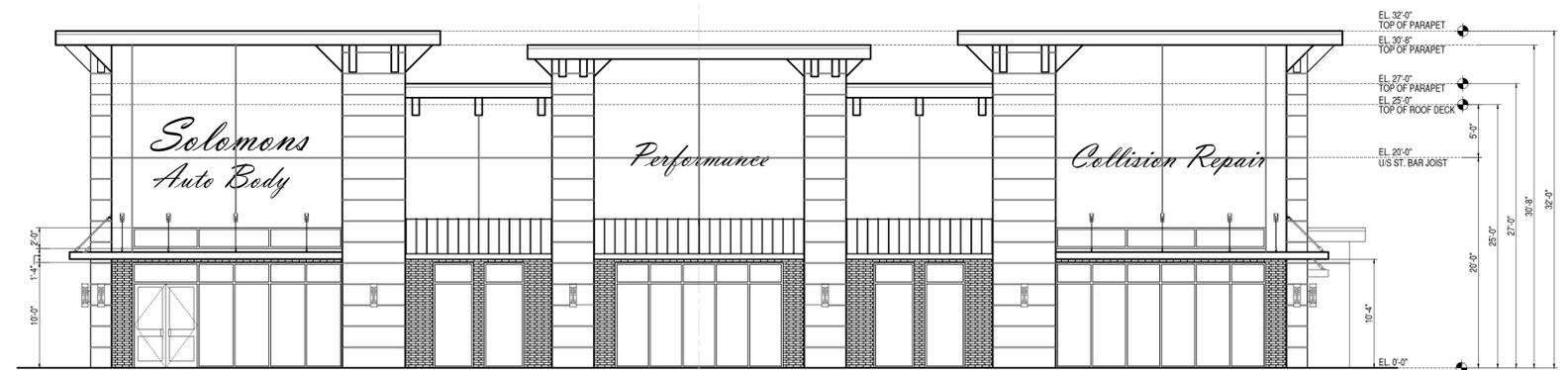
SHEET NO:

**A-2.0**



WEST ELEVATION  
SCALE 1/8" = 1'-0"

2  
A-3.0



SOUTH ELEVATION  
SCALE 1/8" = 1'-0"

1  
A-3.0

6900 Tavitrek Lakes Blvd, Suite 400 Orlando Florida 32827 Tel. 407-344-4122 Fax. 407-344-1322 Email: karim.kaddesigns@gmail.com  
 KAD Designs Inc.

REVISIONS

CONTRACTOR:

PROJECT:  
 COMMERCIAL BUILDING  
 Building #100 - Solomons Auto Body  
 14451 W Colonial Drive  
 Winter Garden, FL 34787

SHEET TITLE:  
 ELEVATIONS

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE  
 REQUIREMENTS OF THE FLORIDA BUILDING CODE, AS AMENDED,  
 WITH THE APPROPRIATE LOCAL ORDINANCES.  
 1. DESIGNATED PERMITTED USES ONLY.  
 2. PERMITTED USES ONLY.  
 3. THIS DRAWING IS FOR INFORMATION ONLY.  
 4. HEALTH & ENVIRONMENTAL CONSIDERATIONS AS APPLICABLE.

SCALE: AS SHOWN

DATE: 01-18-2024

PROJECT NO:

KAD 3653

SHEET NO:

A-3.0



West Elevation

- SHERWIN WILLIAMS  
SW 6437  
HAVEN
- SHERWIN WILLIAMS  
SW 6542  
NATURAL WHITE
- SHERWIN WILLIAMS  
SW 7035  
AESTHETIC WHITE
- SHERWIN WILLIAMS  
SW 9192  
AFRICAN GRAY
- SHERWIN WILLIAMS  
SW 7059  
IRON ORE



South Elevation

6900 Touristway Lakes Blvd, Suite 400 Orlando Florida 32827 Tel. 407-344-4122 Fax. 407-344-1322 Email: karin.kaddesigns@gmail.com  
 KAD Designs Inc.

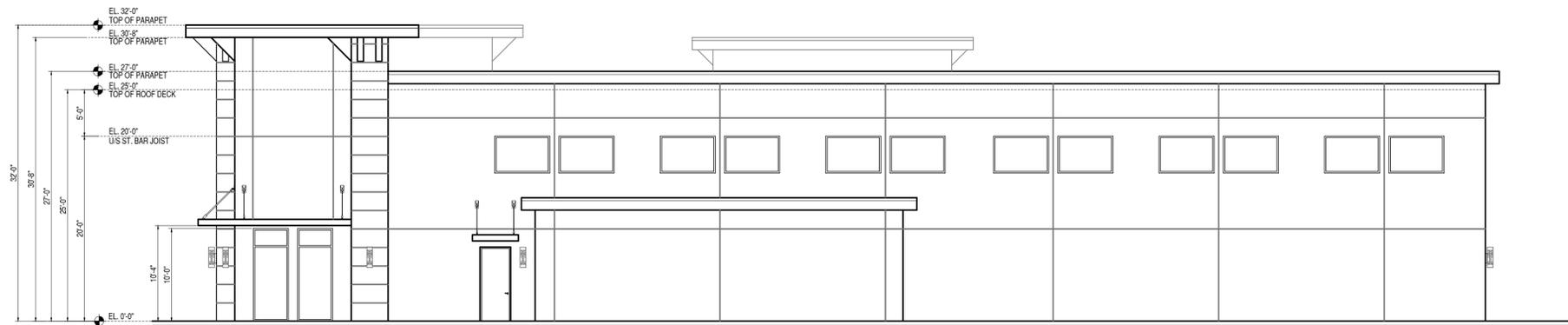
PROJECT: COMMERCIAL BUILDING  
 Building #100 - Solomons Auto Body  
 14451 W Colonial Drive  
 Winter Garden, FL 34787

CONTRACTOR:

SHEET TITLE: ELEVATIONS

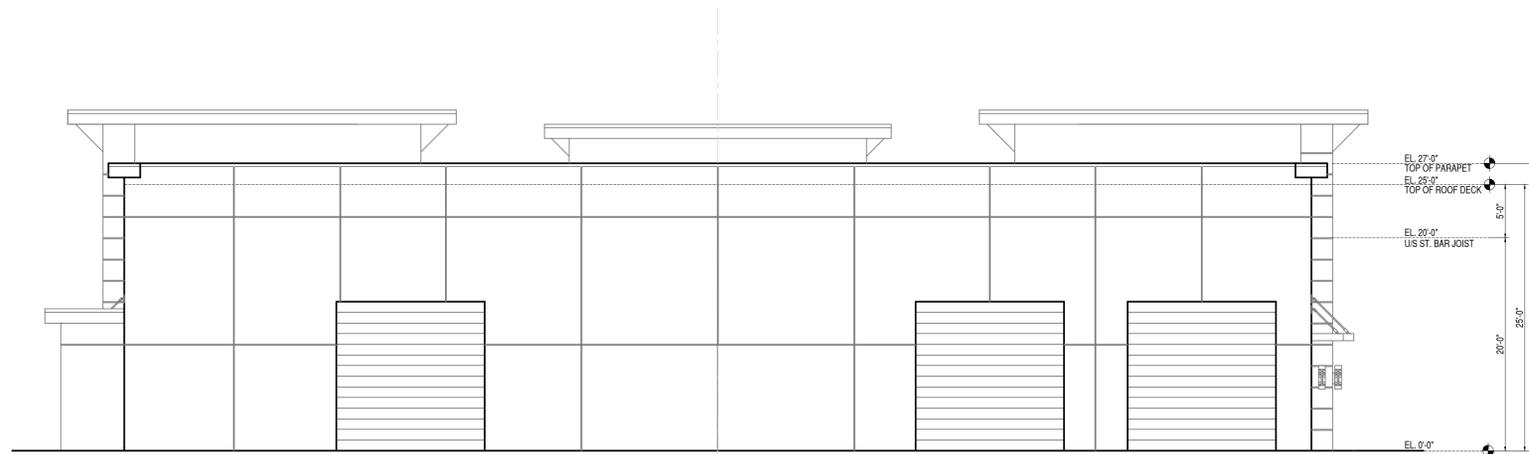
COMMERCIAL CODE COMPLIANCE:  
 THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE  
 FLORIDA BUILDING CODE (FBC) 2018, AS AMENDED BY THE  
 FOLLOWING LOCAL ORDINANCES:  
 1. BROWARD COUNTY FBC 2018, AS AMENDED BY THE  
 2. BROWARD COUNTY FBC 2018, AS AMENDED BY THE  
 3. BROWARD COUNTY FBC 2018, AS AMENDED BY THE  
 4. BROWARD COUNTY FBC 2018, AS AMENDED BY THE

SCALE: AS SHOWN  
 DRAWN BY: gk  
 DATE: 01-18-2024  
 PROJECT NO: KAD 3653  
 SHEET NO: A-3.0-C



**EAST ELEVATION**  
SCALE 1/8" = 1'-0"

2  
A-3.1



**NORTH ELEVATION**  
SCALE 1/8" = 1'-0"

1  
A-3.1

6900 Townstead Lakes Blvd, Suite 400 Orlando Florida 32827 Tel. 407-344-4122 Fax. 407-344-1322 Email: karim.kaddisigns@gmail.com  
 KAD Designs Inc.

COMMERCIAL CODE COMPLIANCE:  
 THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE  
 2018 INTERNATIONAL BUILDING CODE (IBC) AND 2018  
 INTERNATIONAL RESIDENTIAL CODE (IRC) WITH THE FOLLOWING EXCEPTIONS:  
 1. BASE COURSE SHALL BE 18" MINIMUM THICKNESS PER IBC AND 18" MINIMUM THICKNESS PER IRC.  
 2. PERMITS SHALL BE OBTAINED FROM THE LOCAL JURISDICTION.  
 3. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.  
 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.  
 5. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.  
 6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.  
 7. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.  
 8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.  
 9. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.  
 10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

SHEET TITLE:  
**ELEVATIONS**

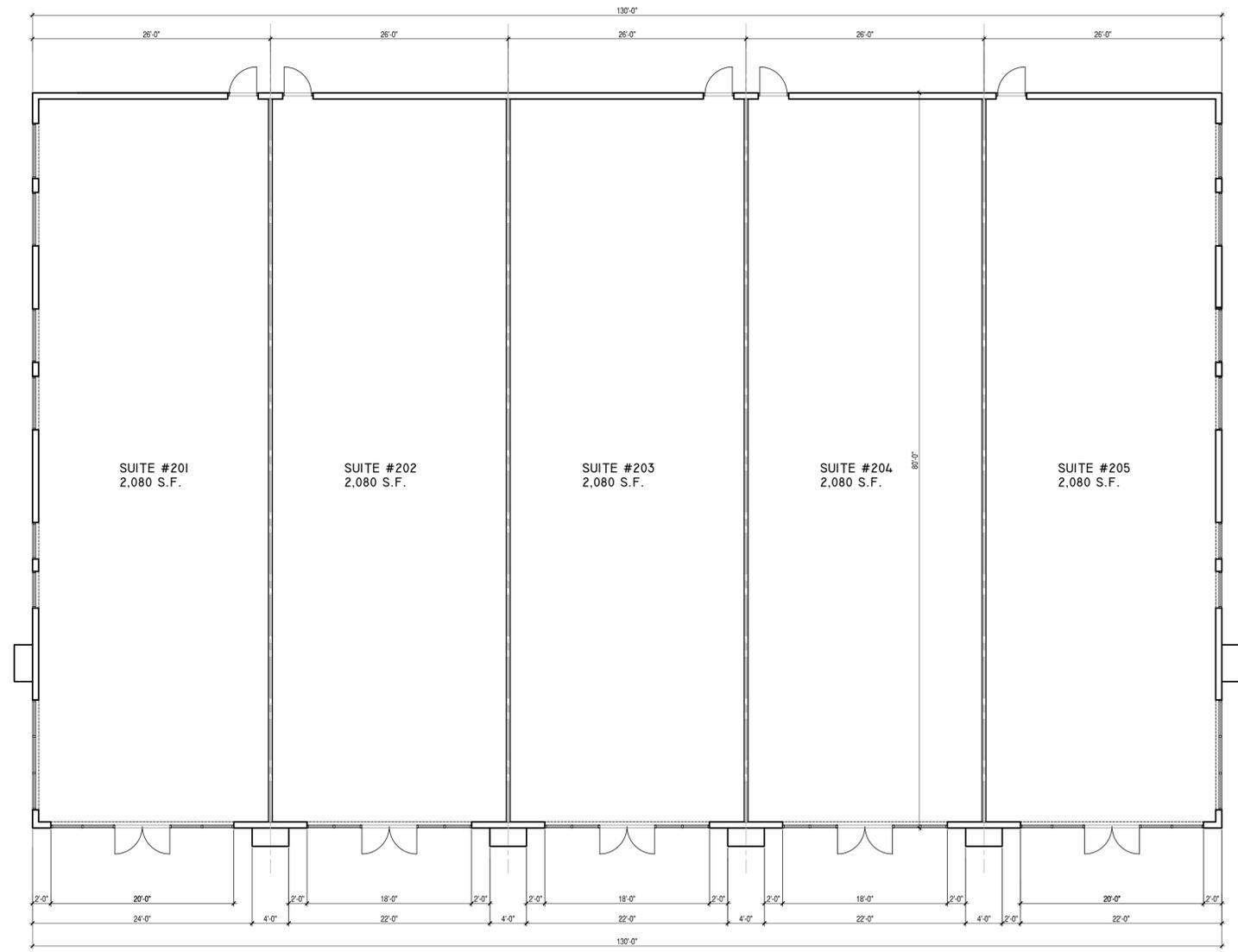
PROJECT:  
**COMMERCIAL BUILDING**  
**Building #100 - Solomons Auto Body**  
 14451 W Colonial Drive  
 Winter Garden, FL 34787

REVISIONS

SCALE: AS SHOWN  
 DRAWN BY: JJK  
 DATE: 01-18-2024  
 PROJECT NO:  
**KAD 3653**  
 SHEET NO:  
**A-3.1**







**FLOOR PLAN**  
SCALE 1/8" = 1'-0"

1  
A-2.0

6900 Touristway Lakes Blvd, Suite 400 Orlando Florida 32827 Tel. 407-344-4122 Fax. 407-344-1322 Email: karim.kaddesigns@gmail.com  
 KAD Designs Inc.

COMMERCIAL CODE COMPLIANCE:  
 THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE  
 FOLLOWING REQUIREMENTS:  
 1. WITHIN APPLICABLE LOCAL, STATE AND FEDERAL CODES  
 2. BASED ON THE DESIGNER'S BEST PROFESSIONAL JUDGMENT AND USUALLY PRACTICE  
 3. THIS CATEGORY TYPE IS BASED ON RESIDENCE TYPE (R)  
 4. WIND EXPOSURE CATEGORY C  
 5. WIND EXPOSURE COEFFICIENT IS 0.8  
 6. WIND EXPOSURE COEFFICIENT IS 0.8

**FLOOR PLAN**

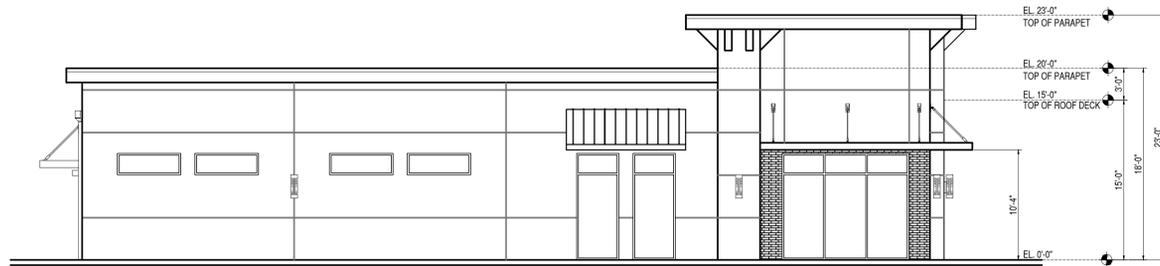
**PROJECT:**  
 COMMERCIAL BUILDING  
 Building #200, #300 & #400  
 14451 W Colonial Drive  
 Winter Garden, FL 34787

REVISIONS

SCALE: AS SHOWN  
DRAWN BY: gjk

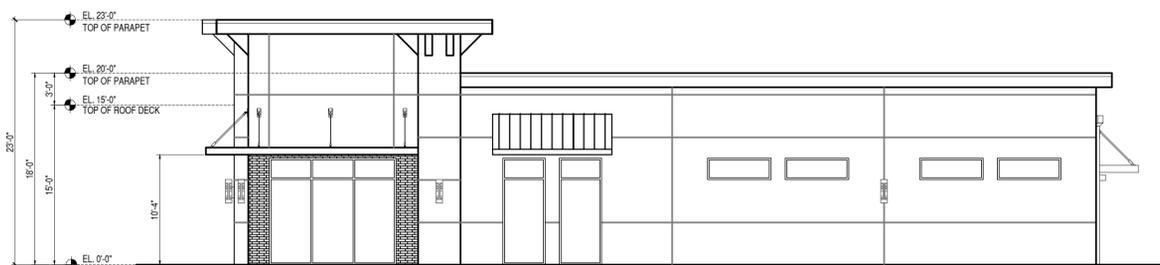
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PROJECT NO:  
KAD 3653

SHEET NO:  
**A-2.0**



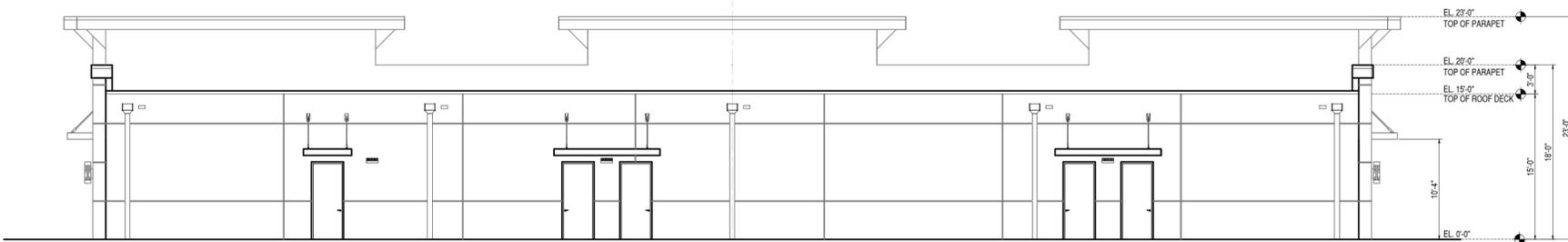
**WEST ELEVATION**  
SCALE 1/8" = 1'-0"

4  
A-3.0



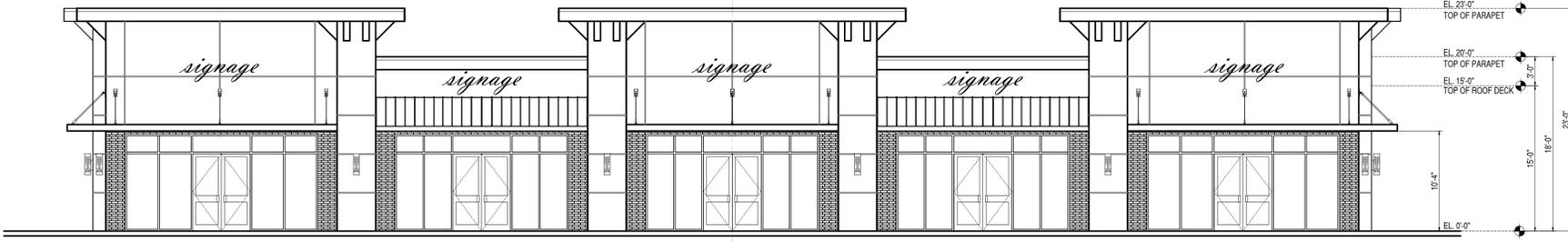
**EAST ELEVATION**  
SCALE 1/8" = 1'-0"

3  
A-3.0



**NORTH ELEVATION**  
SCALE 1/8" = 1'-0"

2  
A-3.0



**SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"

1  
A-3.0

6900 Touristway Lakes Blvd, Suite 400 Orlando Florida 32827 Tel. 407-344-4122 Fax. 407-344-1322 Email: karim.kaddesigns@gmail.com  
 KAD Designs Inc.

REVISIONS

CONTRACTOR:

**PROJECT:**  
 COMMERCIAL BUILDING  
 Building #200, #300 & #400  
 14451 W Colonial Drive  
 Winter Garden, FL 34787

**SHEET TITLE:**  
 ELEVATIONS

COMMERCIAL CODE COMPLIANCE:  
 THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE  
 REQUIREMENTS OF THE FLORIDA BUILDING CODE (FBC) AND  
 WITHIN THE JURISDICTION OF THE  
 1. FLORIDA BUILDING CODE (FBC) AND  
 2. FLORIDA STATE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS (FSBPE/S)  
 3. WIND CATEGORY: TYPE II (SINGLE FAMILY RESIDENCE TYPE I)  
 4. WIND EXPOSURE: CATEGORY C  
 5. WIND SPEED: 140 MPH (157 MPH FOR EXPOSED SURFACES) 15 MPH  
 WIND & EXPOSURE CLASSIFICATION COEFFICIENT IS 1.0

SCALE: AS SHOWN

DRAWN BY: gk

DATE: 01-18-2024

PROJECT NO:

KAD 3653

SHEET NO:

**A-3.0**

SHERWIN WILLIAMS  
SW 9154  
SMOKEY AZARITE



SHERWIN WILLIAMS  
SW 9542  
NATURAL WHITE



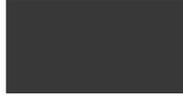
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SW 7035  
AESTHETIC WHITE



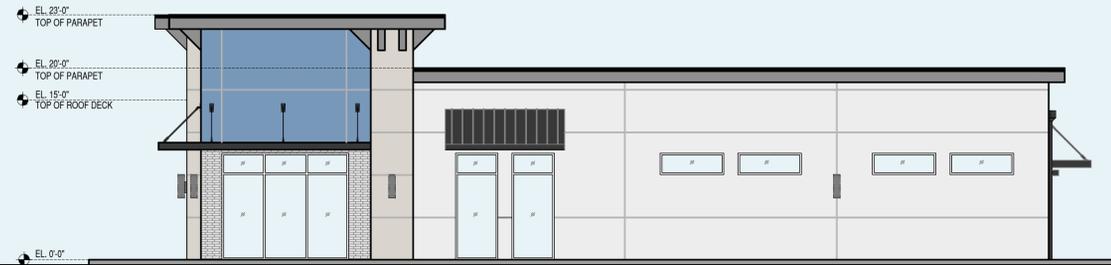
SHERWIN WILLIAMS  
SW 9152  
AFRICAN GRAY



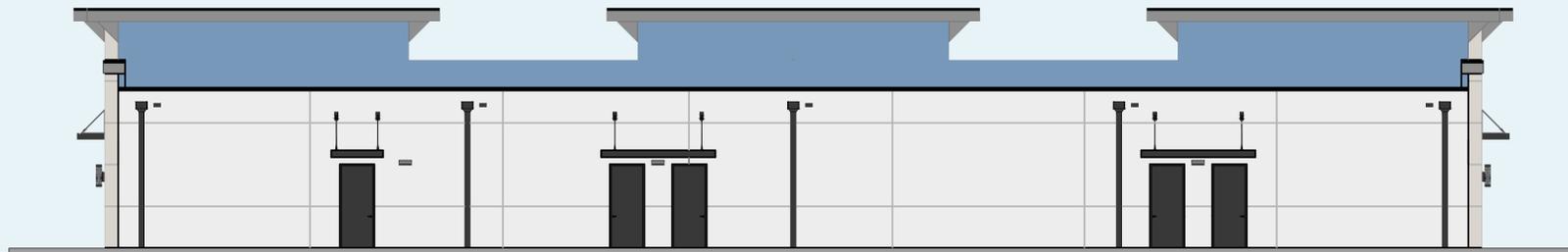
SHERWIN WILLIAMS  
SW 7069  
IRON ORE



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

6900 Touristway Lakes Blvd, Suite 400 Orlando Florida 32827 Tel. 407-344-4122 Fax. 407-344-1322 Email: karin.kaddesigns@gmail.com

KAD Designs Inc.

REVISIONS

CONTRACTOR:

PROJECT:  
COMMERCIAL BUILDING  
Building #200, #300 & #400  
14451 W Colonial Drive  
Winter Garden, FL 34787

SHEET TITLE:  
ELEVATIONS

COMMERCIAL CODE COMPLIANCE:  
THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE  
REQUIREMENTS OF THE FLORIDA BUILDING CODE (FBC) AND  
FOLLOWING APPLICABLE LOCAL ORDINANCES:  
1. FBC CHAPTER 6-01, PART 1, MINIMUM DESIGN WIND SPEED (VAP AND SURF) (160)  
2. FBC CHAPTER 6-01, PART 2, MINIMUM DESIGN WIND SPEED (VAP AND SURF) (160)  
3. FBC CHAPTER 6-01, PART 3, MINIMUM DESIGN WIND SPEED (VAP AND SURF) (160)  
4. FBC CHAPTER 6-01, PART 4, MINIMUM DESIGN WIND SPEED (VAP AND SURF) (160)  
5. FBC CHAPTER 6-01, PART 5, MINIMUM DESIGN WIND SPEED (VAP AND SURF) (160)  
6. FBC CHAPTER 6-01, PART 6, MINIMUM DESIGN WIND SPEED (VAP AND SURF) (160)  
7. FBC CHAPTER 6-01, PART 7, MINIMUM DESIGN WIND SPEED (VAP AND SURF) (160)  
8. FBC CHAPTER 6-01, PART 8, MINIMUM DESIGN WIND SPEED (VAP AND SURF) (160)  
9. FBC CHAPTER 6-01, PART 9, MINIMUM DESIGN WIND SPEED (VAP AND SURF) (160)  
10. FBC CHAPTER 6-01, PART 10, MINIMUM DESIGN WIND SPEED (VAP AND SURF) (160)

SCALE: AS SHOWN  
DRAWN BY: gk

DATE: 01-18-2024

PROJECT NO:

KAD 3653

SHEET NO:

A-3.0-C



## **Business Impact Estimate**

*This form should be included in agenda packet for the item under which the proposed ordinance is to be considered, and must be posted on the City's website by the time notice of the proposed ordinance is published.*

Proposed ordinance's title/reference: Ordinance 25-13 (Solomons Auto Body PCD)

This Business Impact Estimate is provided in accordance with Section 166.041(4), *Florida Statutes*. If one or more of the boxes are checked below, the checked exception(s) to the Business Impact Estimate requirement apply to the above-referenced proposed ordinance, although, the City is implementing the procedure otherwise required by law to ensure that no inadvertent procedural issue could impact the enactment of the proposed ordinance.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant, or other financial assistance accepted by the
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
  - a. Part II of Chapter 163, *Florida Statutes*, relating to growth policy, county and municipal planning, and land development regulation, including zoning, development orders, development agreements and development permits;
  - b. Sections 190.005 and 190.046, *Florida Statutes*, regarding community development districts;
  - c. Section 553.73, *Florida Statutes*, relating to the *Florida Building Code*; or
  - d. Section 633.202, *Florida Statutes*, relating to the *Florida Fire Prevention Code*.

In accordance with the provisions of controlling law, even notwithstanding the fact that, an exemption noted above may apply, the City hereby publishes the following information:

1. Summary of the proposed ordinance (must include statement of the public purpose, such as serving the public health, safety, morals, and welfare): This a Planned Commercial Development (PCD) rezoning ordinance. This ordinance will guide the development of the property so that it is constructed in a way that is consistent with the City's comprehensive plan and that is consistent with the City's policies regarding public health, safety, and welfare.

2. Estimate of direct economic impact of the proposed ordinance on private, for-profit businesses in the City: Not applicable.

3. Estimate of direct compliance costs that businesses may reasonably incur: Not applicable.

4. Any new charge or fee imposed by the proposed ordinance: Not applicable.

5. Estimate of the City's regulatory costs, including estimated revenues from any new charges or fees to cover such costs: Not applicable.

6. Good faith estimate of the number of businesses likely to be impacted by the proposed ordinance: Not applicable.

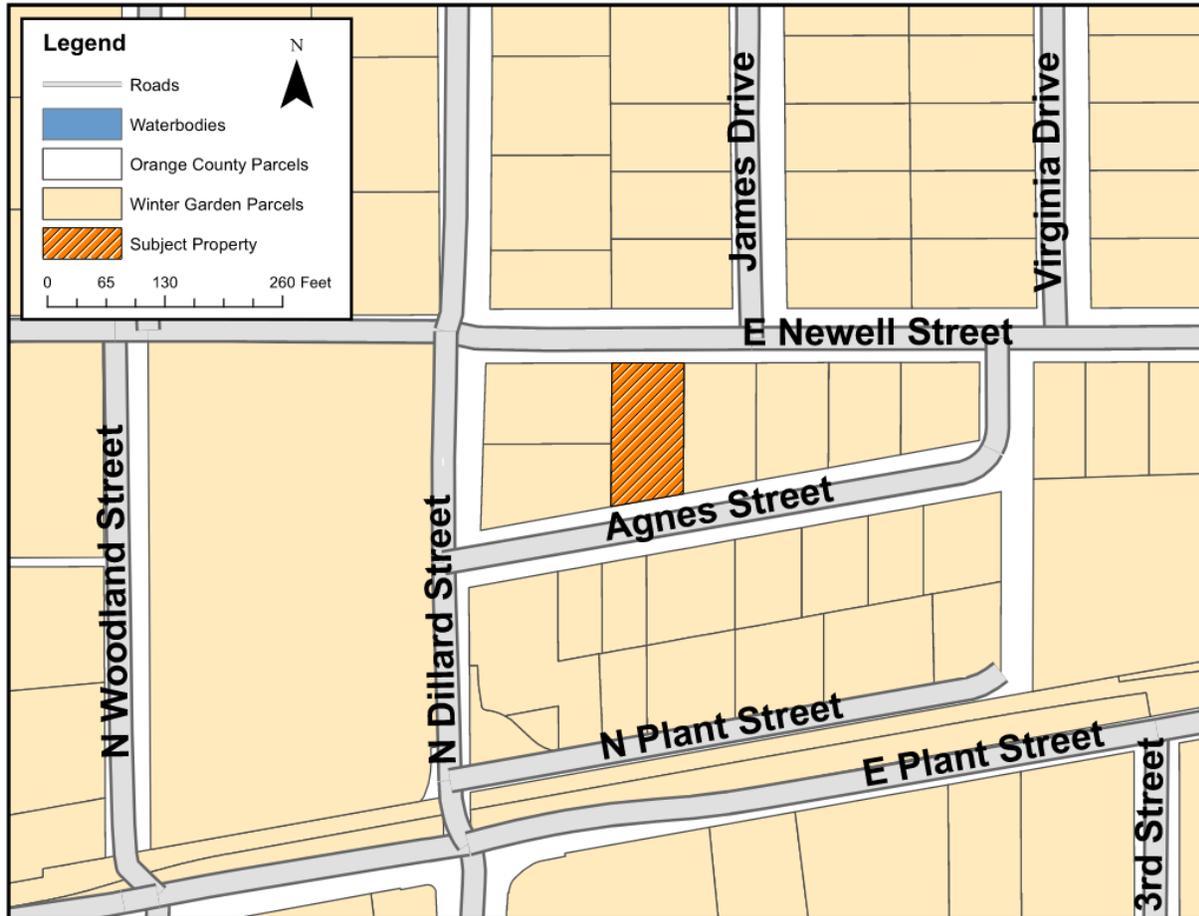
7. Additional information (if any, but may wish to include the methodology used to derive information for #1 and #2, above. For example: City staff solicited comments from businesses in the City as to the potential impact of the proposed ordinance by contacting the chamber of commerce, social media posting, direct mail or direct email, posting on City website, public workshop, etc. You may also wish to include efforts made to reduce the potential fiscal impact on businesses based on feedback from businesses. You may also wish to state here that the proposed ordinance is a generally applicable ordinance that applies to all persons similarly situated (individuals as well as businesses) and, therefore, the proposed ordinance does not impose costs only upon businesses.): Not applicable.



# LOCATION MAP

115 Agnes Street

Variance



# CITY OF WINTER GARDEN

## PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

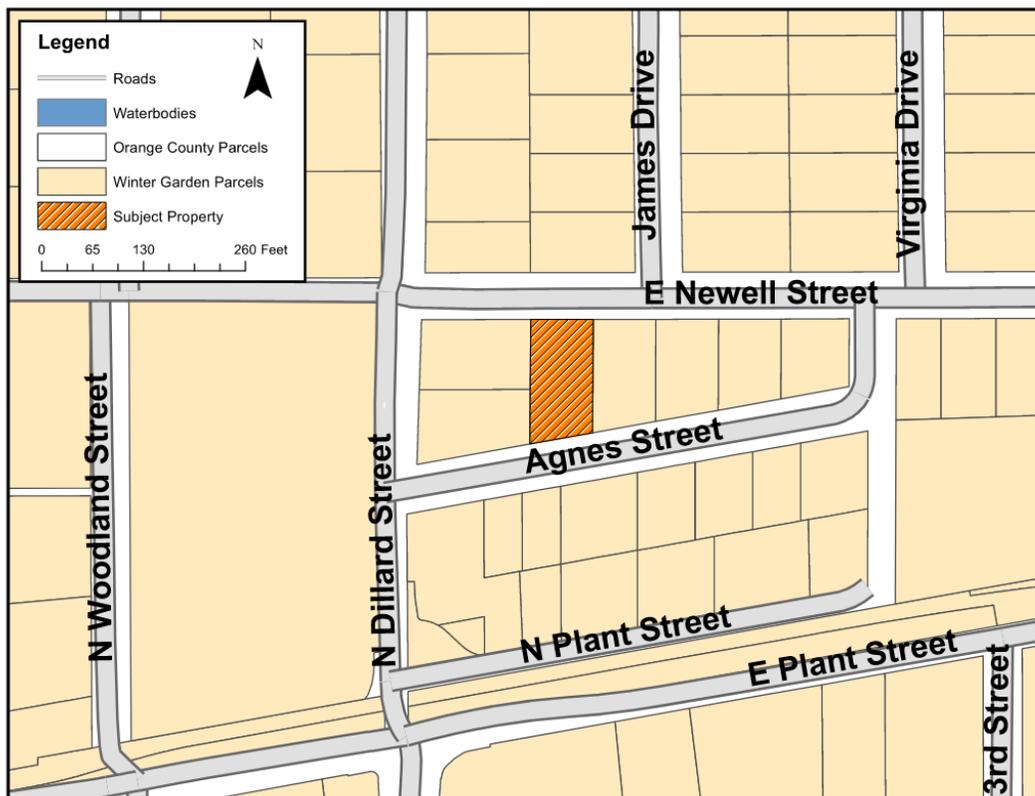
**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** Amber McDonald, Planner I  
**DATE:** April 7, 2025  
**SUBJECT:** VARIANCE  
**115 Agnes Street (0.28 ± ACRES)**  
**PARCEL ID #14-22-27-2088-00-080**

**APPLICANT:** Emily Rubin

### INTRODUCTION

The purpose of this report is to evaluate the request for a variance for the property located at 115 Agnes Street. The request is to allow a rear yard setback of 15 feet in lieu of the required 30.6 feet minimum, and a front yard setback of 20 feet in lieu of the required 30 foot minimum, in order to build a single-family home with a front porch and rear loaded garage.

The subject property, located on Agnes Street, is an approximately 0.28 ± acre lot. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property carries the zoning designation R-2 (Residential District) and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan.

### **EXISTING USE**

The property is developed with a 2,106 square foot single-family home built in 1949. The home is not in the historic district and is not considered a contributing structure.

### **ADJACENT LAND USE AND ZONING**

The properties to the north, south and east of the subject property are developed with single-family residences, are zoned R-2 and are in the City of Winter Garden's Municipal limits. There are two properties to the west of the subject property, one is developed with a single-family residence and zoned R-2, the other is developed with a two-story office building and zoned C-1 and both are in the City of Winter Garden's Municipal limits.

### **PROPOSED USE**

The applicant is requesting the variances to allow the construction of a new 5,515 square foot single-family home with a front porch and rear loaded garage.

### **CODE REFERENCE**

**Sec. 118-398.** of the City Code of Ordinances addresses the minimum yard requirements for single-family dwellings in the R-2 Zoning District. This section states,

*In the R-2 residential district, the minimum yard requirements are as follows:*

- (1) Single-family.*
  - a. Front: 30 feet*
  - b. Side: ten feet each*
  - c. Rear: 20 percent of depth of lot.*

The applicant is seeking a variance to the front yard setback and rear yard setback in order to build a single-family home with a front porch and rear loaded garage.

### **CODE REQUIREMENTS / CRITERIA**

Section 118-131 of the City Code that relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue." The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff's comments concerning this particular petition.

- (1) Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;*  
The 20 foot front yard setback and the 15 foot rear yard setback request will both be facing public right-of-ways. The proposed home will have the required 10 foot side yard setback. The setback requests should have little if any negative impacts on the standards of living of adjacent property owners.

- (2) *The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*  
Front porches and rear loaded garages are common in residential neighborhoods. The requested variances do not change the residential nature of the property. Furthermore, the proposed porch will have the same 20 foot front yard setback as the existing porch.
- (3) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*  
Both Agnes Street and East Newell Street are 60 foot wide right-of-ways with the applicant's property being 17 feet from pavement. Strict compliance with the City's land development regulations will not further any legitimate City objective.
- (4) *The granting of the variance is consistent with the city's comprehensive plan; and*  
The variances are consistent with the provisions of the City's Comprehensive Plan relating to low density residential neighborhood character.
- (5) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*  
The variances requested are the minimum variances that will make reasonable use of the land. The home is maintaining all other setbacks and standards. The proposed variances are abutting two right-of-ways. Denying the variances does not benefit the property owner or the City.

## **SUMMARY**

City Staff recommends approval of a variance to Sec. 118-398(1)(a) & (c) for the property at 115 Agnes Street to allow a rear yard setback of 15 feet in lieu of the required 30.6 feet minimum, and a front yard setback of 20 feet in lieu of the required 30 foot minimum, in order to build a single-family home with a front porch and rear loaded garage.

- 1) At no time can the front porch be enclosed as an air conditioned space.
- 2) The house will be built in the same architectural style and massing that were provided by the applicant for this variance request.

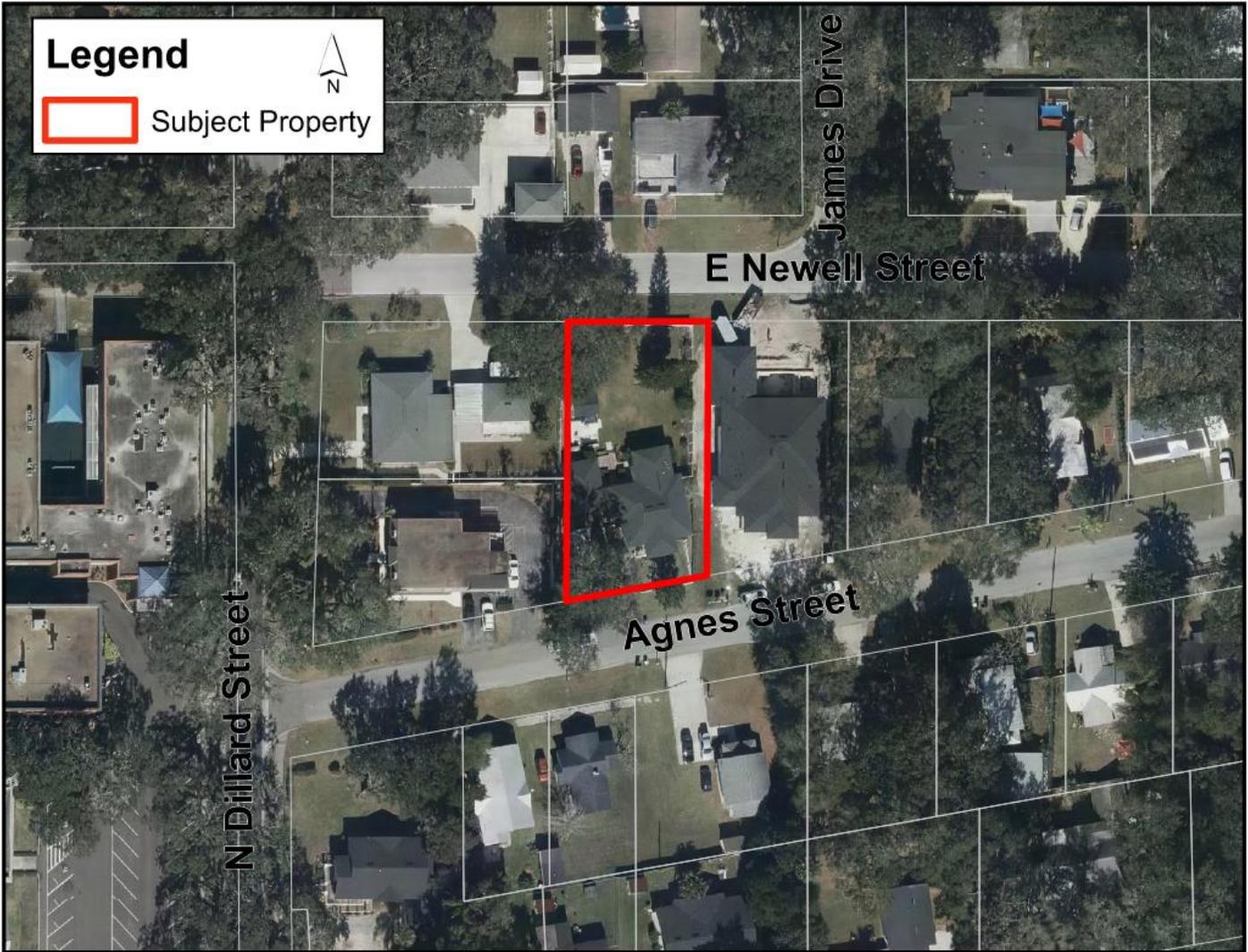
## **NEXT STEP**

Follow all City regulations and apply for building permits.

## **ATTACHMENTS**

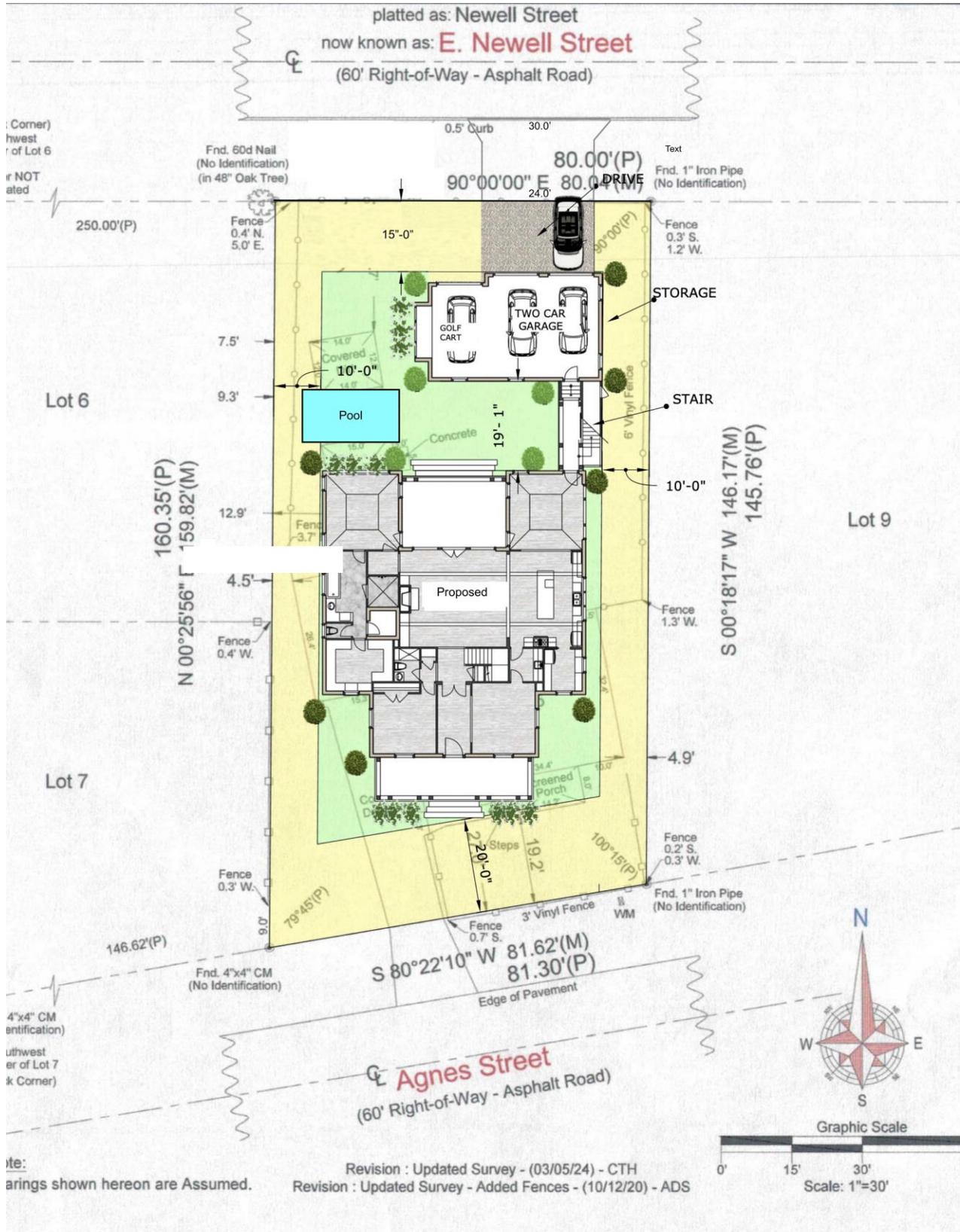
- Aerial Photo
- Survey
- Site Plan
- Elevations
- Site Photos

**AERIAL PHOTO**  
**115 Agnes Street**





**SITE PLAN**  
**115 Agnes Street**



**ELEVATIONS**  
**115 Agnes Street**





Aerial looking North West



Aerial looking South East

**SITE PHOTO**  
**115 Agnes Street**



Facing North from Agnes Street



Facing South from E Newell Street

**END OF STAFF REPORT**

**THE CITY OF WINTER GARDEN  
PLANNING AND ZONING BOARD AGENDA ITEM # 5**

**Public Hearing**

**Date:** March 31, 2025                      **Meeting Date:** April 7, 2025  
**Subject:** 16863 Sanctuary Drive  
**Project Name:** Colombier Residence  
**Parcel ID:** 05-23-27-7801-00-040  
**Issue:** The applicant is requesting a variance for property located at 16863 Sanctuary Drive.

**Supplemental Material / Analysis:**

**Owner / Applicant:** John Colombier  
**Current Zoning:** UVPUD (Urban Village Planned Unit Development)  
**Proposed Zoning:** N/A  
**Current FLU:** VIL (Urban Village)  
**Proposed FLU:** N/A

**Summary:** The applicant is requesting approval of a variance to the Winter Garden Ordinances 16-32, for the property located at 16863 Sanctuary Drive. If approved the variance will allow a covered patio to be constructed with a rear yard setback of 38 feet in lieu of the minimum required 40 feet.

**Staff Recommendation(s):**

Staff recommends approval subject to any conditions outlined in the Staff Report.

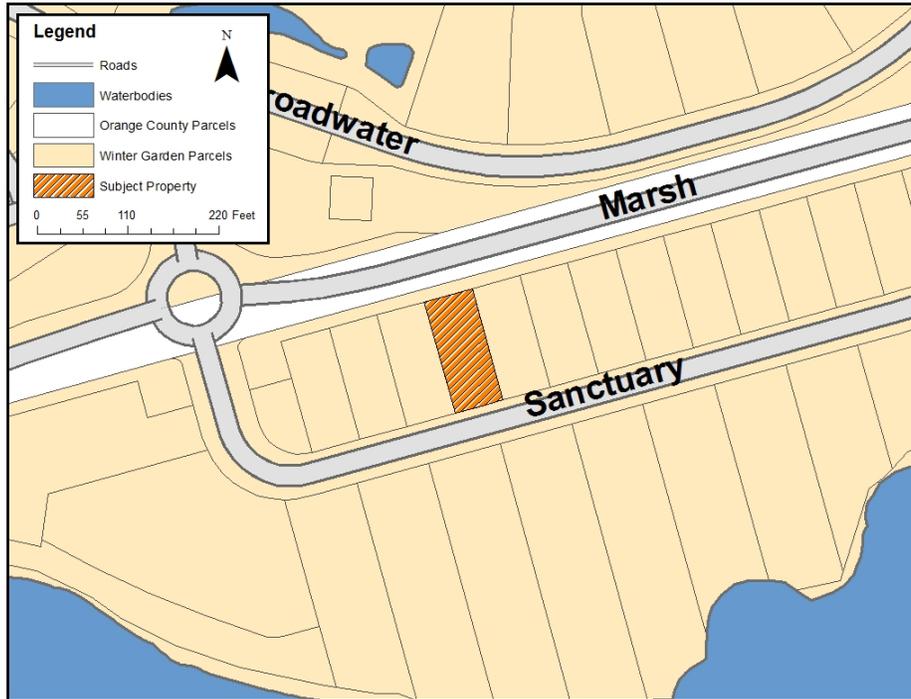
**Next Step(s):** Follow all City regulations and apply for building permits.

**Attachment(s):** Staff Report  
Location Map

# LOCATION MAP

16863 Sanctuary Drive

Variance



# CITY OF WINTER GARDEN

## PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

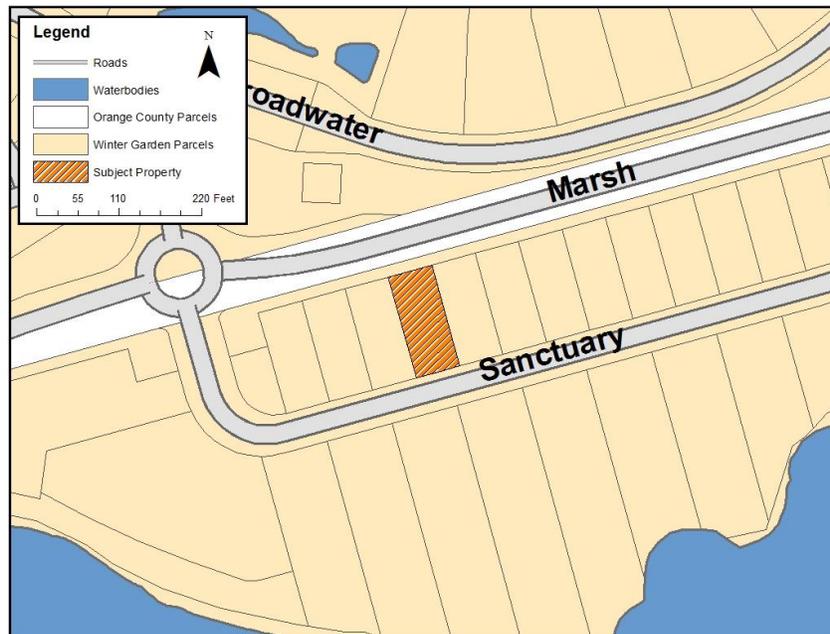
**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** SHANE FRIEDMAN, PLANNING SUPERVISOR  
**DATE:** APRIL 7, 2025  
**SUBJECT:** VARIANCE  
**16863 Sanctuary Drive (0.193 +/- ACRES)**  
**PARCEL ID #** 05-23-27-7801-00-040

**APPLICANT:** John Colombier

### INTRODUCTION

The purpose of this report is to evaluate the request for a variance for the property located at 16863 Sanctuary Drive in Winter Garden, Florida. The request is to allow a covered patio to be constructed with a rear yard setback of 38 feet in lieu of the minimum required 40 feet.

The subject property, located on Sanctuary Drive, is an approximately 0.193 ± acre lot. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The property carries the zoning designation UVPUD (Urban Village Planned Unit Development), is designated VIL (Urban Village) on the Future Land Use Map of the City's Comprehensive Plan and is located in the Sanctuary at Twin Waters subdivision.

## **EXISTING USE**

The property is developed with a 3,074 square foot two-story single-family residence.

## **ADJACENT LAND USE AND ZONING**

The properties to the south, east, and west are developed with single-family residences, are zoned UVPUD, and are located within the City of Winter Garden’s Municipal limits. The property to the north is a landscape buffer (Tract G) maintained by the Waterside on Johns Lake HOA.

## **PROPOSED USE**

The applicant is requesting the variance to allow the construction of a 10.5’ x 40’ covered patio with aluminum roof.

## **CODE REFERENCE**

**Ordinance 16-32** addresses minimum yard requirements in the Sanctuary at Twin Waters UVPUD. This section states,

*(5) Setbacks and Required Yards-*

- 60-89 foot wide lots:

...

*The rear yard setback shall be no less than 20 feet unless the property abuts Marsh Road, in which case the rear yard setback shall be no less than 40 feet.*

The applicant is seeking a variance to the minimum rear yard requirements in order to build a new 10.5’ x 40’ covered patio with insulated roof.

## **CODE REQUIREMENTS / CRITERIA**

Section 118-131 of the City Code that relates to the review criteria states that, “A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue.” The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff’s comments concerning this particular petition.

*(1) Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;*

The variance request does not encroach into the side setback and only encroaches two feet into the rear setback which abuts a landscape buffer along Marsh Road. The request should not cause any interference or negatively impact the reasonable enjoyment of adjacent or nearby property owners.

*(2) The variance will allow a reasonable use of the property, which use is not out of character*

*with other properties in the same zoning category;*

The request of a covered patio is typical and is not out of character for single-family residential neighborhood.

- (3) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City's land development regulations will not further any legitimate City objective. The applicant will abide by all other City standards and the setback encroachment is in the rear yard and abuts a landscape buffer.

- (4) *The granting of the variance is consistent with the city's comprehensive plan; and*  
The variance is consistent with the provisions of the City's Comprehensive Plan relating to Urban Village Planned Unit Developments.

- (5) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*

The variance request is quite minimal. The applicant is requesting to build a covered patio that is 38 feet from the rear yard instead of 40 feet. This is a difference of two feet. The 38-foot setback, along with the 15-foot-wide landscape tract, will mean that the patio is 53 feet from the perimeter of the UVPUD development. A 53-foot setback is more than adequate for lot of this size. Denying this variance does not benefit the property owner or the City.

## **SUMMARY**

City Staff recommends approval of the variance request to the Winter Garden Ordinance 16-32, to allow a rear yard setback of 38 feet, in lieu of the minimum required 40 feet, to allow the construction of a covered patio, subject to the following conditions.

- 1) Covered patio shall be constructed with the same materials, color, and style as provided by the applicant.
- 2) This covered patio cannot become a closed-in or air-conditioned space.

## **NEXT STEP**

Follow all City regulations and apply for building permits.

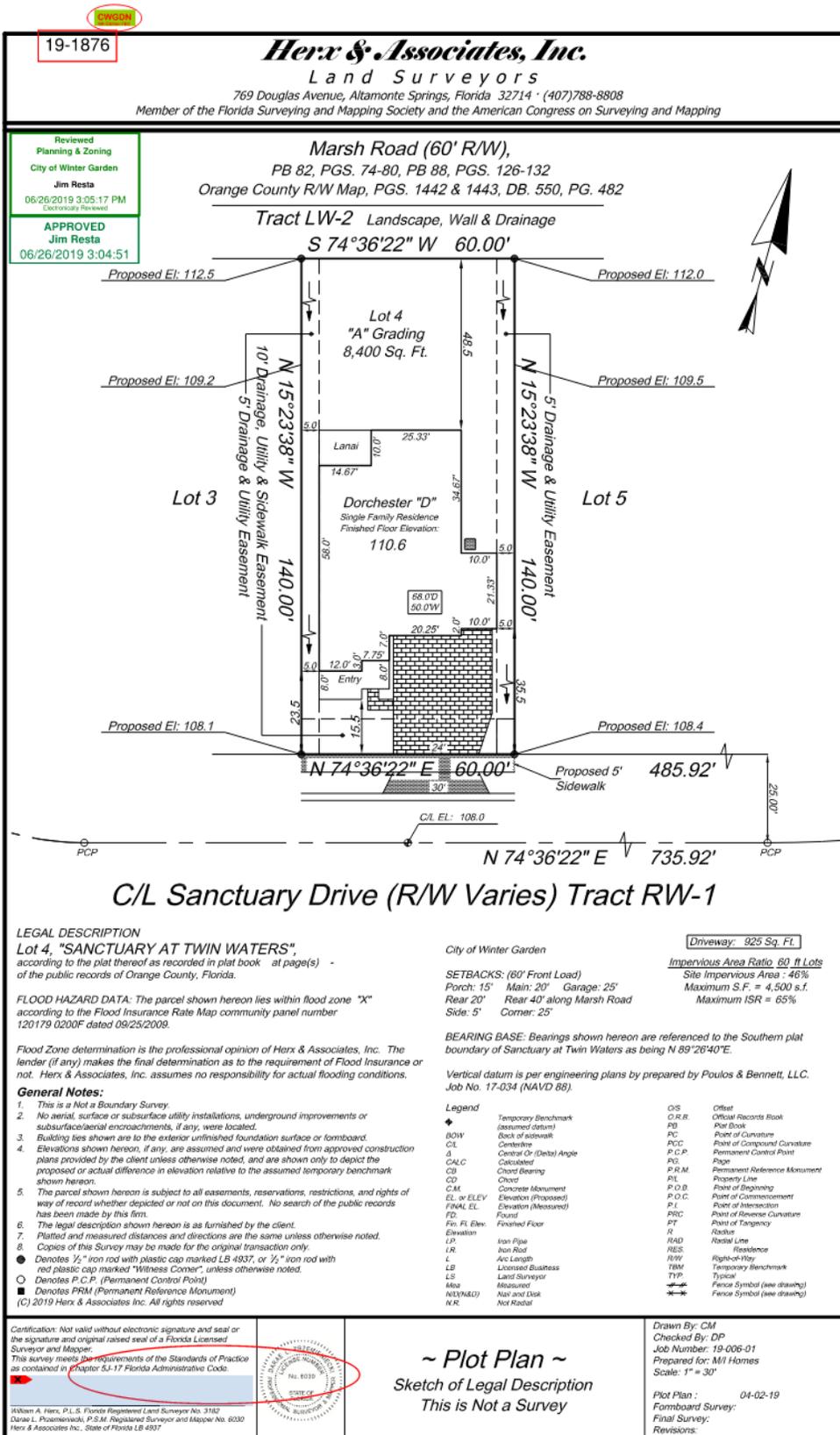
## **ATTACHMENTS**

- Aerial Photo
- Survey
- Site Photos

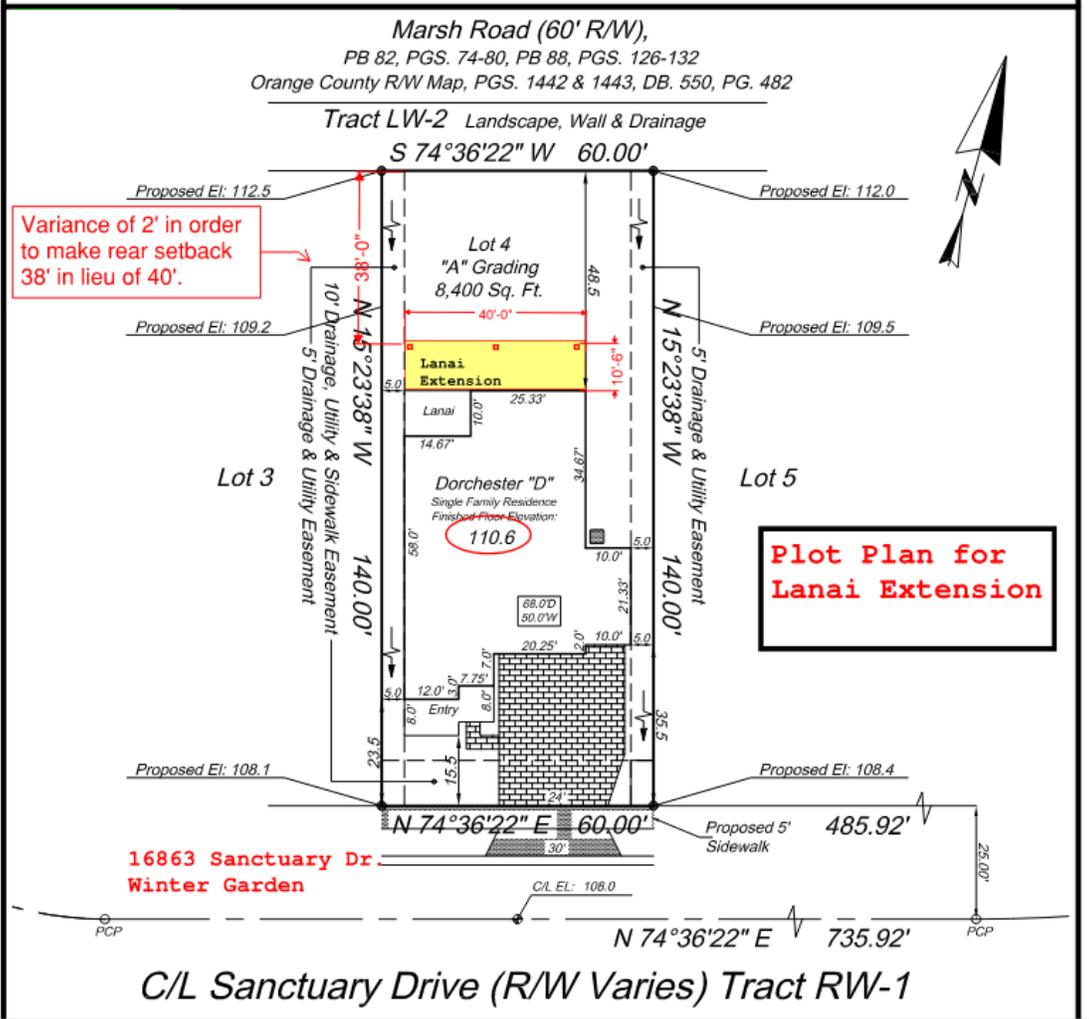
**AERIAL PHOTO**  
**16863 Sanctuary Drive**



**SURVEY**  
**16863 Sanctuary Drive**



**SURVEY**  
**16863 Sanctuary Drive**



**SITE PHOTOS**  
**16863 Sanctuary Drive**



**SITE PHOTOS**  
**16863 Sanctuary Drive**



**Covered Patio Example**

**16863 Sanctuary Drive**



**END OF STAFF REPORT**



## ORDINANCE 25-12

### AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE WINTER GARDEN COMPREHENSIVE PLAN BY ADDING A NEW PROPERTY RIGHTS ELEMENT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, on the 13<sup>th</sup> of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24<sup>th</sup> of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden; and

**WHEREAS**, Section 163.3167, Florida Statutes, requires the City of Winter Garden to maintain a comprehensive plan to guide its future development and growth; and

**WHEREAS**, Section 163.3177(6)(i)1., Florida Statutes, requires the City of Winter Garden's comprehensive plan to include a property rights element; and

**WHEREAS**, The City of Winter Garden respects judicially acknowledged and constitutionally protected private property rights; and

**WHEREAS**, the City of Winter Garden respects the rights of all people to participate in land use planning processes; and

**WHEREAS**, this ordinance will amend the comprehensive plan by adding a property rights element; and

**WHEREAS**, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

### **BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:**

**SECTION 1: Recitals.** The above recitals are hereby incorporated by reference and shall constitute the legislative findings of the City Commission of the City of Winter Garden.

**SECTION 2: Comprehensive Plan Amendment:** The City of Winter Garden Comprehensive Plan is hereby amended by adding the property rights element attached as **Exhibit 'A'** and made a part of this ordinance as if set forth in full.

**SECTION 3: Codification:** Section 2 of this Ordinance shall be codified and made part of the City of Winter Garden Comprehensive Plan.

**SECTION 4: Conflicts:** In the event of a conflict or conflicts between this ordinance and other ordinances, this ordinance controls to the extent of the conflict.

**SECTION 5: Severability:** If any portion of this Ordinance is determined to void, unconstitutional, or invalid by a court of competent jurisdiction, the remainder of this Ordinance shall remain in full force and effect.

**SECTION 6: Effective Date:** Once this Ordinance is adopted, the effective date of the comprehensive plan amendment (“Amendment”) set forth in this Ordinance shall be 31 days after the state land planning agency notifies the local government that the comprehensive plan amendment package is complete if the Amendment is not timely challenged. If timely challenged, this Amendment shall become effective on the date the state land planning agency or the Administrative Commission enters a final order determining the adopted amendment to be in compliance. If a final order of noncompliance is issued by the Administrative Commission, this Amendment may nevertheless be made effective by the adoption of a resolution affirming its effective status, a copy of which resolution shall be sent to the state land planning agency.

**FIRST READING:** \_\_\_\_\_, 2025.

**SECOND READING AND PUBLIC HEARING:** \_\_\_\_\_, 2025.

**ADOPTED** this \_\_\_ day of \_\_\_\_\_, 2025, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

\_\_\_\_\_  
John Rees, Mayor/Commissioner

ATTEST:

\_\_\_\_\_  
Angela Grimmage, City Clerk

## Exhibit 'A'

### CHAPTER 10 - PROPERTY RIGHTS ELEMENT

#### Goals, Objectives, and Policies

**GOAL 10-1:** To ensure that the City of Winter Garden respects judicially acknowledged and constitutionally protected private property rights; and to ensure that private property rights are considered in the City of Winter Garden's decision-making.

**Objective 10-1.1:** The City of Winter Garden shall respect judicially acknowledged and constitutionally protected private property rights and shall ensure that private property rights are considered in Winter Garden's decision-making.

**Policy 10-1.1.1:** The following rights shall be considered in the City of Winter Garden's decision-making:

- 1) The right of a property owner to physically possess and control his or her interests in the property, including easements, leases, or mineral rights.
- 2) The right of a property owner to use, maintain, develop, and improve his or her property for personal use or for the use of any other person, subject to state law and local ordinances.
- 3) The right of the property owner to privacy and to exclude others from the property to protect the owner's possessions and property.
- 4) The right of a property owner to dispose of his or her property through sale or gift.



## Business Impact Estimate

*This form should be included in agenda packet for the item under which the proposed ordinance is to be considered, and must be posted on the City's website by the time notice of the proposed ordinance is published.*

Proposed ordinance's title/reference:

Ordinance 25-12 – Adding a Property Rights Element to the Winter Garden Comprehensive Plan

This Business Impact Estimate is provided in accordance with Section 166.041(4), *Florida Statutes*. If one or more of the boxes are checked below, the checked exception(s) to the Business Impact Estimate requirement apply to the above-referenced proposed ordinance, although, the City is implementing the procedure otherwise required by law to ensure that no inadvertent procedural issue could impact the enactment of the proposed ordinance.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant, or other financial assistance accepted by the
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
  - a. Part II of Chapter 163, *Florida Statutes*, relating to growth policy, county and municipal planning, and land development regulation, including zoning, development orders, development agreements and development permits;
  - b. Sections 190.005 and 190.046, *Florida Statutes*, regarding community development districts;
  - c. Section 553.73, *Florida Statutes*, relating to the *Florida Building Code*; or
  - d. Section 633.202, *Florida Statutes*, relating to the *Florida Fire Prevention Code*.

In accordance with the provisions of controlling law, even notwithstanding the fact that, an exemption noted above may apply, the City hereby publishes the following information:

1. Summary of the proposed ordinance (must include statement of the public purpose, such as serving the public health, safety, morals, and welfare):

*Ordinance 25-12 adds a new Property Rights Element to Winter Garden's Comprehensive Plan to ensure compliance with Florida Statutes, Section 163.3177(6)(i)1.*

2. Estimate of direct economic impact of the proposed ordinance on private, for-profit businesses in the City:

*This ordinance should have no direct economic impact on private, for-profit businesses in the City.*

3. Estimate of direct compliance costs that businesses may reasonably incur:

*Businesses should not incur any direct compliance costs as a result of this ordinance.*

4. Any new charge or fee imposed by the proposed ordinance:

*No new fees are imposed by this ordinance.*

5. Estimate of the City's regulatory costs, including estimated revenues from any new charges or fees to cover such costs:

*No regulatory costs should be incurred by the City as a result of this ordinance.*

6. Good faith estimate of the number of businesses likely to be impacted by the proposed ordinance:

*No businesses should be impacted by this ordinance.*

7. Additional information (if any, but may wish to include the methodology used to derive information for #1 and #2, above. For example: City staff solicited comments from businesses in the City as to the potential impact of the proposed ordinance by contacting the chamber of commerce, social media posting, direct mail or direct email, posting on City website, public workshop, etc. You may also wish to include efforts made to reduce the potential fiscal impact on businesses based on feedback from businesses. You may also wish to state here that the proposed ordinance is a generally applicable ordinance that applies to all persons similarly situated (individuals as well as businesses) and, therefore, the proposed ordinance does not impose costs only upon businesses.):