

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY



## **Design Standards & Guidelines Manual**

**December / 2009**

Revision 12/01/2009



# STANDARDS & GUIDELINES MANUAL

- Overview / Definitions
- Residential Architectural Styles in District Area
- Commercial Architectural Styles in District Area
- Residential Standards and Guidelines
- Commercial Standards and Guidelines



# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## Design Guidelines and Procedures

The City of Winter Garden has prepared this *Design & Standard Guidelines Manual* as the primary implementing document for the review of exterior building features and alterations for both commercial and residential uses. Each building element is listed with a stated objective. A list of “Encouraged” examples contains architectural and design elements acceptable to the City. Conversely, a list of “Strongly Discouraged” examples are not acceptable with the intent and purpose of the architectural standards.

The City will review each application submitted in accordance with the procedures set forth in the Historic Downtown Overlay ordinance and these *Guidelines*. The City may provide a checklist of the individual design elements and will determine with the applicant which elements are required to meet the intent of the Historic Downtown Overlay ordinance. The applicant and City should review required elements at the pre-application meeting. The applicant should incorporate the required elements into the application package.

When preparing the application package, if the applicant determines that one or more design elements are not on the “Encouraged” list, the applicant must provide additional written or graphic information with the application materials and should identify the non-conformity on the application form. The City will determine if such deviation requires a waiver or variance from these *Guidelines* and the Historic Downtown District Overlay Ordinance, and will notify the applicant if the waiver or variance requires a posting on the property to provide notice to others who may want to participate in the review discussion. City staff will conduct a technical review of each application and review any comments with the applicant at the Architectural Review Committee (ARC) meeting. The Architectural Review and Historic Preservation Board (which these *Guidelines* may refer to as the “AHRPB” or the “Board”) will review the application and make a recommendation.

**The diagrams and photographs in this *Manual* are for illustrative purposes only. Subheadings and captions identify the design principle(s) and/or architectural element(s) for each depiction. The text of the Winter Garden Historic Downtown Overlay ordinance prevails in the event of any discrepancy or conflict with this *Manual*.**



# OVERVIEW / DEFINITIONS



# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## Design Guidelines and Procedures

### OVERVIEW

The City of Winter Garden's original areas of development were located near Lake Apopka in the early 1900's. Both commercial and residential development occurred in this area and in the current designated Downtown Historic District area. Many of the commercial buildings have been modified, both structurally and for a wide range of uses. In 1994, the City surveyed historic structures in both the Downtown Commercial District and Residential District north of Plant Street. Many of the structures and uses in the area have remained the same, with several major exceptions. Examples include extensive remodeling to the Winter Garden Theater and the newly constructed Garden Building, a multi-tenant, mixed use building. Other recent changes in late 2008 and early 2009 include new tenants in the Edgewater Hotel, and re-use of the Pounds Building by Birket Engineering.

The City, in adopting the Historic Downtown District Overlay ordinance, has identified exterior building standards and elements presented graphically and with detailed explanations in this *Design Standards & Guidelines Manual*.

The *Manual* is divided into several sections:

- Definitions;
- Residential Architectural Styles Prevalent in District Area;
- Commercial Architectural Styles Prevalent in District Area;
- Residential Standards and Guidelines;
- Commercial Standards and Guidelines;

This *Manual* contains a variety of design principles the City wants to be integrally part of both physical environment (buildings, streets and infrastructure), as well as, the interaction between public spaces and the peoples who are assessing buildings, streets or public spaces.

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## Design Guidelines and Procedures

### OVERVIEW Continued...

The following Design Principles and intentions govern the Historic Downtown District:

1. Create and enhance walkable, pedestrian-oriented streets with human scale architecture, public spaces, street furnishings, and indigenous landscaping.
2. Improve the visual appearance and physical access to side streets from Plant Street between and including Park Avenue and Dillard Street. These side streets include Woodland, Main, Boyd, Lakeview and Highland.
3. Design for safe, walkable streets, while maintaining functionality for vehicles, bicycles, mass transit, and other forms of transportation. Promote pedestrian activity and interconnectivity between the Business District and Residential District with short blocks, wide sidewalks, pathways, and a mix of uses within walking distance.
4. Coordinate private improvements with public streetscape.
5. Improve the aesthetic qualities of gateways into the Historic Downtown District, including Dillard Street and the area of the Plant Street and Park Avenue intersection.

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## Design Guidelines and Procedures

### DEFINITIONS

*Adaptive re-use:* The process of converting a building to a use other than that for which it was originally designed.

*Addition:* New construction added to an existing building or structure.

*Alteration:* Any material or visual change, other than normal maintenance and repair, to the exterior of any structure or architectural feature, including construction, reconstruction, or removal of any structure or building element.

*Arcade:* A series of arches supported by columns or pillars; a covered passageway; a recessed gallery with columns or piers open to the street.

*Architectural Review and Historic Preservation Board (“ARHPB” or “Board”):* A board of citizens created by local ordinance and charged with enforcing provisions of local laws governing historic districts and buildings.

*Articulate:* To express the parts or segments of a building clearly; to divide into segments.

*Balcony:* A railed projecting platform found above ground level on a building.

*Baluster:* One of a series of short pillars or other uprights that support a handrail. One of the upright, usually rounded or vase-shaped, supports of a balustrade.

*Base:* The lowest part of a column or architectural structure. A base story is the lowest story of a building.

*Bay:* A main division of a structure, usually containing a window or door. A building with three windows across the front is referred to as three bays wide. Also, an enclosed space protruding from the exterior of a building such as a bay window.

*Bay window:* A projecting window that forms an extension to the floor space of the internal room; usually extending to the ground level.

*Board:* When used in this Article, it shall mean the Architectural Review and Historic Preservation Board (“ARHPB”).

*Bond:* A term used to describe the various pattern in which brick or stone is laid, such as “common bond” or “flemish bond.”

*Bracket:* A projecting support member found under eaves or other overhangs.

*Building:* A structure created to shelter any form of human activity. This may refer to a house, barn, garage, church, hotel, retail store, or similar structure.

*Bulkhead:* The structural panels just below display windows on storefronts. Bulkheads can be both supportive and decorative in design. Nineteenth century bulkheads are often of wood construction with rectangular raised panels. Twentieth century bulkheads may be of wood, brick, tile, or marble construction. Bulkheads are also referred to as kick-plates.

*Cantilevered:* A projecting structure, such as a beam, that is supported at one end and carries a load at the other end or along its length. A member, such as a beam, that projects beyond a fulcrum and is supported by a balancing member or a downward force behind the fulcrum. A bracket or block supporting a balcony or cornice.

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## Design Guidelines and Procedures

### DEFINITIONS Continued...

*Certificate of Approval:* A document awarded by the Architectural Review and Historic Preservation Board allowing an applicant to proceed with a proposed alteration, demolition or new construction in a designated historic area, district or site, following a determination of the proposed improvements suitability to applicable design and compatibility criteria.

*Character:* The qualities and attributes of any structure, site, street or district.

*Clapboards:* Horizontal wooden boards, thinner at the top edge, which are overlapped to provide a weatherproof exterior wall surface.

*Column:* A supporting pillar. The parts of a column in classical architecture are the base, shaft, and capital.

*Commercial Retail Use:* For the purposes of this ordinance, a business that is open to the public and displays and sells goods and services directly to the public.

*Common bond:* A brickwork pattern where most courses are laid flat, with the long “stretcher” edge exposed, but every fifth to eighth course is laid perpendicularly with the small “header” and exposed, to structurally tie the wall together.

*Contributing Structure or Property:* Buildings, structures, or sites that add to the historical association, architectural quality, or archaeological value of a property or district because:

They were present during the period of significance and possess historical integrity reflecting their character at the time or potential for yielding historical information;

Their potential to qualify independently for the National Register of Historic Places; and

They are at least 50 years old.

*Cornice:* The uppermost, projecting part of an entablature, or feature resembling it. Any projection ornament molding along the top of a wall, building, etc.

*Crawl space:* The area between the ground and the first finished floor, usually 18 to 24 inches.

*Cross-gable:* A secondary gable roof which meets the primary roof at right angles.

*Demolition:* The process of razing or removing all or a substantial portion, of a building, structure or appurtenance without the intent to restore or rehabilitate the original structure in accordance with this Article.

*Demolition by neglect:* The destruction of a Contributing Structure, or structure currently being considered for Contributing status, through abandonment or lack of maintenance of such structure as further explained in § 98-194(5) of this Code.

*Design Standards and Guidelines Manual (the “Manual”):* Criteria developed by the Architectural Review and Historical Preservation and city staff to identify design concerns, standards, and guidelines in the Historic Downtown District, and to help property owners ensure that rehabilitation and new construction respect the character of designated buildings and the Historic Districts.

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## Design Guidelines and Procedures

### DEFINITIONS, Continued...

*Design review:* The process of ascertaining whether modifications to historic structures, sites, or districts meet standards of appropriateness established by a governing or advisory review board.

*Designated site, landmark, or district:* Any site, landmark, or district designated by the federal, state, or local government as having historical, or architectural significance.

*Dormer window:* A window that projects from a roof.

*Double-hung window:* A window with two sashes, one sliding vertically over the other.

*Eaves:* The edge of a roof that projects beyond the face of a wall.

*Edgeyard Building:* A building that occupies the center of its lot with Setbacks on all sides. Edgeyard Buildings are prohibited as commercial structures in the Historic District.

*Elevation:* The vertical plane of a building façade. An elevation drawing is a view of such vertical plane.

*Expression Line:* A line prescribed at a certain level of a building for the major part of the width of the Façade, expressed by a variation in material or texture or by a limited projection such as a molding or balcony.

*Exterior features:* For the purpose of this ordinance, exterior features shall include the architectural style, general design and arrangement of the exterior of a building or other structure, including the color, the kind and texture of the material constituting or applied to the exterior walls, and the type and style of all windows, doors, light fixtures, signs, other appurtenant fixtures and other natural features such as trees and shrubbery.

*Façade:* The face or front elevation of a building.

*Fascia:* A flat horizontal member of a building. A fascia sign is one attached flat against a building.

*Flashing:* Thin metal sheets used to prevent moisture infiltration at joints of roof planes and between the roof and vertical surfaces.

*Flemish bond:* A brickwork pattern where the long “Stretcher” edge of the brick is alternated with the small “header” end for decorative as well as structural effectiveness.

*Fluting:* Shallow, concave grooves running vertically on the shaft of a column, pilaster, or other surface.

*Forecourt:* A private Frontage wherein a portion of the Façade is close to the Frontage Line and the central portion of the Façade is set back. Forecourts may be used for vehicle passenger loading and unloading.

*Foundation:* The lowest exposed portion of the building wall, which supports the structure above.

*Frontage:* The area between a building Façade and the street lanes for vehicles.

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## Design Guidelines and Procedures

### DEFINITIONS, Continued...

*Frontage Line:* A lot line bordering a public Frontage. Facades facing Frontage Lines define the public realm and are, therefore, more regulated than the Elevations facing other lot lines.

*Front façade:* The principal face or front elevation of a building.

*Function:* The use or uses accommodated by a building and its lot.

*Gable:* The triangular section of a wall to carry a pitched roof.

*Gable roof:* A pitched roof with one downward slope on either side of a central, horizontal ridge.

*Gallery:* A private Frontage conventional for Retail use wherein the Façade is aligned close to the Frontage Line with an attached cantilevered shed or lightweight colonnade overlapping the Sidewalk. Galleries provide pedestrians with protection from the elements. *Gambrel roof:* A ridge roof with two slopes on either side.

*Glazing:* Fitting glass into windows and doors.

*Hipped roof:* A roof with uniform slopes on all sides.

*Historic building:* A building that is classified as a historic landmark, and a building classified as “Contributing” in the Historic Downtown District.

*Historic District:* An historic district is an area that includes or encompasses historic sites, landmarks, buildings, signs, appurtenances, structures or objects as ARHPB may determine to be appropriate for historical preservation. Designated district(s) need not be a single enclosed area; nor do the areas or sites have to be contiguous to constitute a district. When used in this Ordinance, “Historic District” shall refer to the City of Winter Garden Historic Downtown District Overlay. The term “Commercial Historic District” shall refer to those properties in the Historic District with commercial zoning. The term is not intended to preclude multi-family residential dwellings on the upper floors of buildings with commercial uses. The term “Residential Historic District” shall refer to those properties in the Historic District with residential zoning. The term “Multifamily Historic District” shall refer to those properties zoned for multi-family building functions.

*Historic landmark:* Historic landmarks include any site (including significant trees or other plant life located thereon), building, or structure of particular historic or aesthetic significance to the city, the state, or the nation. Landmarks include, sites, buildings, or structures where cultural, political, spiritual, economic, social or artistic history of the community, state or nation is reflected or exemplified, or which are identified with historic personages or with important events in local, state or national history, or which embody the distinguishing characteristics of an architectural specimen, inherently valuable for a representation of a period, style or method of construction, or a notable work of construction, or a notable work of a master designer or architect whose individual genius influenced his age.

*Historic site:* A single lot or portion of a lot containing an improvement, landscape feature, or archaeological site, or a historically related complex of improvements, landscape features or archaeological sites that may yield information on history or prehistory.

*Historic survey:* A comprehensive survey involving the identification, research and documentation of buildings, sites and structures of any historical, cultural, archaeological or architectural importance.

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## Design Guidelines and Procedures

### DEFINITIONS, Continued...

*Inventory:* A systematic identification of properties having cultural, historical, architectural or archaeological significance.

*Lattice:* An open work grill of interlacing wood strips used as screening.

*Knee brace:* An oversized bracket supporting a cantilevered or projecting element.

*Landmark:* A designated building, site, or structure having historical, architectural, or archaeological significance.

*Layer:* A range of depth of a lot within which certain elements are permitted. The 1<sup>st</sup> Layer is the first 5 feet from the Frontage Line. The 2<sup>nd</sup> Layer is the next 20 feet from the frontage Line. The 3<sup>rd</sup> Layer is the remaining portion of the lot. For example, off street surface parking is allowed only in the 2<sup>nd</sup> and 3<sup>rd</sup> layers of a commercial lot.

*Lintel:* A horizontal structural member that supports a load over an opening.

*Mansard roof:* A roof with a double slope on all four sides, with the lower slope being almost vertical and the upper almost horizontal.

*Masonry:* Exterior wall construction of brick, stone or adobe laid up in small units.

*Massing:* Composition of a building's volumes and surfaces that contribute to its appearance.

*Mitigation:* A process designed to prevent adverse impact on cultural, historic, or architectural resources, by the systematic removal of the prehistoric, historic, or architectural data and materials, by requiring the acquisition of the fundamental information necessary for understanding the property within its proper historic context. For structures, at a minimum, this may require primary archival studies, informant interviews, measured drawings, and large-scale photography. For archaeological sites, at a minimum, this may require literature studies, informant interviews, field survey, excavation, and artifact analysis. All mitigation projects require the preparation of reports.

*Mortar:* A mixture of plaster, cement, or lime with a fine aggregate and water; used for pointing and bonding bricks or stones. Mortars for repointing should be softer (measured in compressive strength) than the masonry units and no harder than the historic mortar.

*Mullion:* The vertical bar between coupled windows or multiple windows.

*National Historic Landmark Program:* Authorized in 1935 and implemented in 1960, a federal program that identifies sites and buildings of clearly national significance.

*National Register of Historic Places:* Established by Congress in 1935, the National Register of Historic Places is a listing of culturally significant buildings, structures, objects, sites, and districts in the United States. The listing is maintained by the United States Department of the Interior.

*Partial demolition:* Destruction of a portion of or appurtenance to a structure for the purposes of maintaining a structure without necessarily intending to repair or replace such portion or appurtenance. Partial demolition may be necessary to relocate an entryway, window bay, or porch to another side of a structure, remove a dangerous condition posed by a deteriorating appurtenance, construct an addition to an original structure, or otherwise improve the appearance, historical conformity, or functionality of a structure by removing a vestigial, dangerous, or otherwise inconsistent extant feature from a structure.

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## Design Guidelines and Procedures

### DEFINITIONS, Continued...

*Rehabilitation:* The means, the act or the process of returning a building, object, site, or structure to a state of utility through repair, remodeling or alteration that enables an efficient contemporary use while preserving those portions or features of the building, object, site or structure that are significant to its historical, architectural and cultural values.

*Restoration:* The creation of an authentic reproduction beginning with existing parts of an original object or building. Restoration includes the act or process of accurately recovering the form and details of a building, object, site or structure and its setting as it appeared at a particular period of time by means of removing later work or replacing missing earlier work.

*Revitalization:* The imparting of a new economic and community life in an existing neighborhood, area, or business district, while at the same time preserving the original building stock and historic character.

*Ridge:* The top horizontal member of a roof where the sloping surfaces meet.

*Right-of-way:* The strip of land owned or controlled by the city or another governmental agency over which the public has a right of passage, including the streets, parkways, medians, sidewalks and driveways constructed thereon.

*Sash:* The framework into which window panes are set.

*Setback:* The distance between the street right-of-way line and the line of a building or any projection thereof.

*Shall:* Is used to indicate a mandatory action.

*Sheathing:* The structural covering of boards or material used over studs or rafters on the outside wall or roof before installing the finished siding or roof covering of a structure.

*Shed roof:* A gently pitched, almost flat roof with only one slope.

*Should:* Is used to indicate an action which is strongly advised.

*Siding:* The exterior wall covering of a structure.

*Sill:* The bottom crosspiece of a window frame.

*Site:* The location of a significant event, activity, building, structure, or archaeological resource.

*Spindles:* Slender, elaborately turned wood dowels or rods often used in screens and porch trim.

*Stoop:* A small porch, platform, or staircase leading to the entrance of a house or building. Stoops are commonly used to provide access to a first floor elevated for privacy from the sidewalk.

*Streetscape:* The distinguishing and pictorial character of a particular street as created by its width, degree of curvature, paving materials, design of the street furniture, landscaping, and forms of surrounding buildings.

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## Design Guidelines and Procedures

### DEFINITIONS, Continued...

*Structure:* A work made up of interdependent and interrelated parts in a definite pattern of organization. Constructed by man, it may be an engineering project large in scale, such as a bridge, wall, gate, or building, or small scale, such as a monument or fountain.

*Stucco:* A type of exterior plaster applied as a two-or-three-part coating directly onto masonry. Historic stucco consisted primarily of hydrated or slaked lime, water and sand with straw or animal hair as a binder. After 1900, most stucco was composed of Portland cement, mixed with some lime. Many of the contemporary stucco products on the market today are not compatible with historic stucco buildings.

*Style:* A type of architecture distinguished by special characteristics of structure and ornament and often related in time; also, a general quality of distinctive character.

*Transom:* A horizontal opening (or bar) over a door or window.

*Trim:* The decorative framing of an opening and other features on a façade.

*Turret:* A small slender tower.

*Veranda:* A covered porch or balcony on a building's exterior.

*Vernacular buildings:* Buildings designed and built without the aid of an architect or trained designer; buildings whose design is based on ethnic, social, geographic, or cultural traditions rather than on an architectural philosophy.

*Wall dormer:* Dormer created by the upward extension of a wall and a breaking of the roofline.

*Weatherboard:* Wood siding, consisting of overlapping boards usually thicker at one edge than the other.

*Window:* A glazed opening in a wall that provides an interior space with natural light and ventilation. For description of the parts of a window see: muntin pane, and sash.

*Yard:* The land area surrounding the principal building on any parcel which is neither occupied or obstructed by a portion of the principal building from the finished grade to the sky or below the finished grade except where such occupancy, obstruction or encroachment is specifically permitted by this code.

*Front yard:* That portion of the yard extending the full width of the parcel and measured between the Frontage Line and a parallel line tangent to the nearest part of the principal building.

*Rear yard:* That portion of the yard extending the full width of the parcel and measured between the rear parcel line and a parallel line tangent to the nearest part of the principal building.

*Side yard:* Those portions of the yard extending from the required front yard to the required rear yard and measured between the side parcel lines and parallel lines tangent to the nearest part of the principal building.



# RESIDENTIAL

## Architectural Styles In Historic District



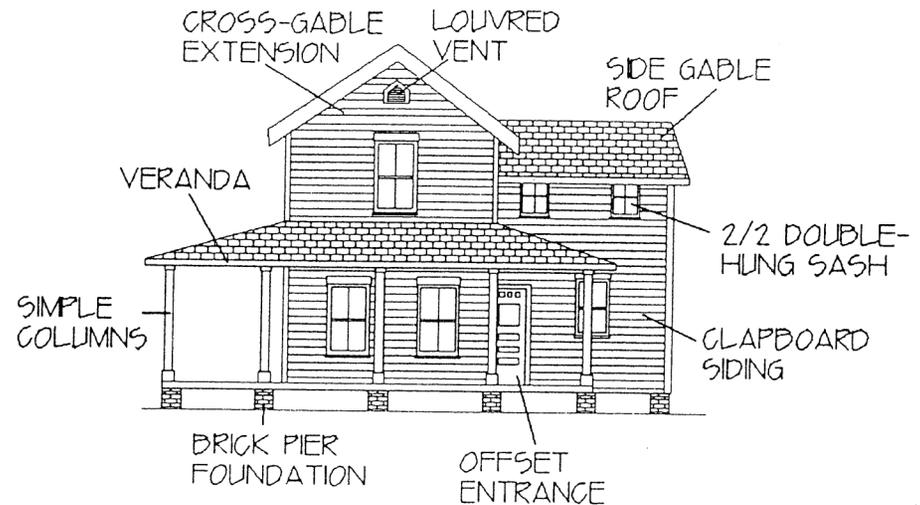
# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## RESIDENTIAL ARCHITECTURAL CLASSIFICATIONS

### FRAME VERNACULAR

Frame Vernacular buildings are typically one or two stories in height, with a balloon frame structural system built of pine. They have a regular plan and are mounted on masonry piers, most often made of bricks. Plans are usually rectangular, though L-shaped plans were often used to maximize cross-ventilation. Early versions often have gable or hip roofs steeply-pitched to accommodate an attic. Horizontal wood weatherboard, drop siding, and wood shingles are common exterior wall fabrics. Often employed as original roof surfacing materials, wood or pressed metal shingles have nearly always been replaced by composition shingles in a variety of shapes and colors. The façade is often placed on the gable end, making the height of the façade greater than its width. Porches are also a common feature and include one-and two-story end porches or verandas.

Windows are generally double-hung sash with multi-pane glazing. Decoration, generally limited to ornamental woodwork, includes a variety of patterned shingles, turned porch columns and balustrades, and knee braces and exposed rafter ends under the eaves.



### CHARACTERISTICS:

- |                              |  |
|------------------------------|--|
| 1. PLAN                      | Regular, rectangular   |
| 2. FOUNDATION                | Pier, brick, or concrete   |
| 3. HEIGHT                    | Two stories, post –1920 one-story  |
| 4. PRIMARY EXTERIOR MATERIAL | Horizontal wood siding, less common wood shingles                                    |
| 5. ROOF TYPE                 | Gable, hip   |
| 6. ROOF SURFACING            | Sheet metal, composition shingles  |
| 7. ORNAMENTATION             | Simple, usually jig-sawn woodwork on porches or around eaves, corbelling on chimneys |

Example 1.



148 N. Highland Avenue

Example 2.



211 N. Highland Avenue

Example 3.



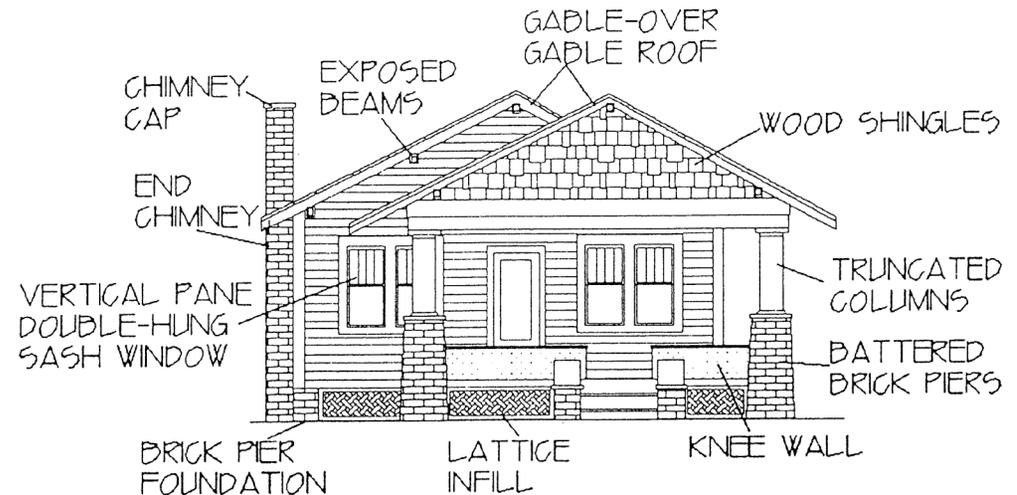
132 Agnes Street

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## RESIDENTIAL ARCHITECTURAL CLASSIFICATIONS

### BUNGALOW STYLE

The most prominent characteristic of the Bungalow style is its lack of height. With rare exceptions the Bungalow is a one or one-and-one-half story building with a shallow-pitch roof. "Camelbacks" or "airplanes," terms used to describe a second story often found on more elaborate examples, typically display a gable roof and linear form, and create more living space and additional natural interior lighting. Although side-facing and front-facing gable roofs were common design features, some elaborate models display a complex roof structure. The typical Bungalow has two rooms across the main façade, emphasizing horizontality at the expense of height. The porch, an integral part of a Bungalow, generally complements the main block. Masonry piers on which the porch rests are continued above the sill line and serve as part of the porch balustrade. The piers are surmounted by short wood columns upon which sit porch roofing members. The choice of exterior sheathing materials vary from log, wood shingle and drop siding, stucco, and stone veneers. Fenestration is consciously asymmetrical, although small windows typically flank the chimney. Double-hung sash windows frequently appear in groups of two or three, with upper sashes divided into several vertical panes. Other features include dormers, carved rafter ends, and knee braces.



### CHARACTERISTICS:

- |                              |  |
|------------------------------|--|
| 1. PLAN                      | Regular, rectangular, usually oriented with the narrow side facing the street  |
| 2. FOUNDATION                | Brick pier or continuous brick or concrete block   |
| 3. HEIGHT                    | One story, belvedere, two stories  |
| 4. PRIMARY EXTERIOR MATERIAL | Horizontal wood siding, shingles, less frequent stucco   |
| 5. ROOF TYPE                 | Gable main roof over gable porch roof, shed dormers frequent secondary roof type, less frequent multiple gable, belvedere            |
| 6. ROOF SURFACING            | Composition, asbestos shingles   |
| 7. ORNAMENTATION             | Simple, exposed structural elements (ridge beams, truss work, rafters, purlins) knee braces, battered porch piers, tapered chimneys. |

Example 1.



206 N. Highland Avenue

Example 2.



118 W. Newell Street

Example 3.



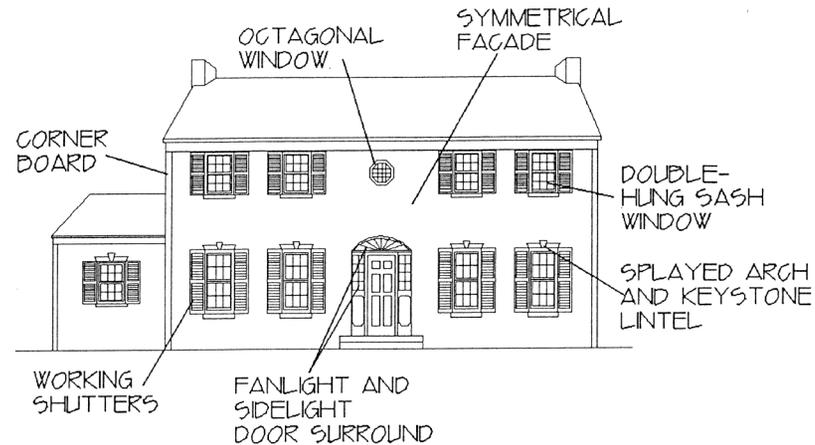
238 N. Highland Avenue

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## RESIDENTIAL ARCHITECTURAL CLASSIFICATIONS

### COLONIAL REVIVAL

The typical Colonial Revival house in Florida is an eclectic mixture of several colonial designs rather than a direct copy of a single style. The style emerged in the state in the late 1880's. Early examples often embody elements drawn from Craftsman and Bungalow influences, including dormers, exposed rafter ends, and large end or veranda porches. The Prairie style, typically in the form of the American Foursquare plan, and Dutch Colonial designs, notable for expansive gambrel roofs, also influenced the style. Some identifying characteristics of Colonial Revival architecture include a two-story symmetrical façade with gable, hip, or gambrel roofs; an accentuated door, normally with a fanlight pediment, or crown and pilaster surrounds; verandas or simple entry porches supported by columns; and paired double-hung sash windows.



### CHARACTERISTICS:

- |                              |   |
|------------------------------|---|
| 1. PLAN                      | Regular, rectangular or nearly square   |
| 2. FOUNDATION                | Brick piers or continuous brick   |
| 3. HEIGHT                    | Two to two-and-one-half stories   |
| 4. PRIMARY EXTERIOR MATERIAL | Horizontal wood siding, shingles, less frequent brick   |
| 5. ROOF TYPE                 | Hip, hip dormers frequent secondary roof type, gambrel roof on Dutch Colonial Revival   |
| 6. ROOF SURFACING            | Embossed sheet metal or shingles, composition, asbestos shingles  |
| 7. ORNAMENTATION             | Classically derived — columns, balustrades, modillions, dentils, shutters. Entrance detailing — transom, side lights, fanlights, ornamental woodwork — common |

Example 1.



220 N. Highland Avenue

Example 2.



244 N. Lakeview Avenue

Example 3.



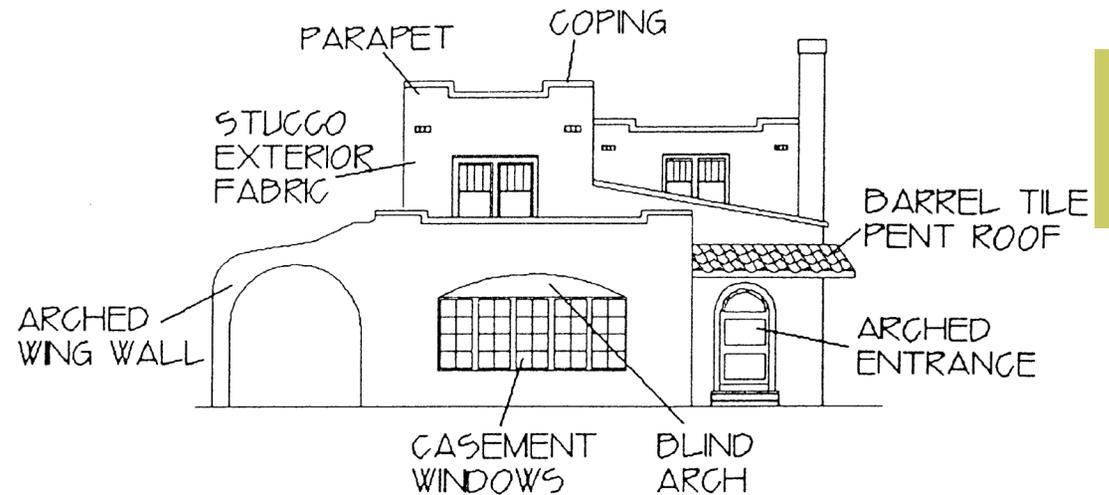
223 S. Lakeview Avenue

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## RESIDENTIAL ARCHITECTURAL CLASSIFICATIONS

### MEDITERRANEAN REVIVAL STYLE

The Mediterranean Revival styling is an eclectic design containing architectural elements with Spanish or Middle Eastern precedents. Mediterranean Revival buildings in Florida display considerable Spanish influence. It was adapted for a variety of building types ranging from grandiose tourist hotels to two-room residences to public buildings. Hollow-tile construction was typically reserved for use on large, elaborate examples, with wood framing and stucco-on-lathe being the more common construction technique. The popularity of the style became widespread, and many commercial and residential buildings underwent renovation in the 1920's to reflect Mediterranean influences. Identifying features of the style include flat or hip roofs, usually with some form of parapet; ceramic tile roof surfacing; stucco facades; entrance porches, commonly with arched openings supported by square columns; casement and double-hung sash windows; and ceramic tile decorations.



### CHARACTERISTICS:

- |                              |  |
|------------------------------|--|
| 1. PLAN                      | Irregular  |
| 2. FOUNDATION                | Continuous   |
| 3. HEIGHT                    | Two stories  |
| 4. PRIMARY EXTERIOR MATERIAL | Stucco   |
| 5. ROOF TYPE                 | Hip roof, flat with curvilinear parapet (Mission)  |
| 6. ROOF SURFACING            | Barrel, French interlocking tile   |
| 7. ORNAMENTATION             | Plaster and terra cotta detailing highlighting arches, columns, window surrounds, cornices, and parapets; wrought iron grilles, balconies, and balconets |

Example 1.



246 N. Highland Avenue

Example 2.



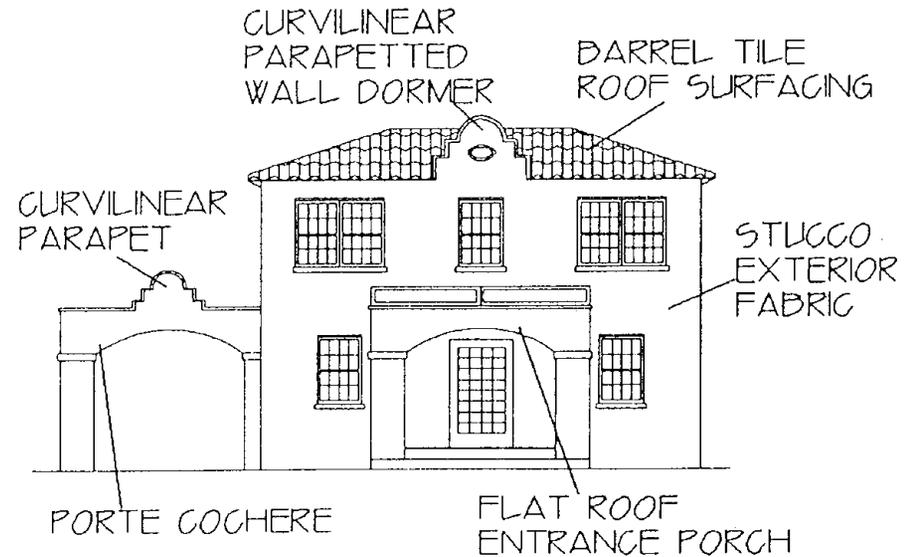
871 Vineland Road

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## RESIDENTIAL ARCHITECTURAL CLASSIFICATIONS

### MISSION STYLE

In Florida, the Spanish Mission style was among the most dominant building styles during the decade before the collapse of the Florida land boom. It was adapted for a variety of building types ranging from churches, schools, and grandiose tourist hotels to two room residences. Many commercial buildings were renovated in the 1920s to reflect the style. Identifying features of the style include flat or roofs, always with a curvilinear parapet or dormer either on the main or porch roof; ceramic tile roof surfacing; stucco facades; flat roof entrance porches, commonly with arched openings supported by square columns; casement and double-hung sash windows; and ceramic tile decorations.



### CHARACTERISTICS:

- |                              |  |
|------------------------------|--|
| 1. PLAN                      | Irregular  |
| 2. FOUNDATION                | Continuous   |
| 3. HEIGHT                    | Two stories  |
| 4. PRIMARY EXTERIOR MATERIAL | Stucco   |
| 5. ROOF TYPE                 | Low pitched clay tile roofs, with projecting eaves   |
| 6. ROOF SURFACING            | Barrel, French interlocking tile   |
| 7. ORNAMENTATION             | Smooth stucco siding, roof parapets, large square pillars, twisted columns, arcaded entry porch, round or quatrefoil window, red tile roof |

Example 1.



91 N. Main Street

Example 2.



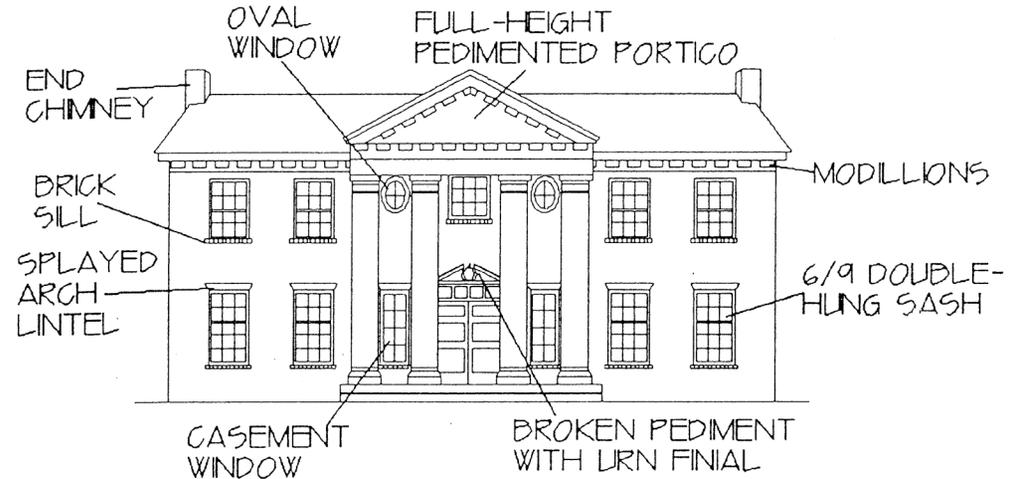
541 N. Boyd Street

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## RESIDENTIAL ARCHITECTURAL CLASSIFICATIONS

### CLASSIC REVIVAL STYLE

In Florida, the Classical Revival style became popular for commercial and government buildings, particularly banks and courthouses, during the first three decades of the twentieth century. The style was also often applied to large residences built on prominent sites. Some of the characteristics of the style include a symmetrical façade dominated by a full height porch on classical columns, typically with Ionic or Corinthian capitals; gable or hip roofs with boxed eaves, frequently with dentils or modillions beneath the roof and a wide frieze band surrounding the building; doorways featuring decorative pediments; double-hung sash windows, usually with six or nine panes per sash; and roof line balustrades.



### CHARACTERISTICS:

- |                              |   |
|------------------------------|---|
| 1. PLAN                      | Regular, rectangular or nearly square   |
| 2. FOUNDATION                | Piers or continuous, brick  |
| 3. HEIGHT                    | Two to two and one half stories   |
| 4. PRIMARY EXTERIOR MATERIAL | Horizontal wood siding  |
| 5. ROOF TYPE                 | Low-pitched hip   |
| 6. ROOF SURFACING            | Embossed sheet metal or metal shingles, composition, asbestos shingles.   |
| 7. ORNAMENTATION             | Classically derived, full-façade height ionic columns, balustrades, medallions, dentulous. Entrance detailing — transom, sidelights, ornamental wood work — common. |

Example 1.



125 W. Plant Street

Example 2.



125 W. Plant Street

Example 3.



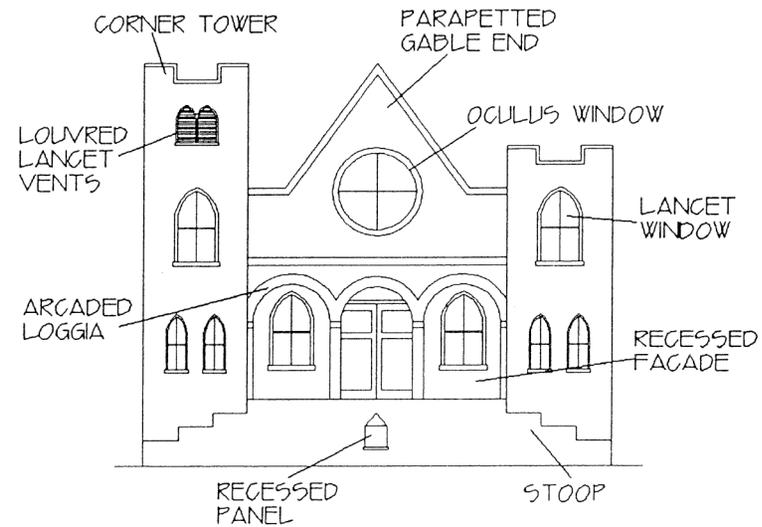
125 W. Plant Street

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## RESIDENTIAL ARCHITECTURAL CLASSIFICATIONS

### GOthic REVIVAL STYLE

Gothic Revival experienced a renaissance in the late nineteenth and early twentieth centuries. Buildings that embody the style from this later period typically have more subdued detailing and are often smaller than their predecessors. Few residential models of the style were built in Florida and most were located in older communities. Small churches erected in the 1870's and 1880's by the Episcopal Dioceses are scattered throughout the peninsula. Identifying features of the style include steeply-pitched gable roofs, often with one or more intersecting cross-gables, decorative vergeboard in the gable ends, open eaves, a variety of wood sidings, one story entrance or end porch, and varied window treatments including lancet, cantilevered oriels, and double-hung sash windows, often with diamond pane glazing.



### CHARACTERISTICS:

- |                              |  |
|------------------------------|--|
| 1. PLAN                      | Regular, rectangular   |
| 2. FOUNDATION                | Slab, continuous   |
| 3. HEIGHT                    | One-story porch with flattened, Gothic arches  |
| 4. PRIMARY EXTERIOR MATERIAL | Variety of wood sidings, brick   |
| 5. ROOF TYPE                 | Steeply pitched roof, cross-gabled   |
| 6. ROOF SURFACING            | Composite shingle  |
| 7. ORNAMENTATION             | Decorated vergeboards at gable ends, pointed-arch windows, sometimes stained glass, like churches, Gothic window above entry, including lancet, cantilevered oriels, and double-hung sash windows. |

Example 1.



125 N. Lakeview Ave

Example 2.



125 N. Lakeview Ave

Example 3.



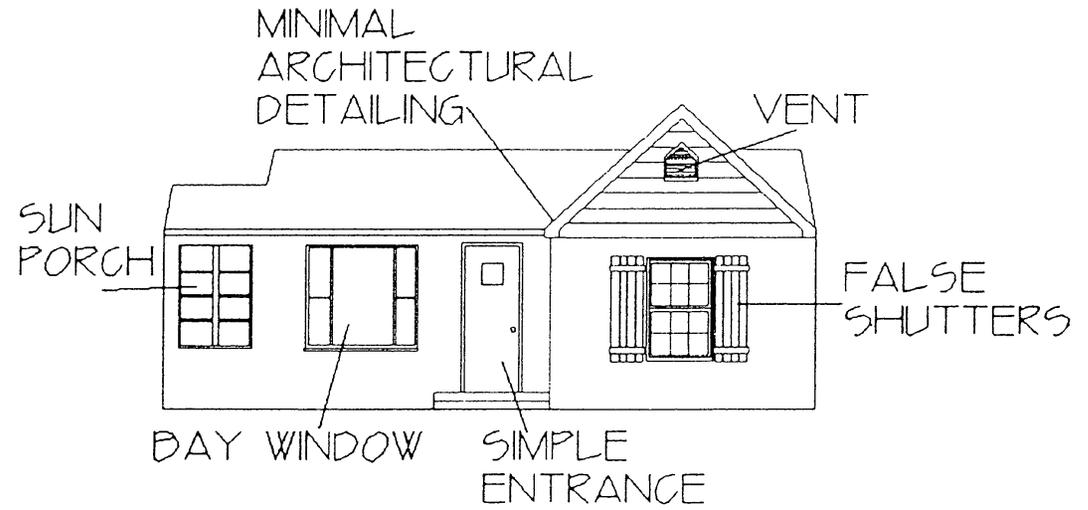
125 N. Lakeview Ave

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## RESIDENTIAL ARCHITECTURAL CLASSIFICATIONS

### MINIMAL TRADITIONAL STYLE

The Minimal Traditional building form was introduced in the mid-1930's at the height of the Great Depression, as a relatively low-cost alternative to its high-style predecessors. Minimal Traditional building plans were adapted from the Tudor Revival cottage that was popular during the 1920's. Architectural detailing is sparse and limited to vague references to the Colonial Revival or Monterey styles. Unlike the preceding Tudor Revival style, roof slopes are moderate to low, and the eaves and rake are held close to the building surface. A common trait of the Minimal Traditional style is to have at least one front-facing gable extension and a large end, exterior chimney stack. The Minimal Traditional style was introduced in Florida, especially Jacksonville, in its earliest stages.



### CHARACTERISTICS:

- |                              |   |
|------------------------------|---|
| 1. PLAN                      | Regular, rectangular  |
| 2. FOUNDATION                | Continuous  |
| 3. HEIGHT                    | One Story   |
| 4. PRIMARY EXTERIOR MATERIAL | Horizontal wood siding, less common wood shingles   |
| 5. ROOF TYPE                 | Low-pitched hip roof  |
| 6. ROOF SURFACING            | Composition shingles  |
| 7. ORNAMENTATION             | Recessed door entry, decorative vent, at least one front facing gable extension and larger exterior chimney stack |

Example 1.



165 S. Lakeview Avenue

Example 2.



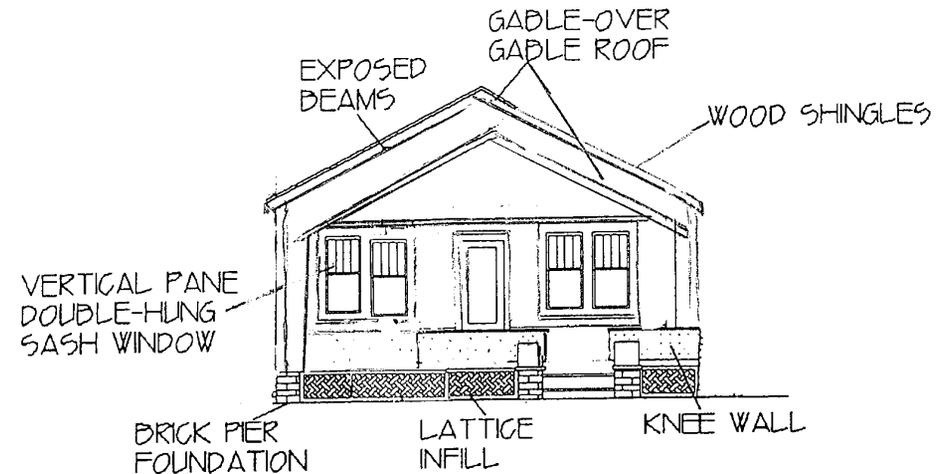
222 S. Highland Avenue

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## RESIDENTIAL ARCHITECTURAL CLASSIFICATIONS

### MASONRY VERNACULAR

Masonry Vernacular is more commonly associated with commercial building than with residential architecture, where wood frame houses dominate. Although not as common as vernacular wood structures, these unpretentious buildings are numerous enough to warrant a separate category. They are generally composed of brick, stone, or concrete block. As with vernacular wood structures, masonry buildings lack ornamentation and architectural details that would distinguish a specific style, and are, therefore, divided into categories according to the roof shape and floor plan. The front gable is the most popular form and is found not only on smaller homes, but also on schools, churches, barns, and sheds. It is the simplest of the vernacular masonry types. The hipped box is also quite common. It is generally a one-story, square structure with a hipped roof and usually a front porch. One should not confuse it with the more elaborate Classic Cottage or Bungalow, both of which have more architectural details and ornamentation. The roof of the side gable is parallel to the entrance or front façade with the gable ends facing the side. As with the other types, ornamentation is limited. A gable L is not as common on masonry buildings as on wood frame structures. However, the form is similar, featuring a front gable intersected by a side gable. Masonry false front structures are also somewhat rare. In its most common occurrence, the main portion of the building is stone or brick, with a wooden false front attached.



### CHARACTERISTICS:

- |                              |  |
|------------------------------|--|
| 1. PLAN                      | Regular, rectangular   |
| 2. FOUNDATION                | Continuous or slab (commercial), brick, or concrete                  |
| 3. HEIGHT                    | Two stories (apartments), one-two stories residential and commercial |
| 4. PRIMARY EXTERIOR MATERIAL | Brick, common or running bond, stucco, rough texture                 |
| 5. ROOF TYPE                 | Hip, flat with parapet (commercial)                                  |
| 6. ROOF SURFACING            | Composition shingles, built-up, commercial                           |
| 7. ORNAMENTATION             | Simple, usually cast-concrete or ornamental brick such as corbelling |

Example 1.



201 N. Highland Avenue

Example 2.



133 N. Highland Avenue

Example 3.



202 S. Lakeview Avenue

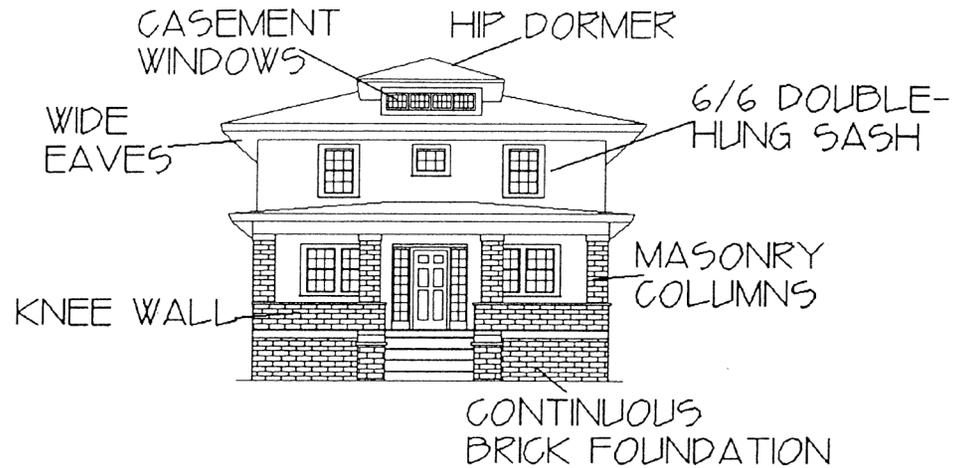
# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## RESIDENTIAL ARCHITECTURAL CLASSIFICATIONS

### PRAIRIE STYLE

Distinctive features of the Prairie style include a two-story design, often with a bold interplay of horizontal planes against a vertical block and secondary vertical details. Low-pitched gable, flat, or hip roofs with boxed eaves often contrast with dormers, massive chimneys, and horizontal ribbons of windows, often treated with leaded glass. Cantilevered overhangs, one-story porches, porte cocheres, or extensions with massive column supports are secondary features. Brick, stucco, tile, or rough face cast stone exterior wall fabrics often appear in combination with wood. Mission or Italian Renaissance influences, such as tiled roofs or cornice line brackets, are prominent in some models.

A mansion home, such as in the form of Example 1 below, could disguise apartment dwellings for several families, where allowed by the zoning code, for better compatibility with nearby single family homes.



### CHARACTERISTICS:

1. PLAN
2. FOUNDATION
3. HEIGHT
4. PRIMARY EXTERIOR MATERIAL
5. ROOF TYPE
6. ROOF SURFACING
7. ORNAMENTATION

Irregular  
Continuous  
Two stories  
Stucco  
Low-pitched hip roof with wide, projecting eaves  
Composition shingles  
Geometric detailing — leaded panes or lights in windows, wrought iron railings, grills, column capitals, and cornices, pediments, fascia, cast-metal brackets. Florid, Sullivanesque ornament

Example 1.



230 N Highland Avenue

Example 2.



222 1/2 W. Newell Street

Example 3.



763 W. Plant Street

# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## RESIDENTIAL ARCHITECTURAL CLASSIFICATIONS

### TUDOR REVIVAL STYLE

Some of the typical features of the style include steeply pitched roofs that are usually side gabled with intersecting extensions; decorative half-timbering and stucco siding; tall, narrow casement windows with multi-paned glazing; and massive exterior chimneys, often located on the front façade of the building.



### CHARACTERISTICS:

- |                              |  |
|------------------------------|--|
| 1. PLAN                      | Regular, rectangular   |
| 2. FOUNDATION                | Continuous   |
| 3. HEIGHT                    | One story  |
| 4. PRIMARY EXTERIOR MATERIAL | Stucco, masonry  |
| 5. ROOF TYPE                 | Steeply pitched, front-faced gables  |
| 6. ROOF SURFACING            | Composite shingle  |
| 7. ORNAMENTATION             | Half-timbering, executed in stucco, masonry, or masonry veneered walls (mimic the brick and stone exteriors on English prototypes) |

Example 1.



235 N. Lakeview Avenue



# COMMERCIAL

## Architectural Styles In Historic District

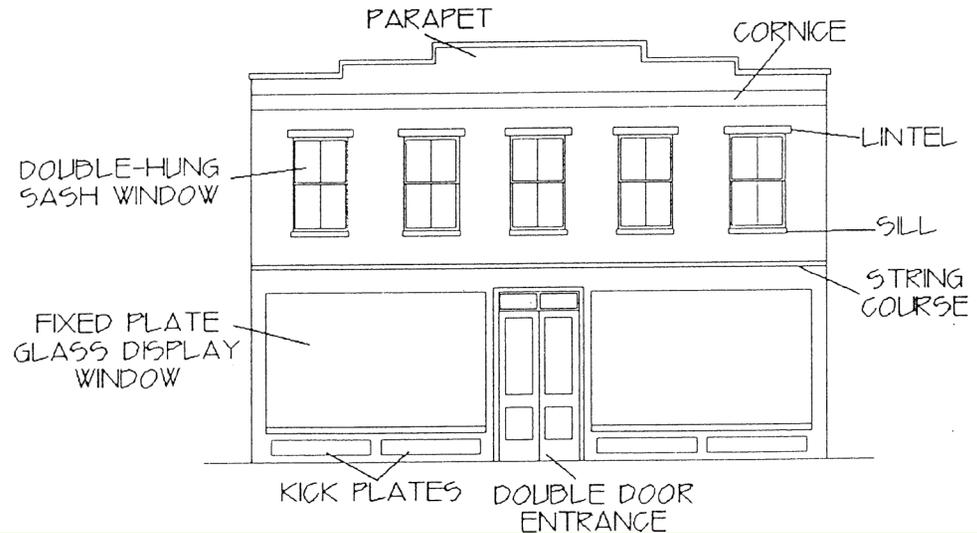


# CITY OF WINTER GARDEN—HISTORIC DOWNTOWN DISTRICT OVERLAY

## COMMERCIAL ARCHITECTURAL CLASSIFICATIONS

### MERCANTILE / MASONRY VERNACULAR

Mercantile (a/k/a Masonry Vernacular) is more commonly associated with commercial building than with residential architecture, where wood frame houses dominate. The name applies to a large range of buildings, from relatively small one-story stores and shops to four-story buildings that contain a variety of uses, including apartments and public meeting halls in the upper stories. Elaborate late 19th century models often displayed heavily accented cornices, window hoods, and iron-framed storefronts. Oriels or bays protruded from corners or wall surfaces. Some examples featured the rough-faced cast concrete block popularized by Henry Hobson Richardson in his Romanesque buildings of the late 19th century. In Florida, most early 20th century models were brick, and typically exhibited a symmetrical façade, brick corbelled cornice, stylized panels, belt courses, and storefronts with paneled wood doors, wood kick panels, plate glass, and transoms. Commercial vernacular designs of the 1920's were often influenced by Spanish or Art Deco designs of the period, and hollow tile became commonly use in structural systems. During the 1930's, the International Modernistic styles influenced vernacular design, and reinforced concrete construction techniques became more frequently used to produce a variety of forms. Following World War II, concrete block construction became a popular masonry building material.



### CHARACTERISTICS:

- |                              |  |
|------------------------------|--|
| 1. PLAN                      | Regular, rectangular                                 |
| 2. FOUNDATION                | Continuous or slab (commercial), brick, or concrete  |
| 3. HEIGHT                    | Two stories (apartments), one-two stories commercial |
| 4. PRIMARY EXTERIOR MATERIAL | Brick, common or running bond, stucco, rough texture |
| 5. ROOF TYPE                 | Hip, flat with parapet (commercial)                  |
| 6. ROOF SURFACING            | Composition shingles, built-up, commercial           |

Example 1.



101 W. Plant Street

Example 2.



99 W. Plant Street

Example 3.



1 N. Main Street



# RESIDENTIAL

## Standards And Guidelines



# NEW CONSTRUCTION

## ENCOURAGED



Frame Vernacular Style home.

## RESIDENTIAL

### DESIGN STANDARDS—NEW CONSTRUCTION (Sec. 98-192(9)(a))

New construction shall allow for infill development or redevelopment of individual residential lots that is consistent with either the architectural styles of surrounding homes or the residential architectural styles that are predefined in the historic district.



Frame Vernacular Style home with detached garage.

## ENCOURAGED CONTINUED...



Frame Vernacular two-story Style.



Frame Vernacular one-story Style.



Classic Revival Style.



Colonial Revival Style.

## STRONGLY DISCOURAGED



Garage-dominated contemporary not consistent with historic styles.

## ENCOURAGED

- New residential structures shall conform to surrounding residential structures.
- Property Owners are encouraged to meet with the City to discuss the style of home.
- Garage to be detached and recessed behind the home.



Ranch house with horizontal window patterns, incorporating garage.

## STRONGLY DISCOURAGED

- Mid to late 20th century style (“ranch,” “modernist,” “cubist,” “contemporary,” “faux-Mediterranean” construction) will not be allowed.
- No prefabricated homes allowed.
- Non-recessed Garages and driveways exceeding 10 ft. wide at sidewalk dominating the front façade.
- Strong, horizontal window patterns.

Note: Other traditional examples listed in Part I of this *Manual* are acceptable as well.

# ADDITIONS

## ENCOURAGED



Matching materials on facade and roof.



Matching detached garage in rear with “granny flat” living space above.

## STRONGLY DISCOURAGED



Visible addition in front of building line and with inconsistent window trim.



Use of unapproved materials.

## RESIDENTIAL

### DESIGN STANDARDS—ADDITIONS (Sec. 98-192(9)(b))

Additions and minor alterations to houses shall respect and adhere to the existing architectural style. A major alteration of the façade of a non-Contributing Structure should adopt historical references and architecture compatible with Contributing Structures.

### ENCOURAGED CONTINUED...



Matching materials with addition.

## ENCOURAGED

- Any and all additions to stucco finish structures shall use stucco to match the existing color, composition and texture.
- Any and all additions to wood structures shall use wood to match the existing wood in size, shape and texture.
- Brick shall be laid in true bonding patterns (no stack pattern).
- Porches for infill lots shall be able to encroach into front setback by eight-ten (8-10) feet.
- Maintaining existing porches.

## STRONGLY DISCOURAGED

- Removing and not replacing the front porch.
- Pitch of addition’s roof inconsistent with existing structure’s roof.
- Additions in front of the house’s existing front elevation.
- Different window light pattern is not allowed.
- Inconsistent window trim.

# GARAGES AND ACCESSORY STRUCTURES

## ENCOURAGED



Compatible open garage design.



Matching detached garage in rear with "granny flat" living space above. Narrow driveway.

## STRONGLY DISCOURAGED



Attached carport in rear yard.



Open detached carport.

## RESIDENTIAL

### DESIGN STANDARDS—GARAGES AND ACCESSORY STRUCTURES (Sec. 98-192(9)(c))

Garages shall be detached and located behind the principal structure. Shared driveways are encouraged. Driveways should not exceed ten (10) feet in width at the sidewalk.

### ENCOURAGED CONTINUED...



Detached Garage. Single-wide garage doors.



Detached Garage. Single-wide door.



Detached Structure.



Covered walkway.

## ENCOURAGED

- Detached garages are required and should be located in the rear portion of the lot.
- Single-wide garage doors are preferred to a double-wide door, if visible to the street.
- Accessory structures are to be located in conformance with the zoning setbacks and respect building separation as applicable.

### STRONGLY DISCOURAGED CONTINUED...



Double-wide garage door incorporated into front of house with wide driveway.

## STRONGLY DISCOURAGED

- Prefabricated accessory storage structures shall not exceed one hundred (100) square feet and shall meet setbacks for zoning district.
- Accessory structures shall not exceed height of main structure.
- Garage attached or incorporated into main house (However, a preexisting attached garage can be rebuilt if justified by the circumstances).

# BUILDING COLORS

## ENCOURAGED



House color and roof color are complimentary.



Trim compliments architectural style.

## RESIDENTIAL

### DESIGN STANDARDS—BUILDING COLORS (Sec. 98-192(9)(d))

Colors shall relate attractively to the predominant colors of adjacent and visually-related Contributing Structures.



Historic Color Palettes.



Trim accents building color.

## STRONGLY DISCOURAGED



Bright, florescent color.



Color combination lacking historic basis.



Bright color without historic basis or consistent finish.

## ENCOURAGED

- Colors should keep within the original style and with other building in the Historic District.
- Historic color palettes are preferred for home exterior and accessory structures.
- Accent colors for entry doors and window trims, such as white, grey and earth colors will be preferred.
- Brick, stone or other materials intended to be naturally unpainted shall remain unpainted, unless the material has been painted before. Restoration to the original, unpainted condition is encouraged.
- New structures shall use colors consistent with structures in immediate proximity, three hundred to five hundred (300-500) feet from the property.
- Roofs may be painted; however, the selected color should be similar to the color of the building's original roofing material.

## STRONGLY DISCOURAGED

- Bright colors, florescent colors, primary colors, contrasting color combinations and patterns without historic basis are prohibited.
- Painted areas must be maintained painted.
- Lack of consistent paint finish

# PORCHES AND BALCONIES

## ENCOURAGED



Classic open porch.



Open porch with railings.

## RESIDENTIAL

### DESIGN STANDARDS—PORCHES AND BALCONIES (Sec. 98-192(9)(e))

Porches and balconies shall to provide for the use and enjoyment of property to provide for both viewing and seating areas as appropriate and shall complement the architectural style of the structure.

### ENCOURAGED CONTINUED...



Open porch with awnings.



Roof lines match house.



Front Porch Lani.

## STRONGLY DISCOURAGED



Porch exterior not compatible with house elevation.



Porch columns inconsistent with house elevation.

## ENCOURAGED

- Porches and porch features that are in good condition or repairable and are in character with the architectural style of building shall be retained and repaired to match original materials, size and configuration to maximum extent possible.
- New porch elements such as balusters and columns shall be compatible with the architectural style of building.
- Porches not visible from right-of-way can be screened. No architectural elements shall not be damaged or removed.
- Porches visible from right-of-way shall only be enclosed with glass or screen and requires board review and approval.

## STRONGLY DISCOURAGED

- Replacement of existing porch with design or materials not in character with the architectural style and period is prohibited.
- Screened enclosures shall be reviewed on a case by case review to determine consistency with historic architectural style of home.

# FENCES AND WALLS

## ENCOURAGED



Screen fence to garage area.



Classic picket fence.

## RESIDENTIAL

### DESIGN STANDARDS—FENCES AND WALLS (Sec. 98-192(9)(f))

Fences and walls shall provide necessary screening and security using aesthetic materials compatible with the Historic District, either at the property boundary or other designated locations on a site. New chain-link fences are prohibited.

### ENCOURAGED CONTINUED...



PVC fence on side yard with caps.



Classic picket fence.



Wrought iron fence.

## STRONGLY DISCOURAGED



Split rail fence not permitted.



Vinyl coated fence not permitted

## ENCOURAGED

- Recommended type of fencing in single family residential areas include material wood, white picket and wrought-iron.
- Fences in the front yard shall not exceed three (3) feet in height.
- Walls in front yards shall not exceed three (3) feet in height and shall be set back at least ten (10) feet from property line.
- Side yard fence to create privacy due to close proximity between structures—fifteen (15) feet or less.
- PVC fence (white) is permitted when decorative caps are on top. When the PVC fence is adjacent to a street or alley, a landscaped hedge shall be installed between the fence and right-of-way.
- Fences should be located behind sidewalk.
- All connected walls or fences shall have consistent finishes.

## STRONGLY DISCOURAGED

- New chain link fences are prohibited. Any replacement of an existing chain link fence shall use a recommended style fence material.
- Vinyl coated chain link fences are not allowed.
- Painting wooden fences unless the lot has an existing painted fence.
- New split railing fence not allowed.

# COMMERCIAL

## Standards And Guidelines



# STORE FRONT / FACADES

## ENCOURAGED



High transparent glass.



Storefront columns support front elevation.

## STRONGLY DISCOURAGED



Dilapidated awning.



Mechanical equipment on front exterior and glass covered with opaque material.

## COMMERCIAL

### DESIGN STANDARDS—STORE FRONT / FACADES (Sec. 98-192(10)(c))

Primary customer entrances shall be clearly defined and highly visible through use of architectural detail for all structures. Storefronts and Facades shall provide an appropriate exterior elevation to the street that complements the architectural style and building function.

## ENCOURAGED CONTINUED...



Brick façade, clean look to front of store.



Brick façade, transom window.



Architectural window features.

## ENCOURAGED

### Primary Materials

- Brick, stucco, stone or cast stone.
- Highly transparent glass with low reflectivity for all commercial buildings particularly with ground floor store fronts.
- Provide varied roof forms and architectural detailing that provides for distinctive entry and door features, window features, medallions on other architectural elements, and other design elements that represent the character of the proposed building.

### Secondary Materials

- Use of one or two coat ("hard coat") stucco system with a synthetic finish (typically 100% acrylic based coating is acceptable).

## STRONGLY DISCOURAGED

- No Exterior Insulating Finish System (EIFS) as primary façade.
- Inconsistent replacement materials that do not complement style of building (examples include; vinyl on aluminum siding, artificial stone, plywood or T-III siding, covering historic finishes with cladding systems).
- Vinyl window frames.
- Covering windows with opaque material.
- Mechanical equipment on front façade of building.

# ROOFS

## ENCOURAGED



Parapet roof line.



Stepped parapet.

## COMMERCIAL

### DESIGN STANDARDS—ROOFS (Sec. 98-192(10)(e))

Buildings shall have a recognizable top consisting of either pitched roofs or varying roof lines, including but not limited to, cornice treatments, roof overhangs with brackets, steeped parapets, richly textured materials and/or differently colored materials.

### ENCOURAGED CONTINUED...



Distinctive tile roof with pitch.



Stepped and curvilinear parapet, ceramic barrel tile surfacing.



Pitched roof—one material.



Pitched roof with dormer windows .

## STRONGLY DISCOURAGED



Mansard shingle roof.



Flat top roof.

## ENCOURAGED

- Architecturally create a top to building by creating a sense of completing the building façade. The architectural top may be accomplished by providing a projected cornice or parapet, change in window rhythm, setback of upper floor, or use of other façade material.
- Pitched roofs shall be maintained with same materials as original roof.
- Roof additions shall have similar shape, materials and pitch as the existing structure.
- Architectural features such as dormers, cornices, towers, eaves, chimneys, parapets are encouraged.

## STRONGLY DISCOURAGED

- Flat tops to roof with no architectural or cornice cap and/or use of other materials.
- Different roof materials that can be seen from street level.
- No exposed skylights.
- Mansard roofs, as the predominant roofing style of a building, are prohibited.
- Mechanical equipment or other roof structures within ten (10) feet from perimeter or edge of structure.

# WINDOWS / DOORS

## ENCOURAGED



Highly transparent glass.



Covered double doors.

## STRONGLY DISCOURAGED



Use of reflective glass.



Lattice covering window.



Lack of ground floor windows.

## COMMERCIAL

### DESIGN STANDARDS—WINDOWS/DOORS (Sec. 98-192(10)(c)(1))

To both maintain the window and door styles and details in good condition to maximize visibility to the street on the ground floor.

### ENCOURAGED CONTINUED...



Distinctive trim around windows.



Arched Window.



Transparent glass and distinctive window trim.



Arches on windows.



Double door.

## ENCOURAGED

- Maintenance or replacement of windows and doors that substantially match the existing windows in size, design and placement.
- Any new windows shall have the mullion profiles similar to contributing structures. If single hung or double hung windows are placed in groupings, a four (4) to six (6) inch trim shall separate the windows.
- Doors, screen doors, frames, lintels shall be maintained or repaired consistent and in character with the style of the building.
- Add new doors to meet disabled accessibility laws.
- Doors with glass for increased visibility into storefront.
- All exterior windows will have a minimum 3" inset.

## STRONGLY DISCOURAGED

- The use of reflective glass and reflective film is prohibited on all buildings.
- Doors with flush or sliding glass doors shall be prohibited.
- Stained glass and art glass will be allowed when consistent with the architectural style of the building.
- Lack of ground floor windows.

# PORCHES AND BALCONIES

## ENCOURAGED



Balconies—Entrance building features.

## COMMERCIAL

### DESIGN STANDARDS—PORCHES AND BALCONIES (Sec. 98-192(10)(c)(3))

To provide for the use and enjoyment of property to provide for both viewing and seating areas as appropriate that complement the architectural style of the structure.

## ENCOURAGED CONTINUED...



Columns add to building features.



Balconies match building colors.

## ENCOURAGED

- Porches and porch features that are in good condition or repairable and are in character with the architectural style of building shall be retained and repaired to match original materials, size and configuration to maximum extent possible.
- New porch elements (such as balusters and columns) shall be compatible with the building's architectural style.
- Porches not visible from right-of-way may be screened. However, no architectural elements shall be damaged or removed when enclosing a porch.

## STRONGLY DISCOURAGED

- Replacement of existing porch with design or materials not in character with the architectural style and period is prohibited.
- Subject to Board review and approval, porches visible from the right-of-way shall only be enclosed only with glass or screen.

# OVERHANGS/AWNINGS

## ENCOURAGED



Awning lettering on front of awning.



Custom tile awning.

## COMMERCIAL

### DESIGN STANDARDS—AWNINGS/CANOPIES (Sec. 98-192(10)(c)(2))

Awnings should fit into the storefront's overall architecture and appearance. Awnings provide protection and cover from bright sunlight and inclement weather.

### ENCOURAGED CONTINUED...



Hard top canopy.



Solid color with lettering on vertical face.



Solid color with trim.



Solid round style awning.

## STRONGLY DISCOURAGED



Mechanical equipment on top of awning.



Awning frame—no awning.

## ENCOURAGED

- Solid colors such as black, green, or maroon are acceptable.
- Installing either new or replacement awnings should match or complement adjacent awning structures.
- Must use either canvas style or "hard top" style awnings.
- Minimum elevation of bottom to ground seven (7) feet and maximum projection from building is nine (9) feet.
- Sign allowance on awning—eight (8) square feet.

## STRONGLY DISCOURAGED

- Backlit or internally lit plastic awnings.
- No signage allowed on the slope portion of an awning.
- Concealing architectural details with awnings.

# SIGNS

## ENCOURAGED



Attractive ground sign with plantings.



Perpendicular sign compliments building and is oriented to pedestrians.

## STRONGLY DISCOURAGED



Aluminum in door.



Sign exceeds 20% of area and is not hung from the top of window.

## COMMERCIAL

### DESIGN STANDARDS—SIGNS (Sec. 98-192(10)(h), (Sec. 98-196))

Sign should relate harmoniously to exterior building material, texture and color; express a simple, clear message; and contain a minimum number of words. **SIGN REQUIREMENTS WILL BE INCORPORATED INTO THE CITY'S SIGN REGULATIONS—CHAPTER 118, SECTION 102 AS AMENDED.**

## ENCOURAGED CONTINUED...



Appropriate use of window signage.



Channel letter design.



Sign integrated into building façade.



Sign copy on flat front of awning.

## ENCOURAGED

- Signs should complement building architecture and other building elements.
- Business name is permitted on inside of window.
- Signage lighting shall be suitable, pedestrian oriented, and not in competition with adjacent illuminated signs.
- New signs should be capable of being removed without causing damage to the building.
- Fasteners should go in mortar joints and should not damage bricks.
- Signs perpendicular to building oriented to pedestrians.

## STRONGLY DISCOURAGED

- New neon and LED signs are prohibited in the Historic Downtown District.
- Window signs must be either framed or hung from the top of window (no direct attachment to window).
- Cannot cover architectural detailing on building.
- Roof signs not allowed.
- Pole signs not allowed.
- Billboards and off-site outdoor advertising not allowed.
- Signs with flashing, video, or movement or other technology inconsistent with the Historic District not allowed.

# UTILITY AND REFUSE AREA

## ENCOURAGED



Screening to rear perimeter of property divided.



Screened with landscaping.

## STRONGLY DISCOURAGED



Front yard trash bin.



Trash bins are not allowed in right-of-way.

## COMMERCIAL

### DESIGN STANDARDS—UTILITY AND REFUSE AREA (Sec. 98-192(10)(i))

Above ground utilities and refuse storage areas shall have necessary screening. Trash receptacles shall be located in the rear of the property.

## ENCOURAGED

- Use of screening walls, approved fencing, or other materials (landscaping and hedging) to screen above ground utility equipment and refuse equipment.
- HVAC units shall be screened from public right-of-way.
- Electrical vaults, meter boxes, and communications devices.
- Outdoor trash bins must be in the rear of the property.

## STRONGLY DISCOURAGED

- No exposed refuse equipment next to public areas, parking lots, or public right-of-ways.
- No mechanical or utility equipment in front yard or adjacent to public right-of-way unless installed underground.

# FENCES OR GARDEN WALLS

## ENCOURAGED



Garden wall.



Green aluminum privacy slats hide parking.

## STRONGLY DISCOURAGED



Mesh fabric and chain-link fence.



Mesh fabric and chain-link fence.

## COMMERCIAL

### DESIGN STANDARDS—FENCES OR GARDEN WALLS (Sec. 98-192(10)(j))

To provide complementary perimeter fences or walls that do not disrupt or hide front elevation of building.



Garden box wall

## ENCOURAGED

- Use of wrought-iron or similar material for any fencing that is adjacent to street.
- Use of wrought-iron or similar material to enclose a courtyard or garden area.
- Use of green or black privacy slats (pvc or aluminum) integrated in fence is acceptable for screening.

## STRONGLY DISCOURAGED

- Use of PVC fence on commercial properties. If proposed, an appropriate landscape buffer will be required. PVC fences must have decorative caps.
- Mesh fabric material attached to fence is not allowed.

This *Design Standards and Guidelines Manual* was prepared by the City of Winter Garden Planning, Zoning, and Development Department with review and input by the City’s Architectural Review and Historical Preservation Board, Fishback Dominick, L.L.P., and *C.T. HSU + Associates, P.A.*, Architects.

The City evaluated a variety of local architectural ordinances both in the State of Florida and other historic areas around the country.

The *Standards and Guidelines Manual* is subject to review and change as needed to meet the intent and purpose of the City of Winter Garden’s Downtown Historic District overlay ordinance. (Ordinance 10-05)



300 WEST PLANT STREET  
WINTER GARDEN, FLORIDA 34787  
(407) 656-4111 TELEPHONE • (407) 654-1258 FACSIMILE  
[WWW.WINTERGARDEN-FL.GOV](http://WWW.WINTERGARDEN-FL.GOV)