



CITY COMMISSION

AGENDA

CITY HALL COMMISSION CHAMBERS

300 W. Plant Street
Winter Garden, Florida

REGULAR MEETING

January 9, 2020

6:30 p.m.

CALL TO ORDER

Determination of a Quorum

Opening Invocation and Pledge of Allegiance

1. APPROVAL OF MINUTES

Regular Meeting Minutes – December 12, 2019

2. FIRST READING AND PUBLIC HEARING OF PROPOSED ORDINANCES

- A. **Ordinance 20-04:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY BEING APPROXIMATELY 8.25 +/- ACRES AND GENERALLY LOCATED AT 12301 WEST COLONIAL DRIVE ON THE NORTHEAST CORNER OF WEST COLONIAL DRIVE AND CARTER ROAD FROM THE EXISTING PLANNED COMMERCIAL DEVELOPMENT (PCD) ADOPTED BY ORDINANCE 00-78 TO PLANNED COMMERCIAL DEVELOPMENT (PCD) AS SET FORTH IN THIS ORDINANCE; PROVIDING FOR CERTAIN PCD DEVELOPMENT CONDITIONS AND REQUIREMENTS; DESCRIBING THE DEVELOPMENT AS THE PEOPLES PLAZA PCD; REPEALING AND REPLACING ORDINANCE 00-78; AND PROVIDING FOR SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE **with the second reading and public hearing January 23, 2020 – Community Development Director Pash**

- B. **Ordinance 20-07:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE FUTURE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 5.51 ± ACRES LOCATED AT 541 WINTER GARDEN VINELAND ROAD, WEST OF DANIELS ROAD, EAST OF WINTER GARDEN VINELAND ROAD, SOUTH OF SUNBRIDGE CIRCLE AND NORTH OF ROPER ROAD FROM LOW DENSITY RESIDENTIAL TO COMMERCIAL; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE

- C. **Ordinance 20-08:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 5.51 ± ACRES LOCATED AT 541 WINTER GARDEN VINELAND ROAD, WEST OF DANIELS ROAD, EAST OF WINTER GARDEN VINELAND ROAD, SOUTH OF SUNBRIDGE CIRCLE, AND NORTH OF ROPER ROAD, FROM R-1 (RESIDENTIAL DISTRICT) TO PCD (PLANNED COMMERCIAL DEVELOPMENT); PROVIDING FOR CERTAIN PCD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE SONATA WEST MOB II / NHCC PCD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE **with the second reading and public hearing January 23, 2020 – Community Development Director Pash**

- D. **Ordinance 20-09:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 0.99 ± ACRES LOCATED AT 15151 E. OAKLAND AVENUE; NORTH OF STATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF OAKLAND PARK BLVD; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

- E. **Ordinance 20-10:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS 0.99 ± ACRES OF LAND LOCATED AT E. OAKLAND AVENUE; NORTH OF STATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF

OAKLAND PARK BLVD FROM ORANGE COUNTY LOW DENSITY RESIDENTIAL TO CITY LOW DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

- F. **Ordinance 20-11:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 0.99 ± ACRES LOCATED AT 15151 E. OAKLAND AVENUE; NORTH OF STATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF OAKLAND PARK BLVD; FROM ORANGE COUNTY A-1 CITRUS RURAL DISTRICT TO CITY R-1 SINGLE FAMILY RESIDENTIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE **with the second reading and public hearing January 23, 2020 – Community Development Director Pash**
- G. **Ordinance 20-12:** AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA VACATING A PORTION OF THE PLAT DEDICATED DRAINAGE AND UTILITY EASEMENTS OVER LOT 8 OF OAKLAND PARK UNIT 1A PARTIAL REPLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 84, PAGE 121, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; AND LOT 9 OF OAKLAND PARK UNIT 1A, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 70, PAGE 33, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA (LOCATED AT 1242 AND 1248 UNION CLUB DRIVE, WINTER GARDEN, FLORIDA) OWNED BY J & J BUILDING, LLC AS MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING FOR AN EFFECTIVE DATE AND RECORDING **with the second reading and public hearing January 23, 2020 – Community Development Director Pash**

3. **SECOND READING AND PUBLIC HEARING OF PROPOSED ORDINANCES**

- A. **Ordinance 20-01:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 1.16 ± ACRES LOCATED AT E. OAKLAND AVENUE; NORTH OF STATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF OAKLAND PARK BLVD; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- B. **Ordinance 20-02:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS 1.16 ± ACRES OF LAND LOCATED AT E. OAKLAND AVENUE; NORTH OF STATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF OAKLAND PARK BLVD FROM ORANGE COUNTY LOW DENSITY RESIDENTIAL TO CITY LOW DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- C. **Ordinance 20-03:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 1.16 ± ACRES LOCATED AT E. OAKLAND AVENUE; NORTH OF STATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF OAKLAND PARK BLVD; FROM ORANGE COUNTY A-1 CITRUS RURAL DISTRICT TO CITY R-1 SINGLE FAMILY RESIDENTIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE – **Community Development Director Pash**
- D. **Ordinance 20-05:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.41 +/- ACRES OF LAND GENERALLY LOCATED AT 646 E. PLANT STREET ON THE SOUTHEAST CORNER OF E. PLANT STREET AND 6TH STREET, FROM INDUSTRIAL TO COMMERCIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- E. **Ordinance 20-06:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.41 +/- ACRES OF LAND GENERALLY LOCATED AT 646 E. PLANT STREET ON THE SOUTHEAST CORNER OF E. PLANT STREET AND 6TH STREET, FROM I-2 (GENERAL INDUSTRIAL DISTRICT) TO CAPUD (CHARACTER AREA PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN CAPUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE 646 E. PLANT STREET CAPUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE – **Community Development Director Pash**

4. **REGULAR BUSINESS**

- A. Recommendation to approve **FINAL PLAT** for 555 N. Dillard Street (Dillard Pointe) – **Community Development Director Pash**
- B. Recommendation to approve **SITE PLAN** for N. West Crown Point Road (Alta Winter Garden), subject to conditions – **Community Development Director Pash**
- C. Recommendation to approve **SITE PLAN** for 620 Garden Commerce Parkway (Quality Playing Cards), subject to conditions – **Community Development Director Pash**
- D. Recommendation to approve **EQUIPMENT PURCHASES**: (1) Vermeer Vactron Model LP573XDT Trailer Mounted Hydro Excavator and (1) Vermeer D8X12 Underground Bore System Complete – **Fleet and Facilities Division Manager Caines**

5. **MATTERS FROM PUBLIC** – *(Limited to 3 minutes per speaker)*

6. **MATTERS FROM CITY ATTORNEY** - Kurt Ardaman

7. **MATTERS FROM CITY MANAGER** – Mike Bollhoefer

8. **MATTERS FROM MAYOR AND COMMISSIONERS**

ADJOURN to **Regular Meeting** on Thursday, **January 23, 2020** at **6:30 p.m.** in City Hall Commission Chambers, 300 W. Plant Street, 1st floor

NOTICES:

In accordance with Florida Statutes 286.0105, if any person decides to appeal any decision made by said body with respect to any matter considered at such meeting, he/she will need a record of the proceedings and, for that purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Winter Garden does not prepare or provide such record.

Any opening invocation that is offered before the official start of the Commission meeting shall be the voluntary offering of a private person, to and for the benefit of the Commission. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Commission or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Commission meeting are invited to stand during the opening invocation and to stand and recite the Pledge of Allegiance. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Commission Chambers or exit the City Commission Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance. (Reference Resolutions 15-04 and 16-02)

	Those needing assistance to participate in any of these proceedings should contact the City Clerk's Office at least 48 hours in advance of the meeting (407) 656-4111 x2297.		Help for the hearing impaired is available through the Assistive Listening System. Receivers can be obtained at the meeting from the Information Technology Department (407) 656-4111 x5455.
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CITY OF WINTER GARDEN

CITY COMMISSION and Community Redevelopment Agency REGULAR MEETING MINUTES

December 12, 2019

REGULAR MEETING of the Winter Garden City Commission was called to order by Mayor Rees at 6:30 p.m. at City Hall, 300 West Plant Street, Winter Garden, Florida. An Opening Invocation and Pledge of Allegiance were given.

Present: Mayor John Rees and Commissioners

Lisa Bennett – District 1

Bob Buchanan – District 2

Mark A. Maciel – District 3

Colin Sharman – District 4

Also Present: City Manager Mike Bollhoefer, City Attorney A. Kurt Ardaman, City Clerk Angee Grimmage, Assistant City Manager of Administrative Services Frank Gilbert, Assistant City Manager of Public Services Jon Williams, Community Development Director Stephen Pash, Economic Development Director Tanja Gerhartz, Finance Director Laura Zielonka, Fire Chief Matt McGrew, Police Chief Stephen Graham and Director of Parks and Recreation Laura Coar

1. **APPROVAL OF MINUTES**

Motion by Commissioner Buchanan to approve regular meeting minutes of November 14, 2019 as submitted. Seconded by Commissioner Maciel and carried unanimously 5-0.

2. **PRESENTATIONS**

A. Oath of Office and introduction of new Police Officers Brandon Janesek and Kyle Nath was administered by Police Chief Graham.

B. **Proclamation 19-16:** Honoring Dr. Robert H. Foster DDS was read and presented by Mayor Rees and the City Commissioners.

C. **Presentation of Public Art Sculpture by Artist Don Reynolds**

President of the Bloom & Grow Society Brenda Knowles requested permission on behalf of the members to install a monarch butterfly sculpture in downtown Winter Garden. She expressed that the sculpture would be a significant piece of public art; noting that the cost to the Bloom & Grow Society would be over \$100,000. She described the sculpture and spoke of the City's partnership with the Bloom & Grow Society the sculpture presentation at the 20th Annual Spring in the Garden festival as an appreciation gift of that partnership. Ms. Katy Moss Warner introduced Artist Don Reynolds by sharing his biography and displaying slides of his previous work. Artist Don Reynolds described the composition and components of the proposed sculpture noting its movement ability as well as wind pass-through capability. He informed of the annual need for cleaning and maintenance, which he stated, would be a fun job for volunteers.

City Manager Bollhoefer thanked them for all the work they have done in this effort and noted the work on it for quite some time. He also thanked Parks & Recreation Director Laura Coar for working with them to establish a location. Mr. Bollhoefer noted the City of Winter Garden is known as the cultural and commercial center of West Orange County; stating that it is appropriate for this to be placed here. He described some of the other artistic items that will be coming to the City, which will make our community special and outstanding in the Central Florida area.

Mr. Reynolds thanked everyone and expressed his pleasure in being able to accomplish this for the City. He expressed that he loves Winter Garden and it is a great place to be.

Mayor Rees noted that this sculpture would be a wonderful addition.

*The City Commission addressed **Item 4.H** at this point in the meeting.*

3. FIRST READING AND PUBLIC HEARING OF PROPOSED ORDINANCES

- A. **Ordinance 20-01:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 1.16 ± ACRES LOCATED AT E. OAKLAND AVENUE; NORTH OF S TATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF OAKLAND PARK BLVD; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- B. **Ordinance 20-02:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS 1.16 ± ACRES OF LAND LOCATED AT E. OAKLAND AVENUE; NORTH OF STATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF OAKLAND PARK BLVD FROM ORANGE COUNTY LOW DENSITY RESIDENTIAL TO CITY LOW DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- C. **Ordinance 20-03:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 1.16 ± ACRES L OCATED AT E. OAKLAND AVENUE; NORTH OF STATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF OAKLAND PARK BLVD; FROM ORANGE COUNTY A-1 CITRUS RURAL DISTRICT TO CITY R-1 SINGLE FAMILY RESIDENTIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

City Attorney Ardaman read Ordinances 20-01, 20-02, and 20-03 by title only. Community Development Director Pash stated that this is a voluntary annexation of property located at 15155 E. Oakland Avenue. The applicant recently purchased this property and the home located to east of it at 15151; which is not on this agenda but was submitted today for annexation. They are requesting annexation, a land use

designation of low-density residential and R-1 zoning in order to build a new home on the property. This is consistent with the surrounding area and staff recommends approval of Ordinances 20-01, 20-02, and 20-03.

Mayor Rees opened the public hearing; hearing and seeing none, he closed the public hearing.

Motion by Commissioner Bennett to approve Ordinances 20-01, 20-02, and 20-03 with the second reading and public hearing on January 9, 2020. Seconded by Commissioner Buchanan and carried unanimously 5-0.

- D. **Ordinance 20-05:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.41 +/- ACRES OF LAND GENERALLY LOCATED AT 646 E. PLANT STREET ON THE SOUTHEAST CORNER OF E. PLANT STREET AND 6TH STREET, FROM INDUSTRIAL TO COMMERCIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- E. **Ordinance 20-06:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.41 +/- ACRES OF LAND GENERALLY LOCATED AT 646 E. PLANT STREET ON THE SOUTHEAST CORNER OF E. PLANT STREET AND 6TH STREET, FROM I-2 (GENERAL INDUSTRIAL DISTRICT) TO CAPUD (CHARACTER AREA PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN CAPUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE 646 E. PLANT STREET CAPUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

City Attorney Ardaman read Ordinances 20-05 and 20-06 by title only. Community Development Director Pash stated that this is a request to change the future land use designation from industrial to commercial and rezone the property to character area planned unit development (CAPUD). This building built in 1931, had many industrial uses over the years. The current owner has requested this rezoning in an effort to remove several sections of the building to allow parking, landscaping, and stormwater improvements. He described some other improvements and potential uses. The plans are consistent with the overlay and staff recommends approval of Ordinances 20-05 and 20-06.

Mayor Rees opened the public hearing; hearing and seeing none, he closed the public hearing.

Motion by Commissioner Buchanan to approve Ordinances 20-05 and 20-06, with the second reading and public hearing on January 9, 2020. Seconded by Commissioner Maciel and carried unanimously 5-0.

- F. **Ordinance 20-07:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE FUTURE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 5.51 ± ACRES LOCATED AT 541 WINTER GARDEN VINELAND ROAD, WEST OF DANIELS ROAD, EAST OF WINTER GARDEN VINELAND ROAD, SOUTH OF SUNBRIDGE CIRCLE AND NORTH OF ROPER ROAD FROM LOW DENSITY RESIDENTIAL TO COMMERCIAL; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE
- G. **Ordinance 20-08:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 5.51 ± ACRES LOCATED AT 541 WINTER GARDEN VINELAND ROAD, WEST OF DANIELS ROAD, EAST OF WINTER GARDEN VINELAND ROAD, SOUTH OF SUNBRIDGE CIRCLE, AND NORTH OF ROPER ROAD, FROM R-1 (RESIDENTIAL DISTRICT) TO PCD (PLANNED COMMERCIAL DEVELOPMENT); PROVIDING FOR CERTAIN PCD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE SONATA WEST MOB II / NHCC PCD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

City Attorney Ardaman read Ordinances 20-07 and 20-08 by title only. Community Development Director Pash stated that the applicant has requested postponement of these ordinances until January 9, 2019. City Manager Bollhoefer explained that when the Mayor and/or City Commission have concerns, staff attempts to resolve those with the developers before bringing them before the Commission.

Motion by Commissioner Sharman to POSTPONE Ordinances 20-07 and 20-08 until January 9, 2020 to 6:30 p.m. Seconded by Commissioner Buchanan and carried unanimously 5-0.

4. **REGULAR BUSINESS**

- A. **Recommendation to approve a Memorandum of Understanding with the Orange County Sheriff and the First Responder Agencies in Orange County**
Police Chief Graham stated that this is the result of new legislation passed by House Bill 411 (HB 411), relating to Emergency 911 public safety answering points (PSAP). He noted the requirement for all first responder agency dispatch to add channels to their consoles and informed of its accomplishment. Staff recommends approval of executing the Memorandum of Understanding with the Orange County Sherriff and other public safety agencies for the implementation of HB 411.

Commissioner Sharman inquired about the benefit of the extra channels on the console. Police Chief Graham responded that the idea is that the PSAPs can reach out themselves to the officers in the field. They would have radio channels in their consoles for every other city in Orange County. He shared that the Fire Department is also included on this memorandum, but their coverage is by the County Fire and Rescue, which dispatches

them. Commissioner Sharman noted that this helps in direct communication with Orange County Sheriffs when both agencies are involved. Police Chief Graham informed that this is a direct result of the Parkland incident and their communication issues.

Commissioner Buchanan inquired as to whether this makes it more complicated in determining who deciphers the calls. Police Chief Graham noted that this is locally accomplished; the City had the capability but the legislators chose to do it this way. City Manager Bollhoefer noted that the City did not have an option and thought our system worked well; this was a legislator's requirement.

Motion by Commissioner Sharman to approve a Memorandum of Understanding with the Orange County Sheriff and the First Responder Agencies in Orange County. Seconded by Commissioner Bennett and carried unanimously 5-0.

- B. Recommendation to approve utilizing up to \$6,500 in confiscation funds to acquire and transport an armored vehicle through Florida's Federal Property Assistance Program
Police Chief Graham stated that the Police Department has an opportunity to acquire an armored vehicle through the State's Federal Property Assistance Program. He noted that they are offering their surplus armored vehicles to law enforcement agencies. He requested that the City Commission authorize permission to utilize up to \$6,500 in confiscation funds to acquire and transport an armored vehicle through Florida's Federal Property Assistance Program. The acquisition fee is \$2,000. He informed that these vehicles on the civilian market would be in excess of \$300,000.

Mayor Rees noted that the City would not be able to turnaround and resale the vehicle. Police Chief Graham responded no, the vehicle would have to be returned.

Motion by Commissioner Sharman to approve utilizing up to \$6,500 in confiscation funds to acquire and transport an armored vehicle through Florida's Federal Property Assistance Program. Seconded by Commissioner Maciel and carried unanimously 5-0.

- C. Recommendation to approve SITE PLAN for 1380 E. Story Road and 803 & 703 Carter Road (Manheim Auto Auction), subject to conditions
Community Development Director Pash stated that the site plan is for the Manheim Auto Auction and he described the location. The request is to expand the parking area with 2,519 spaces and install asphalt driving isles and other improvements. He noted addressing a Fair Share Agreement later in the meeting; which allows coverage of Manheim's fair share of improvements to Story Road and Carter Road. These would be for turn lanes and traffic lights. Staff recommends approval of the site plan.

There was discussion on the preference of buildings along Carter Road instead of cars, an option besides the chain link fence, and the Auto Auction's cooperation in assisting in improvements in the area.

Motion by Commissioner Buchanan to approve site plan for 1380 E. Story Road and 803 & 703 Carter Road (Manheim Auto Auction), subject to conditions. Seconded by Commissioner Sharman and carried unanimously 5-0.

D. Recommendation to approve SITE PLAN for 1061, 1063, & 1065 Tildenville School Road (The Old Packing Plant), subject to conditions

Community Development Director Pash stated that this is the site plan for the old packing plant. The applicant is proposing to renovate and repurpose the existing structures. He described some of the proposed improvements and uses that are consistent with the approved planned commercial development (PCD). Staff recommends approval of the site plan, subject to conditions as stated in the Development Review Committee (DRC) Report.

City Manager Bollhoefer noted that this is the restoration of a 100-year-old historic building, which will be a great addition. He requested the waiver of impact fees for water and sewer in an effort to assist them by allowing them to put those extra funds into the building. Mayor Rees noted that based on the renderings this is a nice improvement. Commissioner Bennett inquired as to the number of parking spaces. City Manager Bollhoefer replied that there are approximately 120 spaces with review of adding additional parking, if needed, in the future.

Motion by Commissioner Buchanan to approve site plan for 1061, 1063, & 1065 Tildenville School Road (The Old Packing Plant), subject to conditions. Seconded by Commissioner Bennett and carried unanimously 5-0.

E. Recommendation to approve Intersection Improvements Fair Share Agreement for Manheim Auto Action, 1380 E. Story Road and 803 & 703 Carter Road

Community Development Director Pash stated that this is the Fair Share Agreement with Manheim Auto Auction. The agreement requires Manheim pay 23.3 percent of the estimated costs to make the intersection improvements at Story Road and Carter Road. He noted the requirement for payment prior to the issuance of the Certificate of Completion; they have agreed and staff recommends approval.

Mayor Rees noted they are paying their share, at approximately \$200,000 with the City having to fund the other \$700,000. He inquired as to any recaptured portion. Mr. Pash noted that the City would recapture funds when the other corner across from them is developed; City Manager also noted the remainder from impact fees paid throughout the years on those roads. There was discussion on other options such as roundabouts.

Motion by Commissioner Sharman to approve Intersection Improvements Fair Share Agreement for Manheim Auto Action, 1380 E. Story Road and 803 & 703 Carter Road. Seconded by Commissioner Maciel and carried unanimously 5-0.

F. Recommendation to approve Impact Fee Deferral & Forgiveness Agreement Revision for Crazy Plant Holdings LLC

Community Development Director Pash stated that lenders for Crazy Plant Holdings and the lots next to it have suggested the City change paragraph 2.1 of the Impact Fee Deferral & Forgiveness Agreement. The change provides assurance that if the bank were to foreclose in the middle of construction that the City would not consider that a sale of the property and allow them to continue the construction without requiring payment of the deferred fees. City Manager Bollhoefer noted that they would have to build the same type of construction and get the same impact fee relief. City Attorney Ardaman noted he surprise it was not there in the beginning. He advised that this provision is fine; giving the City discretion to make sure that the bank is doing what it needs to in this situation.

Motion by Commissioner Bennett to approve Impact Fee Deferral & Forgiveness Agreement Revision for Crazy Plant Holdings LLC. Seconded by Commissioner Buchanan and carried unanimously 5-0.

G. Recommendation to approve the use of the City Pavilion for a SPECIAL EVENT – SOBO Art Gallery (Winter Garden Art Association) February 21, 2020 - 6:00 p.m. to 10:00 p.m. with consumption of alcohol within a confined area

Community Development Director Pash stated that the Winter Garden Art Association is again requesting use of the Pavilion for their fundraising gala; the event scheduled for February 21, 2020 from 6:00 p.m. to 10:00 p.m. He described their setup and breakdown schedule as well as some event activities. City Manager Bollhoefer noted the great job they have done with their events; Mayor Rees agreed. There was discussion and a word of thanks given to Economic Director Tanja Gerhartz for also providing coffee at these events.

Motion by Commissioner Buchanan to approve the use of the City Pavilion for special event SOBO Art Gallery (Winter Garden Art Association) for February 21, 2020 at 6:00 p.m. to 10:00 p.m. with consumption of alcohol within a confined area. Seconded by Commissioner Bennett and carried unanimously 5-0.

The following CRA item was addressed earlier in the meeting.

Dispensed as the City Commission and convened as the Community Redevelopment Agency at 6:56 p.m.

Members Present: Chairman John Rees and Members Lisa Bennett, Bob Buchanan, Mark Maciel, Colin Sharman, and CRA Advisory Board Chairman Larry Cappleman

Member Absent: Orange County Representative Jeff Sedloff

H. Recommendation to approve Facade Matching Grant for 141 W. Plant Street (Rosallie Le French Cafe – Rosallie LLC)

Economic Development Director Gerhartz stated that this item for the CRA is a façade matching grant for the restaurant Rosallie Le French Café. The CRA Advisory Board (CRAAB) voted on this item at their August 9, 2019 meeting and approved a façade grant up to \$10,000. She noted the installation of a door on the side of the restaurant and an L-shaped awning. CRA Member Cappleman noted that the project is complete and can be viewed.

Motion by CRA Member Cappleman to approve Facade Matching Grant for 141 W. Plant Street (Rosallie Le French Cafe – Rosallie LLC). Seconded by CRA Member Sharman and carried unanimously 6-0.

Adjourned as the Community Redevelopment Agency and reconvened as the City Commission at 6:58 p.m. as heard earlier in the meeting.

5. **MATTERS FROM PUBLIC**

Ron Mueller, 709 Lake Cove Pointe Circle, Winter Garden, Florida, comically commented on the distribution of candy at the parade and commended the City on a wonderful Light Up Winter Garden event and its afterwards cleanup by staff. He noted that the City again did a wonderful job.

6. **MATTERS FROM CITY ATTORNEY** – There were no items.

7. **MATTERS FROM CITY MANAGER**

A. Emergency Ambulance Transportation Agreement with Rural/Metro

City Manager Bollhoefer stated that the Emergency Ambulance Transportation Agreement is a renewal and indicated that the City is getting very close to being able to take over the complete service. He noted that he and Fire Chief McGrew feel this may happen in the summer. He noted that this agreement has a 90-day notice provision and is the same as last year.

Motion by Commissioner Buchanan to approve Emergency Ambulance Transportation Agreement with Rural/Metro. Seconded by Commissioner Maciel and carried unanimously 5-0.

• Staff Appreciation

City Manager Bollhoefer commended staff for their efforts in recent events such as Light Up Winter Garden, the parade, and the cleanup afterwards. He also thanked staff for their efforts at the Employee Holiday Luncheon.

8. **MATTERS FROM MAYOR AND COMMISSIONERS**

Commissioner Sharman noted that AdventHealth would not become the tallest building in Winter Garden. He informed that they would build four stories capable of expansion instead of the intended seven stories. They will focus on keeping people out of the hospital as opposed to in. Thus, the smaller facility providing a better fit for the community.

Commissioner Maciel expressed his amazement with staff and their efforts in relation to the events behind the scenes before and after; he commented that they are world-class. He also noted that the City of Winter Garden has also now attracted a world-class sculptor. He again voiced his appreciation for staff, asked that it be relayed to them, and wished everyone a happy holiday.

Commissioner Buchanan expressed his appreciation for the Employee Holiday Luncheon, the food, and the staff. He also commented about the success of the Light Up Winter Garden and the attendance. He noted that the Christmas Parade was phenomenal and mentioned the route change down to Dillard Street and candy distribution. He noted that Winter Garden is a fun place to be and described some of the development and his excitement to see it.

Commissioner Bennett echoed the prior comments and thanked staff for all their hard work. She noted that the Santa Run was fun and amazing. She loves living in Winter Garden and these things makes it special and an amazing staff.

Mayor Rees thanked staff for the chocolates, commented on the turnout for the Parade, voiced his appreciation and thanked staff. He wished everyone a very Merry Christmas.

The meeting adjourned at 7:29 p.m.

APPROVED:

Mayor John Rees

ATTEST:

City Clerk Angee Grimmage, CMC

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: January 2, 2020 **Meeting Date:** January 9, 2020

Subject: 12301 W Colonial Dr. – Peoples Plaza
Peoples Plaza PCD Amendment
Ordinance 20-04
PARCEL ID # 24-22-27-0000-00-016

Issue: For property located at 12301 W Colonial Dr., the applicant is requesting to amend the property's original PCD Ordinance by repealing it and replacing it with new PCD requirements.

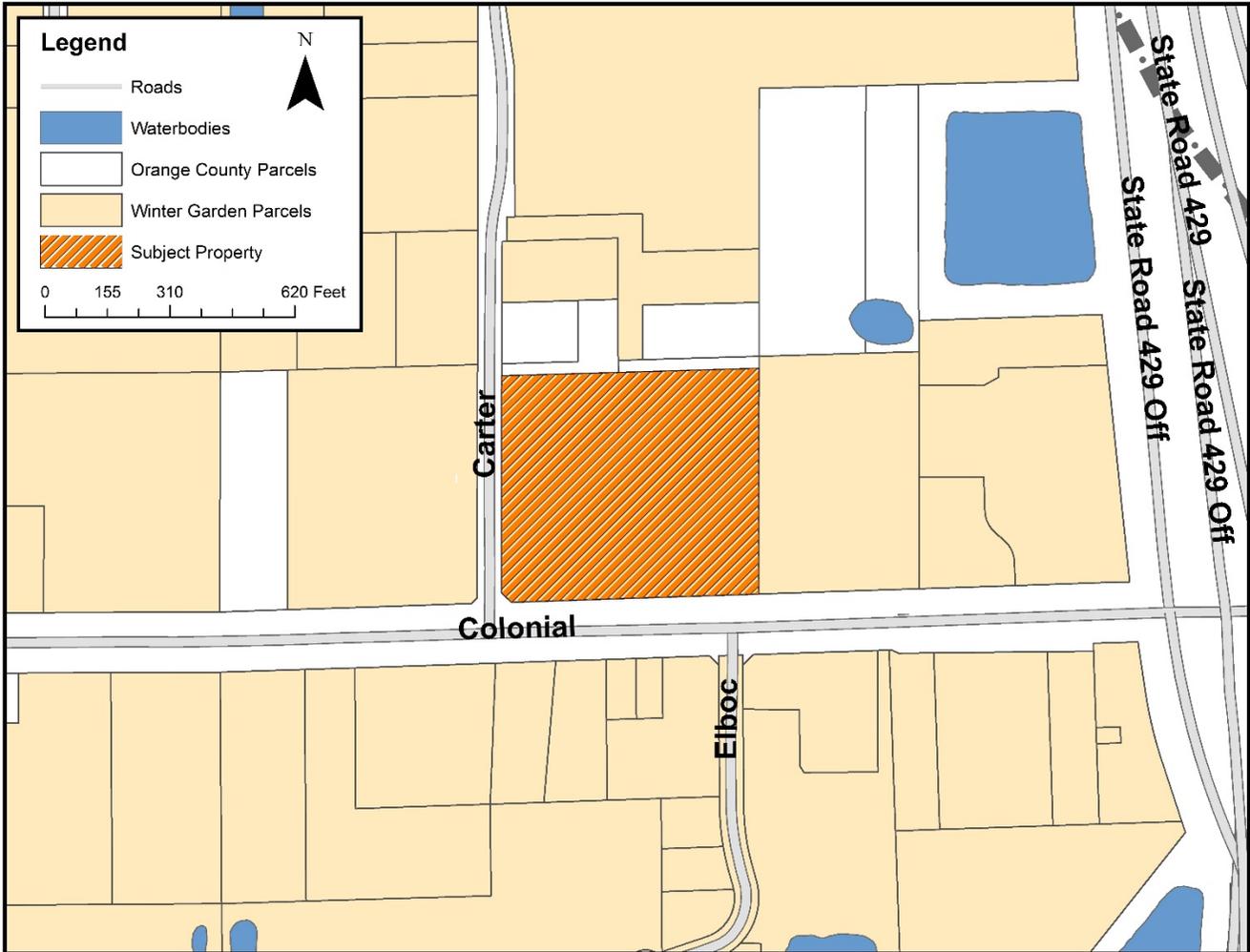
Discussion: The applicant is requesting to amend the original PCD (Ord 00-78) by repealing and replacing the requirements with new regulations (Ord 20-04) to permit the total redevelopment of the parcel. The proposed development includes a gas station, two hotels, and other commercial development, as well as associated site development such as parking areas and stormwater infrastructure. The proposed PCD amendment is consistent with the City's Comprehensive Plan and the City's Code of Ordinances.

Recommended Action: Staff recommends approval of Ordinances 20-04 with the second reading and adoption hearing anticipated to be on January 23, 2020.

Attachment(s)/References:
Location Map
Staff Report
Ordinance 20-04

LOCATION MAP

PCD Amendment
12301 W Colonial Dr.



ORDINANCE 20-04

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY BEING APPROXIMATELY 8.25 +/- ACRES AND GENERALLY LOCATED AT 12301 WEST COLONIAL DRIVE ON THE NORTHEAST CORNER OF WEST COLONIAL DRIVE AND CARTER ROAD FROM THE EXISTING PLANNED COMMERCIAL DEVELOPMENT (PCD) ADOPTED BY ORDINANCE 00-78 TO PLANNED COMMERCIAL DEVELOPMENT (PCD) AS SET FORTH IN THIS ORDINANCE; PROVIDING FOR CERTAIN PCD DEVELOPMENT CONDITIONS AND REQUIREMENTS; DESCRIBING THE DEVELOPMENT AS THE PEOPLES PLAZA PCD; REPEALING AND REPLACING ORDINANCE 00-78; AND PROVIDING FOR SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

WHEREAS, on December 14, 2000 the City Commission of the City of Winter Garden approved Ordinance 00-78, which rezoned approximately 8.25 +/- acres of certain real property generally located at 12301 West Colonial Drive on the northeast corner of West Colonial Drive and Carter Road in Winter Garden, Florida, being more particularly described on Exhibit "A" attached hereto and incorporated herein by this reference (the "Property") from C-2 to PCD; and

WHEREAS, the owner(s) of the Property have requested to amend the approved PCD by repealing and replacing Ordinance 00-78 with this Ordinance, including the amended PCD requirements identified herein; and

WHEREAS, the Planning and Zoning Board has considered this Ordinance and made a recommendation to the City Commission concerning its adoption; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the City of Winter Garden Code of Ordinances, and

WHEREAS, the City Commission finds based on competent substantial evidence in the record that the PCD amendment approved by this Ordinance meets all applicable criteria for rezoning under the Comprehensive Plan and the Code of Ordinances, therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. The above "Whereas" clauses constitute findings by the

City Commission. After due notice and public hearing, PCD Ordinance 00-78 is hereby repealed and replaced with this Ordinance, subject to the following conditions, provisions, and restrictions:

- a. **Applicability/Conflict.** All development of or within the Property shall comply with and is subject to the requirements set forth in this Ordinance. Unless specifically identified in this Ordinance, all development on the Property identified in Exhibit “A” must comply with the general development standards of the C-2 (Arterial Commercial) Zoning district and comply with the standards outlined in Chapter 118, Articles IX and X regarding the City of Winter Garden West State Road 50 Overlay Requirements. Notwithstanding anything to the contrary herein, all development of or within the Property shall comply with and is subject to all requirements in the City Code, and ordinances, resolutions, and policies of the City. To the extent of any express conflicts between the express provisions of this Ordinance pertaining to permitted uses, special exception uses, prohibited uses, architectural design criteria, and other development criteria and the City Code and ordinances, resolutions, and policies of the City, the requirements set forth herein shall control to the extent of the conflict.
- b. **Intent.** This Ordinance is intended to provide flexibility in the development of the Property in order to provide for proper growth and to guide development and construction in an integrated approach in order to promote a dynamic commercial center for commerce and social activity while also providing an aesthetically pleasing and pedestrian oriented development. Due to constraints in traffic at the proposed location, permitted and special exception uses will be established to maintain a safe, well developed project that enhances and supports the City and its citizens without causing distress on the local businesses and roads.
- c. **Development Plans.** The Property shall be developed in substantial conformance with the Preliminary Development Plans attached hereto as Exhibit “B”. Should any conflict exist between this Ordinance and the Preliminary Development Plans attached hereto as Exhibit “B”, then the standards and conditions established by this Ordinance shall control to the extent of the conflict.
- d. **Design Criteria / Architectural Standards.**
 1. **Architecture** - All new buildings and accessory structures within the Property shall adhere to the requirements set forth in the Peoples Plaza Planned Commercial Development Design Standards, attached hereto as Exhibit “C”.
 2. **Landscape Design** – Landscaping shall be required to adhere to the landscape design standards shown in Exhibit B as well as the standards for specified commercial corridors in accordance with

Chapter 118, Article X, Division 3 of the City of Winter Garden Code of Ordinances, except in cases where required canopy trees would interfere with existing overhead power lines, in which case understory trees may be substituted.

3. **Site Furnishings** – Bicycle parking spaces shall be provided in a quantity commensurate with the proposed uses. Benches and trash receptacles shall be provided near the main building entrances.
4. **Impervious Surface Area Ratio-** The maximum impervious surface area ratio for the Property shall be consistent with the overall maximum impervious surface area ratio that the Planned Commercial Development is permitted by the Saint John’s River Water Management District.
5. **Site Lighting** - all exterior lighting shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles. Exterior lighting shall be designed as dark skies lighting in a consistent and coordinated manner for the entire project in compliance with the requirements of Chapter 118, Article X, Division 4 of the City Code of Ordinances. The proposed light fixtures shall be consistent throughout the development.
6. **Signage-**
 - i. All proposed signage shall be consistent with the sign locations and design standards shown in Exhibit “B” and Exhibit “C”.
 - ii. The building sign shown on the east side of the proposed hotel on Lot 2 shall have its illumination turned off by 10:00 pm each evening, not to resume until 7:30 am the following morning.
 - iii. Two monument signs shall be permitted for Lot 4 along West Colonial Drive as shown in Exhibit “B”, and an additional monument sign shall be permitted if Lot 4 is split into two separate lots.
 - iv. All other signage not specifically shown in Exhibits “B” and “C” shall adhere to the requirements of Chapter 102 – Signs.
7. **Building Height-** The maximum building height for hotel buildings shall not exceed 75 feet (five stories). For all other uses, the maximum building height shall not exceed 50 feet (three stories).
8. **Setbacks and Required Yards-** Interior drives are not considered streets for the purposes of these requirements.
 - i. Front (Street): 40’ min.
 - ii. Front (Interior): 20’ min.
 - iii. Side (Street): 40’ min.
 - iv. Side (Interior): 0’ min.

v. Rear: 10' min.

e. **Permitted Uses-** The permitted uses allowed on the Property are as follows:

1. Professional Office, Business Office, and Medical Office.
2. Sit-Down Restaurants.
3. One (1) Restaurant with a drive-thru.
4. Retail establishments.
5. Personal Services.
6. One gas station with associated convenience store and car wash.
7. Two (2) hotels with a maximum of 220 total combined guest rooms.

f. **Special Exception Uses-** The special exception uses for this Property are as follows:

1. Other uses which the Planning and Zoning board determines are of the type and intensity of activity similar to and compatible with the permitted uses.

g. **Prohibited Uses-** Any use not specifically set forth in this Ordinance as a Permitted or Special Exception Use is prohibited. Without limiting the foregoing, the following are expressly prohibited:

1. Outdoor storage of products/material, storage yard, vehicle storage yard, contractor yard.
2. Industrial uses
3. Laundromat, laundry dry-cleaning.
4. Movie Theater.
5. Church.
6. Daycare center or school.
7. Funeral Home.
8. Crematorium.
9. Storage, sales, service of vehicles including but not limited to automobiles, trucks, boats, watercraft, trailers, motorcycles, sheds or equipment.
10. Communication towers.
11. Billboards.
12. Body art establishment.
13. Tobacco sales.
14. Pharmacies.
15. Adult or pornographic book, magazine, video and novelty stores or sales;

16. Adult entertainment.
17. Bars or Nightclubs.
18. Agricultural uses or processing.
19. Pawn shop.
20. Manufacturing of building products.
21. Temporary structures such as trailers, sheds or metal containers.
22. Recycling facilities.
23. Any use not in keeping with a high quality arterial commercial center.

SECTION 2: Staff Conditions.

1. The Developer shall pay one-half share of the improvements to Carter Road along the project's frontage, including, but not limited to, the following:
 - a) Carter Road shall be improved to a modified urban section from S.R. 50 to the north property line of the project to include southbound left and right turn lanes, curbing, drainage, etc.
 - b) Pavement thickness shall be a minimum of 2" asphaltic concrete (can include existing pavement remaining after milling and friction course). Any new base course shall consist of 10" thick soil cement compacted to 98% density, 12" thick subbase compacted to 98% and 18" of clean fill with no more than 5% passing the #200 sieve under the subbase.
 - c) The existing drainage system on Carter Road will need to be inspected by the City. The condition of the existing CMP's may warrant their replacement with these improvements
 - d) A developer's agreement, drafted by the City Attorney, shall be prepared to allocate the Carter Road improvements' cost share, as well as further defining other commitments of the development including, but not limited to, easement requirements, etc. The developer's agreement shall be approved by the City Commission prior to issuance of any building permits for the project.
2. The proposed gas station shall be built concurrently to or after the proposed hotel (not before). The hotel shall be the first project to commence vertical building construction.
3. The existing trees shown in the northeast corner of the site shall be preserved during construction. If the trees are damaged or otherwise removed without prior City approval, the developer shall install replacement trees that are comparable to the size of the trees removed.
4. All storage or dumpster/solid waste areas shall be designed with a

six-foot masonry wall and shall have min. 12' interior clearance. The wall shall be of a decorative "split face" concrete masonry, "Norman" brick or standard concrete masonry clad with painted stucco or other masonry veneer. The wall shall include a continuous cap feature and closing gate. In addition to the masonry enclosure, storage and dumpster/solid waste areas shall be treated with a 24-inch high planted hedge that shall reach 36"—42" height and 90 percent opacity within one year.

5. The irrigation system shall utilize reclaimed water or be set up to hook up to reclaimed service in the future if not currently available.
6. Platting will be required to indicate easements for access, drainage and utilities and maintenance of any common areas/facilities.
7. Maximum impervious surface for PCD/PUD zoning is 80%, but must be supported by the St. Johns River Water Management District permit. SJRWMD permit or modification will be required.
8. Utilities: water/sewer impact fees will be required prior to FDEP permit execution by the City, or issuance of site or building permit(s).
9. An existing well was noted on the previous site survey. All wells must be plugged pursuant to the requirements of the SJRWMD (permit required).
10. The existing drainage ditch along the north and east property line shall be piped with inlets as previously approved. Approval of the pipe and outfall connection may be required from Orange County and FDOT prior to construction (see recorded drainage easement).
11. All on-site utilities will be privately owned and maintained, including on-site fire hydrants and lines supplying them, sanitary mains and sanitary manholes.
12. Min. 5' wide concrete sidewalks are required along all project frontages to include S.R. 50 and Carter Road. Existing sidewalks will be checked at completion and any damaged sections shall be replaced.
13. Permits are required from FDOT, SJRWMD and FDEP (water, wastewater, NPDES) prior to construction. Orange County approval is required on the drainage easement/outfall.
14. All utilities shall conform to Chapter 78 of the City Code. Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all required water, irrigation and sewer impact fees shall be paid prior to City execution of FDEP

permits and issuance of site or building permits. Provide a summary of the existing utility connections that have been shut off/capped for any applicable utility impact fee credits (final plan phase).

15. FDOT approval will be required for any improvements within the S.R. 50 right-of-way (i.e. driveway connection, utilities, turn lanes, drainage, sidewalk, etc.).
16. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
17. All work shall conform to City of Winter Garden standards and specifications.
18. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
19. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
20. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others, including by way of any development order or permit issued. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City shall not be responsible and any corrective measures required will be the responsibility of the Owner/Developer. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
21. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of **2.25%** of the cost of all site improvements shall be paid prior to issuance of the building permit.

SECTION 3: *General Requirements.*

- a. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- b. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- c. **Expiration/Extension-** Expiration of this PCD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION 4: *Zoning Map.* The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 5: *Non-Severability.* Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 6: *Repeal and Replace.* This Ordinance repeals and replaces Ordinance 00-78.

SECTION 7: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2019.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

Exhibit "A"

Parcel ID: 24-22-27-0000-00-016

Legal Description:

The Southeast 1/4 of the Southwest 1/4 of the Southeast 1/4 (less the West 30 feet, the South 75 feet, and the North 30 feet of the East 349.37 feet), in Section 24, Township 22 South, Range 27 East, Orange County, Florida.

LESS AND EXCEPT

The North 30 feet of the West 320 feet of the SE 1/4 of the SW 1/4 of the SE 1/4 of Section 24, Township 22 South, Range 27 East.

AND LESS and Except the following described:

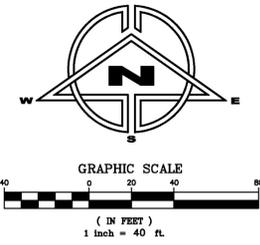
Commence at small P-K nail and disk set in poured concrete in asphalt cut-out marking the Northeast corner of the Northwest 1/4 of Section 24, Township 22 South, Range 27 East, Orange County, Florida; thence run South 00°03'54" East along the North-South center-of-section line of said Section 24 a distance of 5329.27 feet to a point on the Centerline of Survey of State Road 50 as shown on Florida Department of Transportation Right of Way Map Section 75050, Financial Project No. 410983 1, said point also being a point on a non-tangent curve concave Northerly having a radius of 32,740.45 feet and a chord bearing of North 88°31'48" East; thence departing said North-South line, from a tangent bearing of North 88°57'45" East, run Easterly along said Centerline of Survey and along the arc of said curve through a central angle of 00°51'53" a distance of 494.11 feet to the point of tangency; said point also being a point on the South line of the Southwest 1/4 of aforesaid Section 24; thence departing said curve, run North 88°05'52" East along said Centerline of Survey and along said South line a distance of 205.55 feet to a point on the Southerly projection of the East right of way line of Carter Avenue; thence departing said Centerline of Survey and said South line, run North 00°02'46" West along said Southerly projection a distance of 75.04 feet to the intersection of the East right of way line of Carter Avenue with the existing North right of way line of aforesaid State Road 50 as shown on the aforesaid Right of Way Map for a Point of Beginning; thence continue North 00°02'46" West along said East right of way line of Carter Avenue a distance of 24.78 feet; thence departing said East right of way line of Carter Avenue, run South 46°41'33" East a distance of 34.90 feet to the aforesaid existing North right of way line of State Road 50; thence run South 88°05'52" West along said existing North right of way line of State Road 50 a distance of 25.39 feet to the Point of Beginning.

Exhibit "B"

COVER PAGE

Peoples Plaza Preliminary Development Plans

(3 PAGES - ATTACHED)

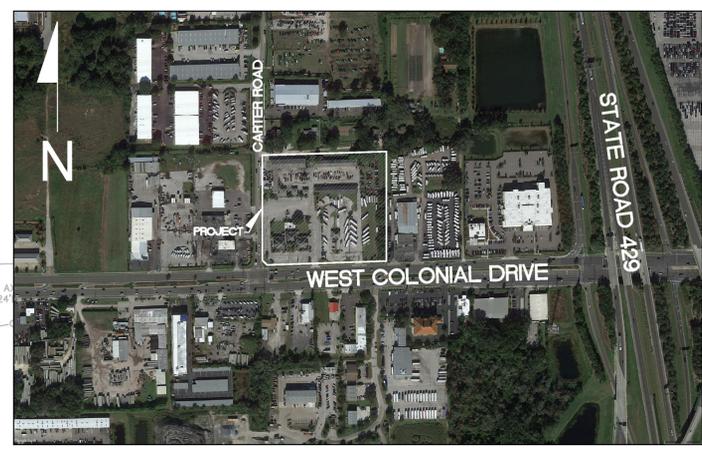


DEVELOPER:
PEOPLES PLAZA, LLC
1126 S. DIVISION AVENUE
ORLANDO, FL 32805
(407) 709-0497

ENGINEER:
MITCH COLLINS, P.E., INC.
801 E. SOUTH STREET
ORLANDO, FL 32801
(407) 850-8557

SURVEYOR:
ALLEN AND COMPANY
16 E. PLANT STREET
WINTER GARDEN, FL 34787
(407) 654-3355

LEGAL DESCRIPTION:
The Southeast 1/4 of the Southwest 1/4 of the Southeast 1/4 (less the West 30 feet, the South 75 feet, and the North 30 feet of the East 349.37 feet), in Section 24, Township 22 South, Range 27 East, Orange County, Florida.
LESS AND EXCEPT
The North 30 feet of the West 320 feet of the SE 1/4 of the SW 1/4 of the SE 1/4 of Section 24, Township 22 South, Range 27 East.
AND LESS and Except the following described:
Commence at small P-K nail and disk set in poured concrete in asphalt cut-out marking the Northeast corner of the Northwest 1/4 of Section 24, Township 22 South, Range 27 East, Orange County, Florida; thence run South 00°33'41" East along the North-South center-of-section line of said Section 24 a distance of 5329.27 feet to a point on the Centerline of Survey of State Road 50 as shown on Florida Department of Transportation Right of Way Map Section 75050, Florida Project No. 410983 1, said point also being a point on a non-tangent curve concave Northerly having a radius of 32,740.45 feet and a chord bearing of North 88°31'48" East; thence departing said North-South line, from a tangent bearing of North 88°57'45" East, run Easterly along said Centerline of Survey and along the arc of said curve through a central angle of 00°51'53" a distance of 494.11 feet to the point of tangency; said point also being a point on the South line of the Southwest 1/4 of aforesaid Section 24; thence departing said curve, run North 88°08'52" East along said Centerline of Survey and along said South line a distance of 205.65 feet to a point on the Southerly projection of the East right of way line of Carter Avenue; thence departing said Centerline of Survey and said South line, run North 02°02'48" West along said Southerly projection a distance of 73.04 feet to the intersection of the East right of way line of Carter Avenue with the existing North right of way line of aforesaid State Road 50 as shown on the aforesaid Right of Way Map for a Point of Beginning; thence continue North 00°02'46" West along said East right of way line of Carter Avenue a distance of 24.76 feet; thence departing said East right of way line of Carter Avenue, run South 45°01'33" East a distance of 34.90 feet to the aforesaid existing North right of way line of State Road 50; thence run South 88°05'52" West along said existing North right of way line of State Road 50 a distance of 25.39 feet to the Point of Beginning.



LOCATION MAP
NTS
SECTION 24, TOWNSHIP 22, RANGE 27

PROJECT DATA:

TOTAL PROJECT AREA: 359,437 SF = 8.251 ACRES
 PARCEL ID: 24-24-27-0000-00-016
 CURRENT ZONING: PCO (PEOPLES PLAZA-ORDINANCE 00-78)
 CURRENT FUTURE LAND USE: PCO
 CURRENT USE: COMMERCIAL (W SR 50 COMMERCIAL ACTIVITY CENTER)
 PROPOSED USE: COMMERCIAL/INDUSTRIAL
 SEE BELOW

SITE DATA:

LOT 1:
 PARCEL SIZE: 65,017 SF = 1.492 ACRES
 PROPOSED USE: HOTEL/RETAIL/OFFICE/RESTAURANT
 FRONT BUILDING SETBACK (WEST) (CARTER ROAD): 40 FEET
 SIDE BUILDING SETBACK (SOUTH) (LOT 3): 20 FEET
 REAR BUILDING SETBACK (EAST): 10 FEET
 REAR BUILDING SETBACK (WEST) (POND TRACT): 10 FEET
 MAXIMUM BUILDING HEIGHT: 75 FEET (FIVE FLOORS)
 MAXIMUM FAR: 1.08
 MAXIMUM BUILDING SIZE: 100,000 SF (110 HOTEL ROOMS)
 MINIMUM OPEN SPACE: 13,003 SF = 0.298 ACRES @ 20%
 MAXIMUM IMPERVIOUS COVERAGE: 52,014 SF = 1.194 ACRES @ 80%
 PARKING REQUIREMENTS: PER CODE SECTION 118-1386 (SEE NOTE #7 BELOW)

LOT 2:
 PARCEL SIZE: 86,638 SF = 1.989 ACRES
 PROPOSED USE: HOTEL/RETAIL/OFFICE/RESTAURANT
 FRONT BUILDING SETBACK (SOUTH) (LOT 4): 20 FEET
 SIDE BUILDING SETBACK (EAST): 30 FEET
 SIDE BUILDING SETBACK (WEST) (LOT 1): 10 FEET
 REAR BUILDING SETBACK (NORTH): 20 FEET
 MAXIMUM BUILDING HEIGHT: 75 FEET (FIVE FLOORS)
 MAXIMUM FAR: 1.15
 MAXIMUM BUILDING SIZE: 100,000 SF (110 HOTEL ROOMS)
 MINIMUM OPEN SPACE: 17,328 SF = 0.398 ACRES @ 20%
 MAXIMUM IMPERVIOUS COVERAGE: 69,310 SF = 1.591 ACRES @ 80%
 PARKING REQUIREMENTS: PER CODE SECTION 118-1386 (SEE NOTE #7 BELOW)

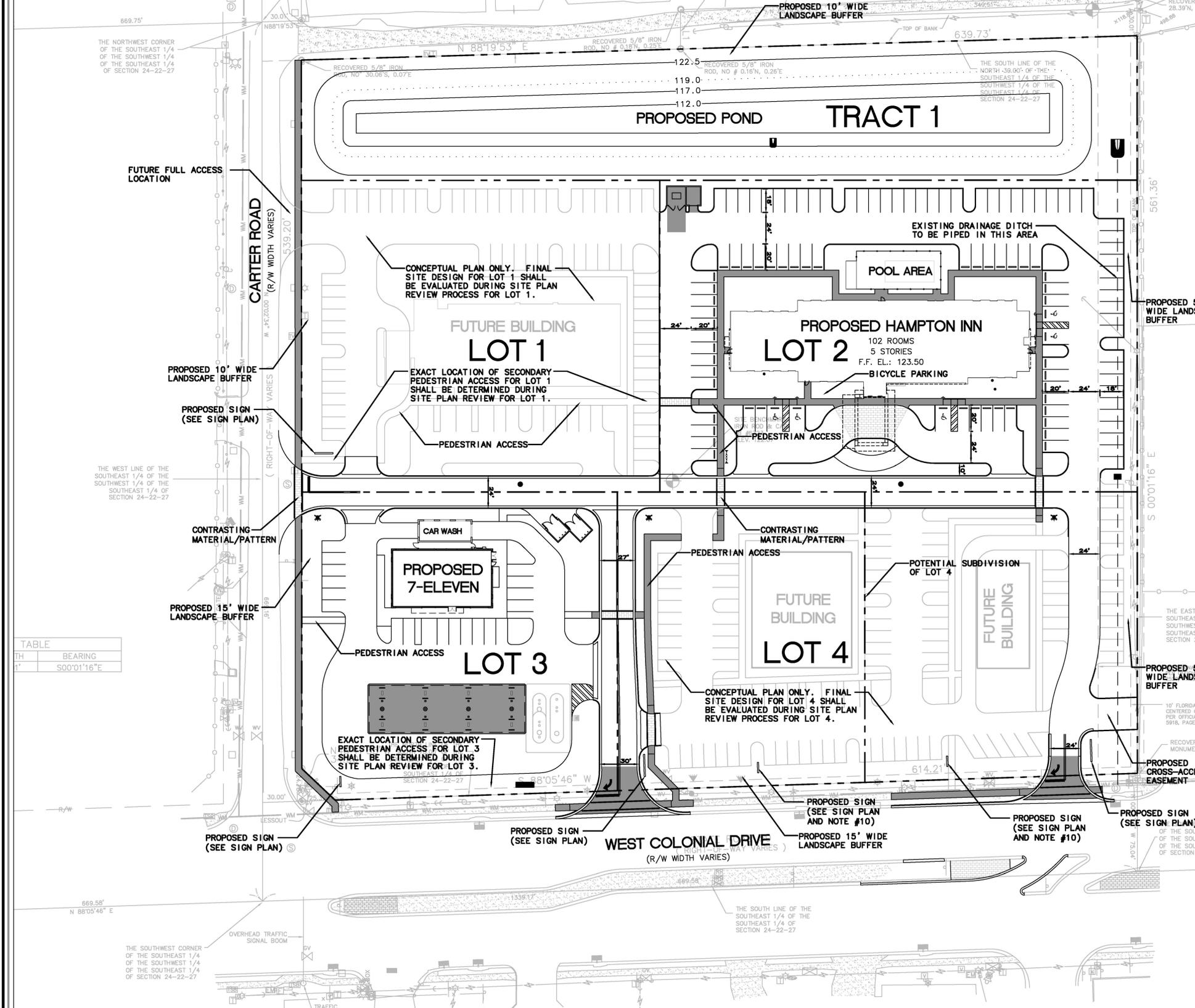
LOT 3:
 PARCEL SIZE: 55,507 SF = 1.274 ACRES
 PROPOSED USE: RETAIL/OFFICE/RESTAURANT/CONVENIENCE STORE WITH CAR WASH AND FUEL PUMPS
 FRONT BUILDING SETBACK (WEST) (CARTER ROAD): 40 FEET
 FRONT BUILDING SETBACK (SOUTH) (STATE ROAD 50): 40 FEET
 SIDE BUILDING SETBACK (EAST): 10 FEET
 REAR BUILDING SETBACK (NORTH) (LOT 1): 20 FEET
 MAXIMUM BUILDING HEIGHT: 50 FEET (THREE FLOORS)
 MAXIMUM FAR: 0.50
 MAXIMUM BUILDING SIZE: 27,754 SF
 MINIMUM OPEN SPACE: 11,101 SF = 0.255 ACRES @ 20%
 MAXIMUM IMPERVIOUS COVERAGE: 44,406 SF = 1.019 ACRES @ 80%
 PARKING REQUIREMENTS: PER CODE SECTION 118-1386

LOT 4:
 PARCEL SIZE: 87,791 SF = 2.015 ACRES (SEE NOTE #8 BELOW)
 PROPOSED USE: RETAIL/OFFICE/RESTAURANT
 FRONT BUILDING SETBACK (SOUTH) (STATE ROAD 50): 40 FEET
 SIDE BUILDING SETBACK (WEST) (LOT 3): 20 FEET
 SIDE BUILDING SETBACK (EAST): 30 FEET
 REAR BUILDING SETBACK (NORTH) (LOT 2): 20 FEET
 MAXIMUM BUILDING HEIGHT: 50 FEET (THREE FLOORS)
 MAXIMUM FAR: 0.63
 MAXIMUM BUILDING SIZE: 55,000 SF
 MINIMUM OPEN SPACE: 17,558 SF = 0.403 ACRES @ 20%
 MAXIMUM IMPERVIOUS COVERAGE: 70,233 SF = 1.512 ACRES @ 80%
 PARKING REQUIREMENTS: PER CODE SECTION 118-1386

TRACT 1:
 TRACT SIZE: 64,484 SF = 1.480 ACRES
 PROPOSED USE: STORMWATER RETENTION
 MINIMUM OPEN SPACE: 31,530 SF = 0.724 ACRES @ 48.90%
 MAXIMUM IMPERVIOUS COVERAGE: 0 SF = 0 ACRES @ 0%
 WATER SURFACE COVERAGE (AT CONTROL): 32,954 SF = 0.756 ACRES @ 51.10%

NOTES:

- WATER, SEWER AND RECLAIM SERVICE SHALL BE PROVIDED BY THE CITY OF WINTER GARDEN
- PROPERTY IS LOCATED WITHIN FLOODZONE X PER FEMA PANEL NUMBER 1209502015F, DATED 9-25-2019.
- FIRE PROTECTION TO BE PROVIDED BY THE CITY OF WINTER GARDEN
- THERE ARE NO WETLANDS LOCATED WITHIN THE PROJECT SITE
- CONVENIENCE STORE/FUEL SALES/CAR WASH SHALL BE INCLUDED AS AN APPROVED USE
- NO MORE THAN ONE DRIVE-THRU SHALL BE ALLOWED UNLESS APPROVED AS PART OF THE SITE PLAN APPROVAL PROCESS
- PARKING FOR HOTEL USES ON LOTS 1 AND 2 SHALL BE ALLOWED AT ONE SPACE PER HOTEL ROOM
- POTENTIAL LOT SPLIT SHALL BE ALLOWED FOR LOT 4 WITHOUT A REQUIRED LANDSCAPE BUFFER BETWEEN LOTS AND NO MINIMUM SIDE BUILDING SETBACKS.
- CROSS-ACCESS EASEMENTS SHALL BE PROVIDED THROUGHOUT THE DEVELOPMENT
- TWO LOT 4 MONUMENT SIGNS SHALL BE ALLOWED ONLY IF LOT 4 IS SPLIT INTO TWO LOTS. OTHERWISE, ONLY ONE MONUMENT SIGN SHALL BE ALLOWED FOR LOT 4.



TH	BEARING
1'	S00°01'16"E

NOTE:
 REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 21H.23.002 FLORIDA ADMINISTRATIVE CODE.

REV/DATE	BY
9-24-19	M.C.
AS PER CITY	M.C.
11-7-19	M.C.
AS PER CITY	M.C.
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PD ZONING PLAN FOR PEOPLES PLAZA
 WINTER GARDEN, FLORIDA
 12301 WEST COLONIAL DRIVE

MITCH COLLINS, P.E., INC.
 801 E. SOUTH STREET
 ORLANDO, FL 32801
 (407) 850-8557
 www.mitchcollinspe.com

DRAWN BY:	M.C.
CHECKED BY:	M.C.
DATE:	6-17-19
SCALE:	1" = 40'
JOB NO.:	219-002
SHEET NO.:	PD-1 OF C-9

"SUNSHINE STATE ONE CALL OF FLORIDA, INC."
 1-800-432-4770
 WWW.CALLSUNSHINE.COM
REQUIRED BY FLORIDA STATUTE 333.03
 A MIN. OF 2 DAYS AND A MAX. OF 3 DAYS BEFORE YOU EXCAVATE, YOU ARE TO NOTIFY SUNSHINE STATE ONE CALL OF FLORIDA (888) 777-6242, LATEST EDITION

WINTER GARDEN CODE COMPLIANCE NOTES:

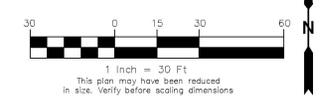
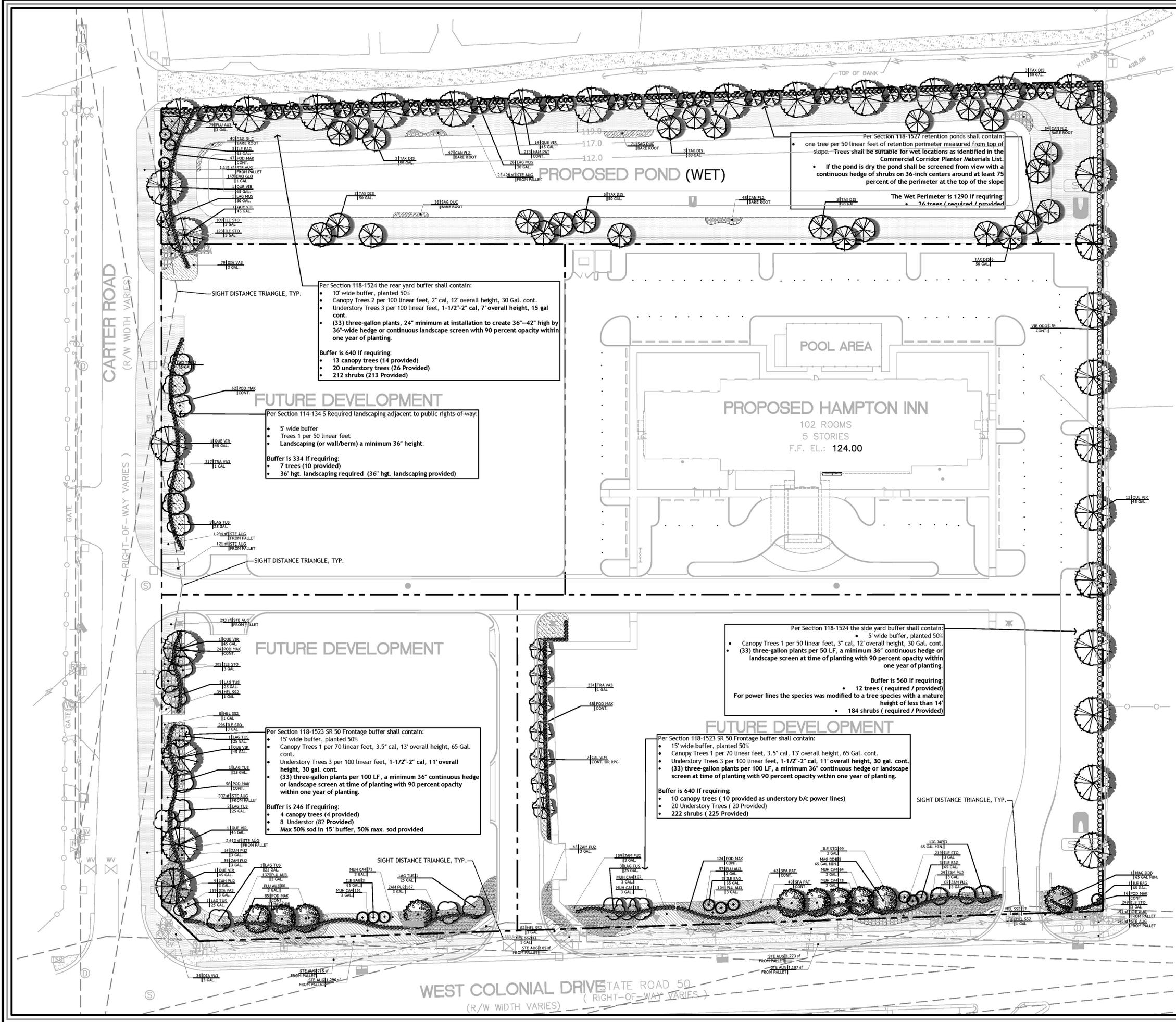
1. Shrubs / groundcovers = 35,658 sf
2. Sod = 36,639 sf
3. Gross Area 359,436 sf
4. Trees preserved = 0
5. Trees planted = 150
6. Min. Canopy Tree size 3" cal. x 12' hgt.
7. Min. Understory Tree 1.5" cal. x 11' hgt. (The only exception is the use of Ligustrum under the power lines that limits the mature tree size to 14'. Those plants are not available at this size and are specified at 1.5" cal; 8' hgt. x 6' spd.
8. Min. parking lot interior landscape = 5%.
9. Min. native plants required = 5%, 64% provided

REV/DATE	BY

PLANTING PLAN
 FOR
PEOPLE'S PLAZA
12301 WEST COLONIAL DRIVE WINTER GARDEN, FLORIDA

DATE
MITCH COLLINS, P.E., J. BARBER, STATE OF FLORIDA, C.A.J. 8033
801 WEST PALM BLVD., SUITE 200, WINTER GARDEN, FL 32787
407.898.0223
www.magleydesign.com

DRAWN BY:	R.M.
CHECKED BY:	R.M.
DATE:	7-2-19
SCALE:	As shown
JOB NO:	MD 1919
SHEET NO:	L-1

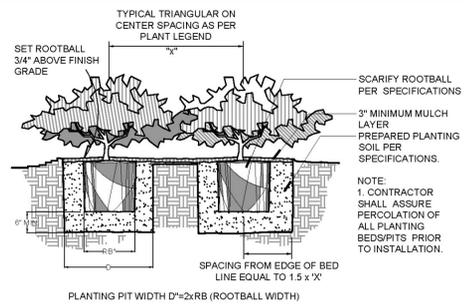


NOTE:
 REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 21H.23.002 FLORIDA ADMINISTRATIVE CODE.

WEST COLONIAL DRIVE STATE ROAD 50
 (R/W WIDTH VARIES) (RIGHT-OF-WAY VARIES)

CARTER ROAD
 (R/W WIDTH VARIES)

RIGHT-OF-WAY VARIES

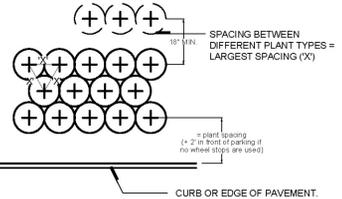


1 TYPICAL SHRUB PLANTING DETAIL

1/2" = 1'-0"

P-CO-25

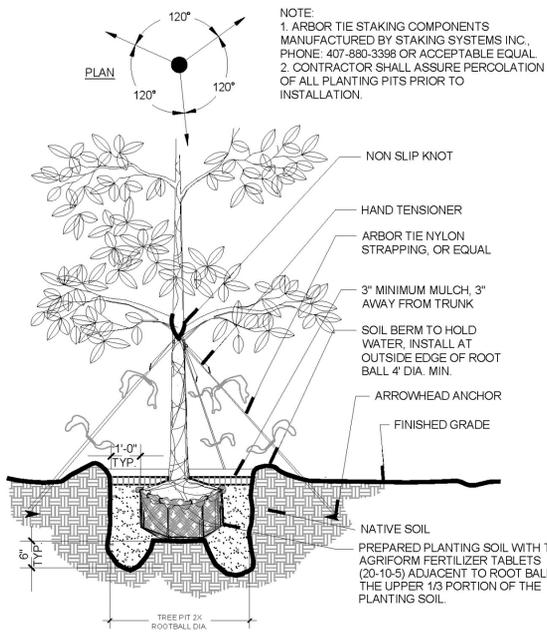
NOTE: ALL SHRUBS AND GROUND COVER MASSSES TO USE TRIANGULAR SPACING EXCEPT WHERE NOTED REFER TO PLANT LIST FOR INDIVIDUAL PLANT SPACING 'X'.



2 TYPICAL PLANT SPACING DETAIL

1/2" = 1'-0"

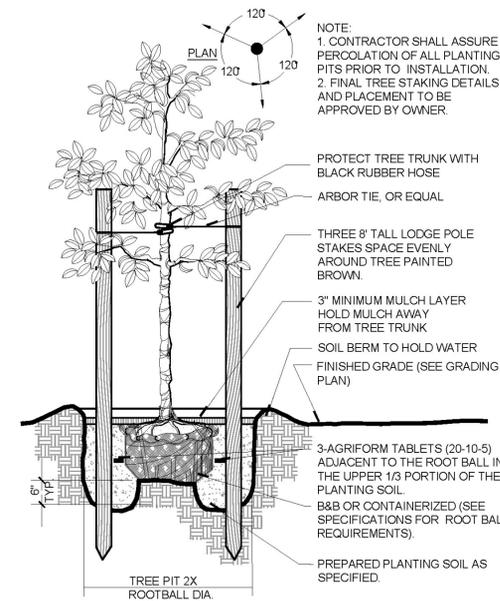
P-CO-21



3 LARGE TREE PLANTING DETAIL

1/2" = 1'-0"

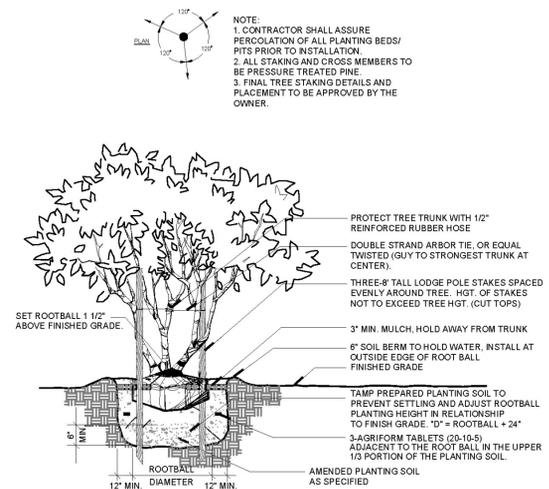
P-CO-15



4 SMALL TREE PLANTING DETAIL

1/2" = 1'-0"

P-CO-08



5 TYPICAL MULTITRUNK TREE PLANTING DETAIL

1/2" = 1'-0"

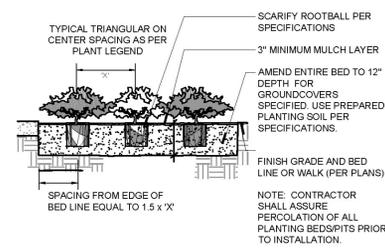
P-CO-15

TYPICAL LANDSCAPE NOTES:

- ALL TREE CALIPER SIZES NOTED ARE MINIMUM. INCREASE SIZE OR ANY OTHER SPECIFICATIONS AS REQUIRED, PROVIDING MINIMUM PLANT SIZE AND SPECIFICATIONS.
- ALL CONTAINER SIZES NOTED ARE MINIMUM. INCREASE SIZE OF POT AS REQUIRED, PROVIDING MINIMUM PLANT SIZE AND SPECIFICATIONS. ALL HEIGHT AND SPREAD SPECIFICATIONS ARE MINIMUM.
- SHRUB AND GROUND COVER BED QUANTITIES ARE INDICATED FOR EACH PLANT BED. ALL PLANT QUANTITIES FOR PROPOSALS SHALL BE DERIVED SOLELY FROM DRAWINGS AND SPECIFICATIONS.
- SHRUB AND GROUND COVER SPACING IS INDICATED ON THE PLANT LIST AND SHALL APPLY FOR ALL "MASS PLANTING" BEDS.
- OWNERS REPRESENTATIVE MUST TAG AN EXAMPLE OF EACH PALM SPECIES ACCORDING TO THE SPECIFICATIONS IN THE PLANT LIST.
- SEE PLANT LIST DETAILS AND SPECIFICATIONS FOR FURTHER PLANTING INFORMATION.
- LOCATION OF ALL UTILITIES AND BASE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES AND OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO INITIATING INSTALLATION WORK. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGE COMMITTED TO EXISTING ELEMENTS ABOVE OR BELOW GROUND TO ITS ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL FIELD STAKE THE LOCATION OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. THE LOCATION OF ALL PLANT MATERIAL IS SUBJECT TO FIELD CHANGE.
- LANDSCAPE CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE IRRIGATION CONTRACTOR AND ALL OTHER TRADES.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS REQUIRED UNTIL PLANT MATERIALS ARE WELL ESTABLISHED, TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL LANDSCAPE AREAS WHERE THE EXISTING OR PROPOSED IRRIGATION IS FOR WHATEVER REASON NOT OPERATING OR NOT OPERATING CORRECTLY.
- CONTRACTOR SHALL CLEAN THE WORK AREAS AT THE END OF EACH WORKING DAY. RUBBISH AND DEBRIS SHALL BE COLLECTED AND DEPOSITED AS DIRECTED DAILY. ALL MATERIALS, PRODUCTS, AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, CURRENT EDITION.
- CONTRACTOR SHALL REMOVE EXISTING SOD AND/OR VEGETATION IN ALL AREAS TO BE PLANTED WITH SHRUB/GROUNDCOVERS AND/OR ALL AREAS TO BE MULCHED.
- CONTRACTOR SHALL REPLACE SOD IN ALL AREAS WHERE EXISTING VEGETATION IS REMOVED OR RELOCATED, WHERE EXISTING LAWN AREAS ARE DAMAGED BY HIS WORK, AND WHERE NEW VEGETATION IS INSTALLED (UNLESS OTHERWISE NOTED ON PLANS) WITH SAME GRASS SPECIES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING ALL SUCH AREAS TO BLEND BOTH ELEVATIONS AND SOD INTO EXISTING SURROUNDING LAWN AREAS.
- THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS. PRIOR TO COMMENCEMENT OF THE LANDSCAPING WORK. FOR EVERY BLOCK SECTION OF STREET THE CONTRACTOR SHALL PROVIDE COMPLETE SOIL TESTS FOR AT LEAST THREE AREAS UNDISTURBED BY PREVIOUS WORK AND TWO AREAS DISTURBED AND/OR REFILLED. SEE SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE UNIT PRICES AS REQUESTED WHICH INCLUDE THE TOTAL COST OF THE WORK INCLUDING BUT NOT LIMITED TO ANY AND ALL COSTS FOR EQUIPMENT, MATERIAL, PRODUCTS, OVERHEAD, PROFIT, GUARANTEES, LABOR, INSTALLATION, ETC. TO PROVIDE A COMPLETE JOB AS OUTLINED ON THE DRAWINGS. THE OWNER SHALL HAVE THE OPTION TO ADD OR DEDUCT FROM THE LUMP SUM BID CONTRACT AMOUNT, BASED ON THE QUOTED UNIT PRICES FOR ANY OR THE ITEMS LISTED IN THE "PLANT LIST".
- CONTRACTOR SHALL PROTECT EXISTING VEGETATION TO REMAIN BY MEANS APPROVED BY THE OWNER/OWNER'S REPRESENTATIVE AND AS DETAILED IN THE DRAWINGS.
- CONTRACTOR SHALL CLEAN, PRUNE, AND SHAPE EDGES OF EXISTING VEGETATION AS DIRECTED BY OWNER'S REPRESENTATIVE. CREATE SMOOTH BED LINES AROUND EXISTING VEGETATION.
- CONTRACTOR AND EMPLOYEE VEHICLE PARKING SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE. SHUTTLE OF EMPLOYEES TO THE PROJECT AREAS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL NOT DISRUPT OR CONFLICT IN ANY WAY WITH EXISTING TRAFFIC.
- CONSTRUCTION ACCESS SHALL BE INDICATED BY THE OWNER. COORDINATION OF HEAVY EQUIPMENT AND MATERIALS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF WORK WITH OTHER TRADES AND THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL TAKE WHATEVER MEANS THAT MAY BE NECESSARY TO FULLY UNDERSTAND ALL THE ACCESS ROUTES AND CONSTRUCTION SCHEDULES IN ORDER TO PROVIDE A COMPLETE AND FINISHED PROJECT ON SCHEDULE.
- MINI PINE BARK NUGGET MULCH OR APPROVED EQUAL SHALL BE USED (CYPRESS MULCH NOT ALLOWED).

7 LANDSCAPE NOTES

N.T.S.



6 TYPICAL GROUND COVER PLANTING DETAIL

1/2" = 1'-0"

P-CO-26

PLANT SCHEDULE											
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL/DBH	SPECIFICATION	WATER USAGE	NATIVE	DETAIL	REMARKS	
CAL VIM	7	CALLISTEMON VIMINALIS	WEeping BOTTLE BRUSH	CONT. OR RPG	2" CAL		LOW	NO		MULTI-TRUNK, FULL	
ILE EAG	17	ILEX X ATTENUATA 'EAGLESTON'	EAGLESTON HOLLY	65 GAL.	3" CAL	11' H MIN X 5' S MIN	LOW	YES		SINGLE, STRAIGHT	
LAG HUS	25	LAGERSTROEMIA X 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	30 GAL.	1.5" CAL MIN	8' H X 4' S	LOW-MEDIUM	NO		MULTI-TRUNK, FULL	
LAG TUS	15	LAGERSTROEMIA X 'TUSCARORA'	CORAL PINK CRAPE MYRTLE	25 GAL.	1" CAL		LOW-MEDIUM	NO		MULTI-TRUNK, FULL	
LIJ JAP	23	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	65 GAL MIN.	3" DBH MIN COMB TRUNKS	7' HT MIN X 48" SPR MIN	LOW	NO		MULTI-TRUNK, FULL	
QUE VIR	21	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	45 GAL.	2.5" CAL MIN	13' H X 6' S	LOW-MEDIUM	YES		SINGLE, STRAIGHT	
TAX DIS	26	TAXODIUM DISTICHUM	BALD CYPRESS	50 GAL.	3" CAL		MEDIUM-HIGH	YES		SINGLE, STRAIGHT	
VIT SHO	7	VITEX AGNUS-CASTUS 'SHOAL CREEK'	CHASTE TREE	30 GAL MIN.	3" CAL COMB. TRUNKS	7' HT MIN	LOW	NO		FULL, MULTITRUNK	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.		SPECIFICATION	WATER USAGE	NATIVE	DETAIL	REMARKS	
HAM PAT	213	HAMELIA PATENS	FIRE BUSH	CONT.		24" H MIN	LOW-MEDIUM	YES		FULL	
PDD MAK	484	PODOCARPUS MACROPHYLLUS MAKI	SHRUBBY YEW	CONT.		36" H MIN. X 24" S	LOW-MEDIUM	NO		FULL, FOR BUFFER R	
VIB ODO	184	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	CONT.		36" H MIN. X 24" S	LOW	NO		FULL, FOR BUFFER R	
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT.		SPECIFICATION	WATER USAGE	NATIVE	SPACING	DETAIL	REMARKS
MUH CA4	481	MUHLENBERGIA CAPILLARIS	MUHLY GRASS	3 GAL.		22" H X 18" S	LOW-HIGH	YES	24" o.c.		FULL
PLU AU3	505	PLUMBAGO AURICULATA	BLUE PLUMBAGO	3 GAL.		18" H X 18" S	LOW	NO	24" o.c.		FULL
SPA PAT	83	SPARTINA PATENS	SALT MEADOW CORD GRASS	CONT.		36" OA	LOW	YES	30" o.c.		FULL
ZAM PU2	516	ZAMIA PUMILA	COONTIE	3 GAL.		24" H	LOW	YES	30" o.c.		FULL, 9 LEAVES MIN
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT.		SPECIFICATION	WATER USAGE	NATIVE	SPACING	DETAIL	REMARKS
DIA VA3	274	DIANELLA TASMANICA 'VAREGATA'	FLAX LILY	3 GAL.		16" H X 16" S	LOW	YES	24" o.c.		FULL
EVO GLO	149	EVOLVULUS GLOMERATUS	BRAZILIAN DWARF MORNING GLORY	1 GAL.		10" H X 12" S	LOW	NO	18" o.c.		FULL
HEL SS2	217	HELIANTHUS DEBILIS DEBILIS	PROSTRATE CUCUMBERLEAF SUNFLOWER	1 GAL.		12" H X 12" S	LOW-MED	YES	18" o.c.		FULL
ILE STO	1,480	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPON	3 GAL.		12" O.A.	LOW	YES	15" o.c.		FULL
TRA VA3	671	TRACHELOSPERMUM ASIATICUM 'MINIMA'	VARIEGATED DWARF JASMINE	1 GAL.		10" H X 12" S	LOW-MED	NO	18" o.c.		FULL, 5 RUNNERS M
AQUATICS	QTY	BOTANICAL NAME	COMMON NAME	CONT.		SPECIFICATION	WATER USAGE	NATIVE	SPACING	DETAIL	REMARKS
CAN FL2	149	CANNA FLACIDA	YELLOW CANNA	BARE ROOT		12" O.A.	N/A	YES	18" o.c.		
SAG DUC	149	SAGITTARIA LANCIIFOLIA	DUCK POTATO	BARE ROOT		12" O.A.	N/A	YES	18" o.c.		
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	CONT.		SPECIFICATION	WATER USAGE	NATIVE	SPACING	DETAIL	REMARKS
STE AUG	38,443 SF	STENOTAPHRUM SECUNDATUM 'FLORITAM'	FLORITAM ST. AUGUSTINE SOD	FROM PALLET		SOD	MEDIUM	NO			CLEAN AND WEED F

8 PLANT SCHEDULE

N.T.S.



NOTE: REPRODUCTION OF THIS PLAN IS INVALID UNLESS CONTAINING ORIGINAL SIGNATURE AND EMBOSSED WITH ENGINEER'S SEAL AS PER CHAPTER 21H.23.002 FLORIDA ADMINISTRATIVE CODE.

REV/DATE	BY

PLANT SCHEDULE AND DETAILS
 FOR
 PEOPLE'S PLAZA
 12301 WEBB COLONIAL DRIVE
 WINTER GARDEN, FLORIDA

DATE: _____
 MATCH COLLINS, P.E., INC. 1000 N. WINDY HILL BLVD. SUITE 200 WINTER GARDEN, FL 32787
 TEL: 407.448.8877 FAX: 407.448.8779
 www.collinspe.com

DRAWN BY	RM
CHECKED BY	RM
DATE	7-2-10
SCALE	As shown
JOB NO.	MD 1910
SHEET NO.	L-2

Exhibit "C"

COVER PAGE

Peoples Plaza Planned Commercial Development Design Standards

(25 PAGES - ATTACHED)

Peoples Plaza Planned Commercial Development

Design Standards
Winter Garden, Florida

November 11, 2019

Prepared by:

Architect

Dale Parsons,
1126 S. Division Ave.
Orlando, Florida 32805

Civil Engineer

Mitch Collins, P.E., Inc.
801 E. South Street
Orlando, Florida 32801

Surveyor

Allen and Company
16 East Plant Street
Winter Garden, Florida 34787

Prepared for:

Peoples Plaza, LLC

1126 S Division Ave
Suite 303
Orlando, Florida 32805

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Peoples Plaza

I. Purpose & Intent

The following development standards and design treatments are intended to establish aesthetic requirements for the Planned Commercial Development called "Peoples Plaza". Located at 12301 W. Colonial Drive in Winter Garden, Florida. Peoples Plaza is a mix of Retail, Hotel, Office, Convenience Store w/ Gas and Restaurant uses intended to attract customers from the City of Winter Garden as well as Orange County and surrounding areas via the nearby SR429 and Florida Turnpike.

The intent of the Peoples Plaza Design Standards is to create and maintain a positive ambiance and identity by providing for architectural and site design treatments that will enhance and improve upon the typical appearance of a mixed use development.



Figure 1 - Vicinity Plan

II. Applicable Codes

In addition to the Peoples Plaza Design Standards, all buildings must conform to the current Florida Building Code standards and comply with the Winter Garden, FL Code of Ordinances State Road 50 Overlay Commercial Development Standards, unless otherwise noted herein.

III. Architectural Character Design Criteria

The overall commercial architectural design of the buildings in Peoples Plaza will substantially comply with a Contemporary Artisan architectural style. Final elevations associated with specific site plans will be subject to change by the end user provided the architectural theme is consistent, the standard of quality is maintained, the architectural standards are achieved, and the design is approved by the City.

A consistent and compatible standard will be applied to the buildings in the PCD. The following outline of massing, finishes, treatments, colors and use of materials are representative of a theme and a level of quality to be maintained throughout the development. Distinctive and Unique designs are permissible provided the design is not conspicuous within the context of the overall development and helps achieve the overall cohesive style.

All architectural elevations are subject to review and approved by City staff prior to Plan Approval, and there should be consistency between all developments in terms of design style and quality.



Figure 2 - Contemporary Artisan Example - Hotel

IIIA. Massing & Articulation

A. The building facades that are visible to pedestrians and/ or vehicles along major internal and external circulation routes are required to have architectural variation that is consistent with the Contemporary Artisan Style (similar to that depicted in Figure 2). Examples of Contemporary Artisan style elements include, but are not limited to the following:

- Cool Gray tones
- Stone or Brick Base Exterior
- Horizontal Lines
- Awnings above Glazing
- Wood or “Simulated” Wood Accent Panels
- Screening with vines



Figure 3 - Example — Restaurant / Retail

COLOR SCHEME:


SHERWING WILLIAMS
7017 DORIAN GRAY


SHERWING WILLIAMS
7014 EIDER WHITE


SHERWING WILLIAMS
7018 DOVETAIL


SHERWING WILLIAMS
7015 REPOSE

COOL GREY COLOR TONES

B. All buildings should have elements to relieve the sense of a solid monolithic mass and that complement the scale of the surrounding structures and the proposed building. Buildings should be designed to have facade features on multiple planes.

C. Building facades along major circulation routes shall not have a blank, uninterrupted length that exceeds 40 lineal feet without including at least two of the following:

- ❖ Pilasters
- ❖ Canopies
- ❖ Colonnades
- ❖ Varying Rooflines
- ❖ Varying Finishes
- ❖ Columns
- ❖ Arcades
- ❖ Trellis with vines
- ❖ Defined Entryways
- ❖

D. Architectural design details and window treatments will be utilized to unify all sides of the buildings. Integration of canopies is required to promote a human scale at the entrance and to create visually appealing points of entry that shield visitors from the sun and rain.

III. B. Building Materials and Theming

A. A consistent architectural theme (as depicted in Figure 2) will be utilized to unify the development, including complimentary colors, finished materials and textures.

B. Predominant exterior building materials shall be of high quality materials including, but not limited to the following:

- ❖ Stucco
- ❖ Fiber -cement board siding
- ❖ Veneer brick or thin brick
- ❖ EIFS Synthetic Finish

C. Prohibited exterior building materials include the following:

- ❖ Smooth faced concrete block
- ❖ Unfinished tilt -up concrete panels
- ❖ Prefabricated steel panels

D. Prohibited roofing materials include the following:

- ❖ Barrel tile
- ❖ 3 -Tab shingles

E. Rear and side facade materials shall be of materials consistent with that of the primary facade; use of inferior or lesser quality materials shall be prohibited.

- F. Store fronts: False window and door openings defined by frames, sills and lintels, are permitted only when actual doors and windows are not feasible because of the interior use of the building.
- G. Building colors shall be drawn from a light color palette; the color chip shall be submitted to the City for approval. No fluorescent colors are permitted. The use of black, grey, primary and/ or secondary colors are prohibited as the predominant exterior building color.
- 1. Flat roofs must be screened by a parapet wall finished by a cornice or other architectural detail.



Figure 4 — Example – Retail Store with Gas



Figure 5 — Example – Retail Store with Gas

III. C. Facade Treatments

Rooftop equipment shall be concealed from public view or located such that the equipment is not visible from public streets or from the parking lot.

III. C. Building Projections & Entryways

- A. Building exteriors will provide shelter from sun and rain. Awnings and overhangs will be provided for pedestrian walkways at Building Entry.
- B. Primary pedestrian entrances will be clearly expressed and be recessed by a sheltering element. This element will preferably be a porch with columns, but elements such as awnings, arcades, and/ or porticos may be considered if they achieve the overall intent of these architectural design standards. The minimum height and the maximum depth of these elements shall be 8'.



Figure 6 - Example — Variation of Façade Height



Figure 7 - Example — Variation of Façade Planes

III. D. Building Orientation & Site Design

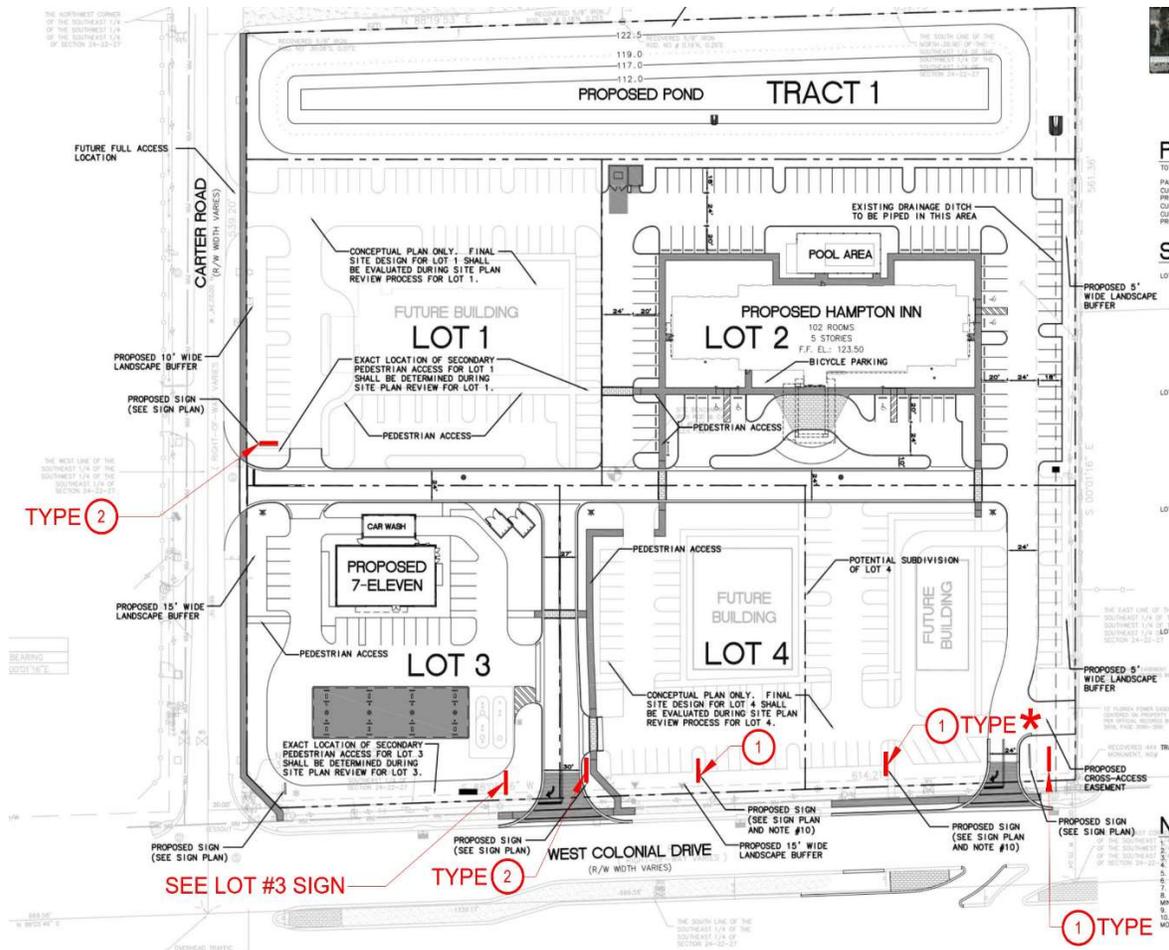
- A. Buildings shall be oriented in a manner that will promote and strengthen pedestrian activity. All buildings shall provide sidewalks, with all buildings oriented towards W. Colonial Drive, with pedestrian connectivity throughout the development.
- B. Parking areas shall not visually and physically dominate the road frontages. Parallel to the front face of the building, there shall be no more than two rows (one on either side of an access drive) of angled or 90 degree parking between the front building facade and the adjacent right-of-way.
- C. Parking areas shall provide dedicated pedestrian pathways to primary and secondary building entrances. Pedestrians must also be provided dedicated pathways to adjacent properties.

IV. Utilities and Equipment

- A. All utility equipment must be properly screened with walls and/ or landscaping. All loading docks and loading areas must be screened from public view with appropriate screen walls, which are architecturally integrated with the main structure.

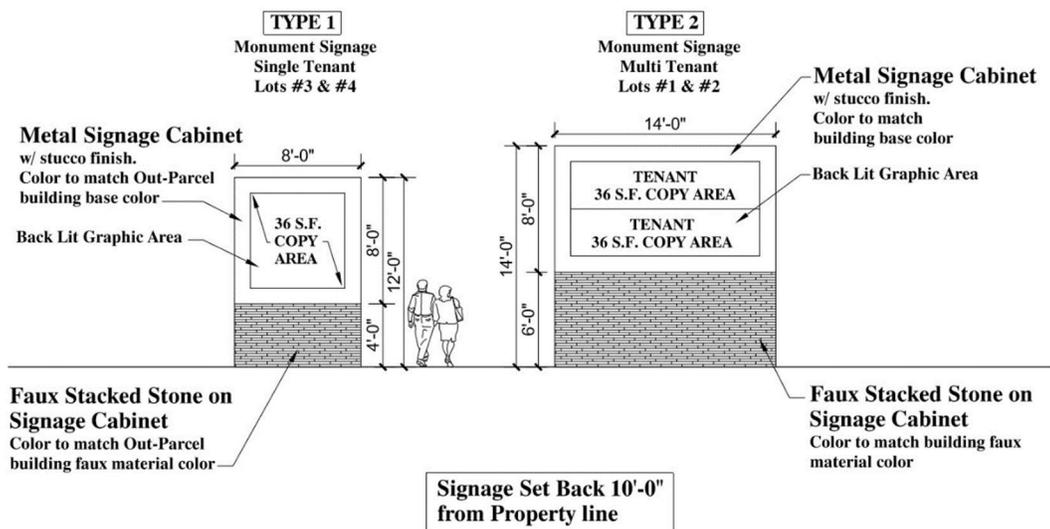
V. Lighting

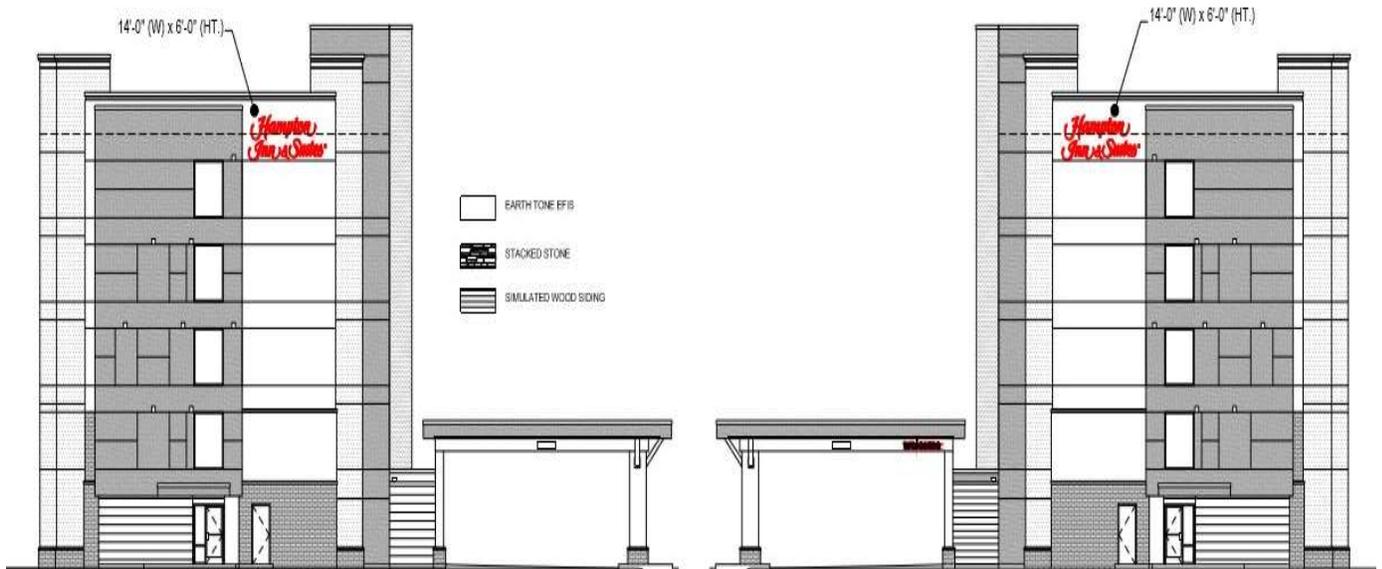
- A. Lighting shall be placed or shielded so as not to cause glare, and the placement, intensity, style and direction of lighting shall not create a hazard to vehicular traffic.
- B. Lighting will comply with the design standards, requirements, and regulations pertaining to specified commercial corridors within City of Winter Garden in accordance with Chapter 118, Article X, Division 4.
- C. Poles, globes, and other light fixtures that are of a high design quality are required and shall be consistent with the overall building architecture.



VI. Peoples Plaza Site Plan / Ground Sign Location

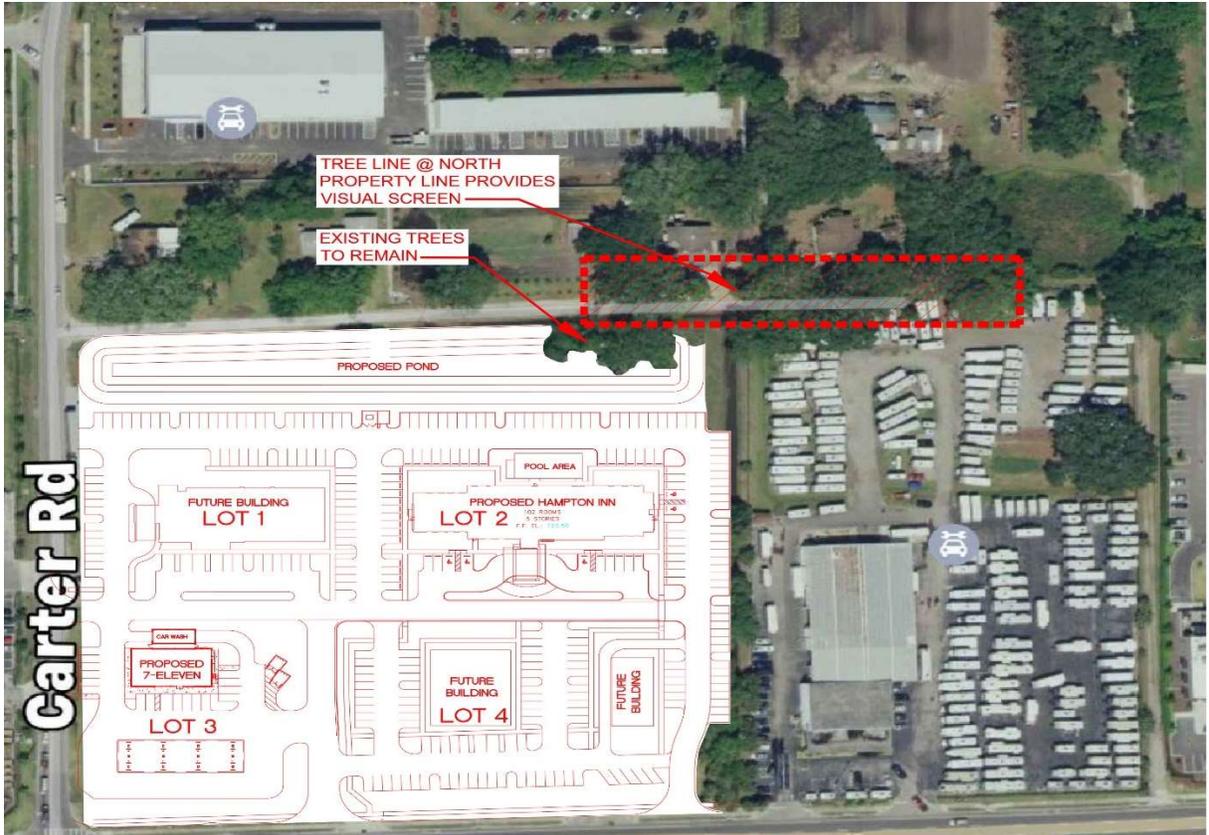
*Note: Only 1 Ground Sign is permitted on Lot #4 until Lot #4 is split creating Lots #4 & #5



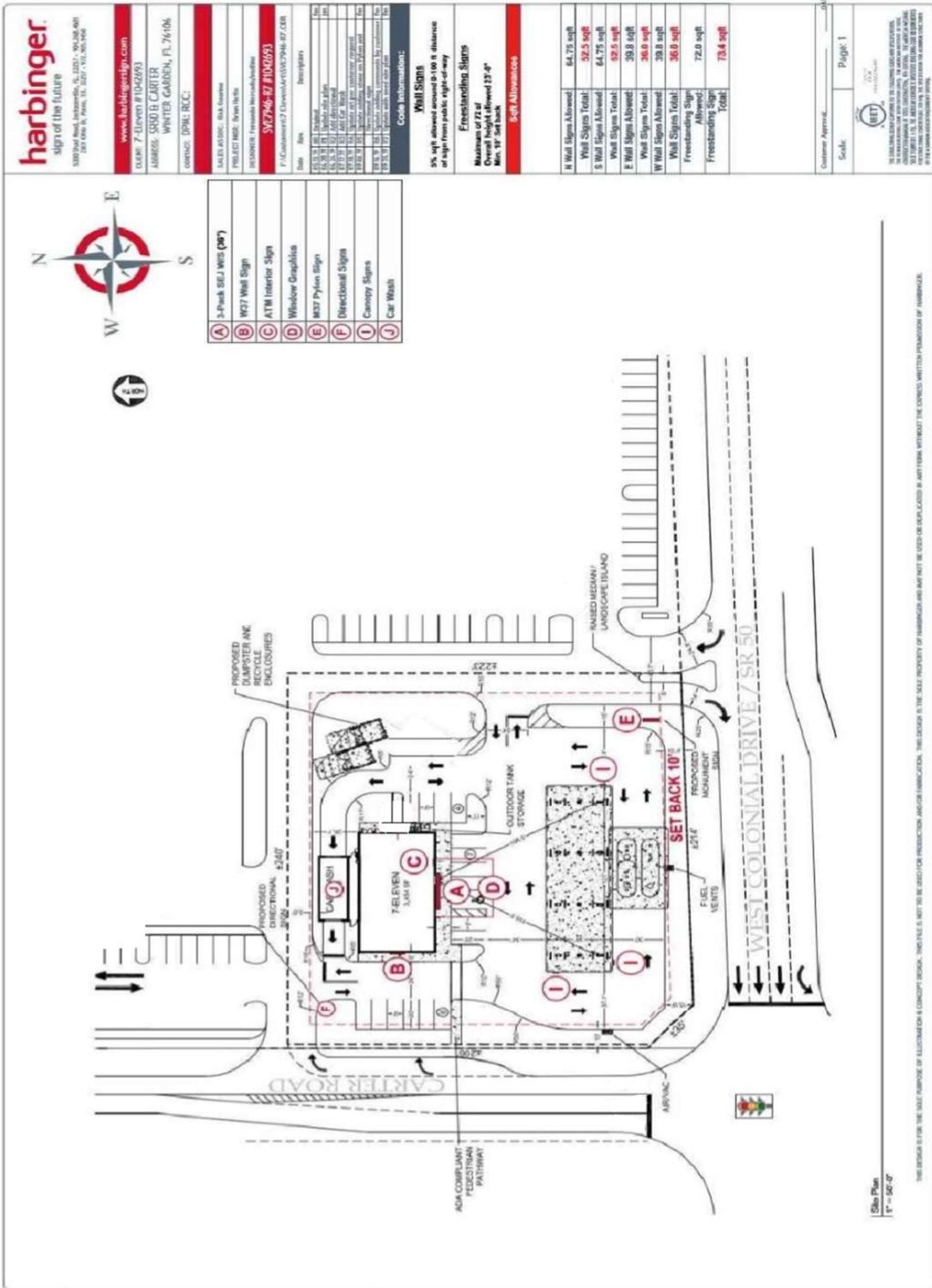


VII. Hampton Inn & Suites / Building Sign Lot #2

❖ **Lot #1 Building Signs Same as Lot #2 if a Hotel is Built**



❖ Hampton Inn Sign at East Elevation screen by exist. Tree at North boundary



VIII. Peoples Plaza / Building and Ground Signs Lot #3

70X43 BUILDING PROTOTYPE

harbinger.
sign of the future

1300 Wood Road, Jacksonville, FL 32217, 904.364.5641
2000 Park Avenue, Jacksonville, FL 32207, 904.364.5641

www.harbingersign.com

CLIENT: 7-Eleven #1042693

ADDRESS: 5850 B. CARTER
WINTER GARDEN, FL 76106

CONTACT: DPM, RCC

SALES ASSOC.: Bill Starnes

PROJECT MGR.: Brian Hahn

DESIGNER: Fernando Hernandez/Willis

SVE#794684 #1042693

P: Customers/7-Eleven/4131512/7946-84_C208

Code	Qty	Description
02-0378	61	Signage
02-0379	1	Signage
02-0380	1	Signage
02-0381	1	Signage
02-0382	1	Signage
02-0383	1	Signage
02-0384	1	Signage
02-0385	1	Signage
02-0386	1	Signage
02-0387	1	Signage
02-0388	1	Signage
02-0389	1	Signage
02-0390	1	Signage
02-0391	1	Signage
02-0392	1	Signage
02-0393	1	Signage
02-0394	1	Signage
02-0395	1	Signage
02-0396	1	Signage
02-0397	1	Signage
02-0398	1	Signage
02-0399	1	Signage
02-0400	1	Signage

Code Information:

Wall Signs:

9% sqft allowed around 0-100 ft distance

or sign from public right-of-way

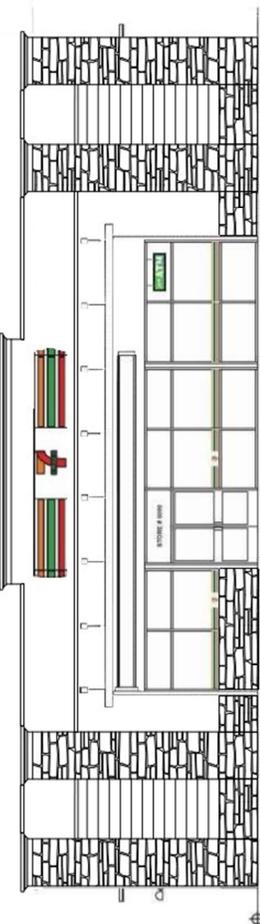
Soft Allowances

Wall Signs Allowed: 129.5 sqft

Wall Signs Total: 105.6 sqft

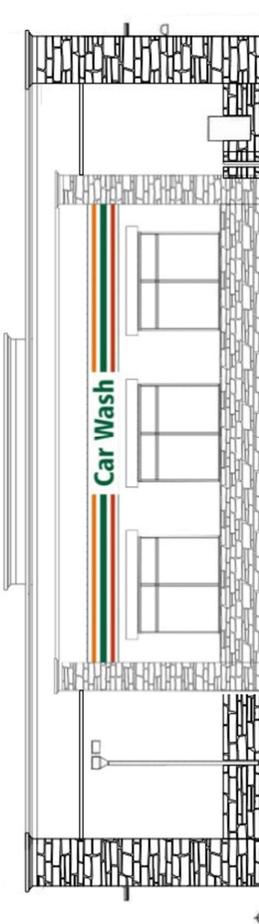
Proposed Total: 105.6 sqft

Code Information:
Allowed: 84.75 sqft
Proposed: 92.5 sqft



Proposed South Elevation - Signs A, C & D

Code Information:
Allowed: 84.75 sqft
Proposed: 92.5 sqft



Proposed North Elevation

-  SIMULATED WOOD SIDING
-  STACKED STONE
-  EARTH TONE EIFS

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Customer Approval: _____ DATE: _____

Page: 2

 MET

MEMBER OF THE MET GROUP OF COMPANIES
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70X43 - BUILDING PROTOTYPE

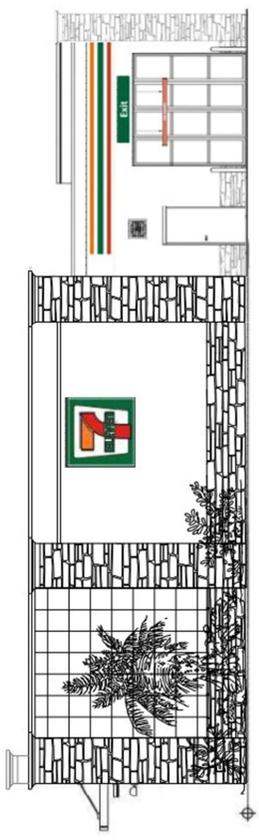
harbinger.
sign of the future

1300 20th Road, Jacksonville, FL 32217, 904.456.4841
2000 Parkway, Jacksonville, FL 32217, 904.456.4841

www.harbingersign.com

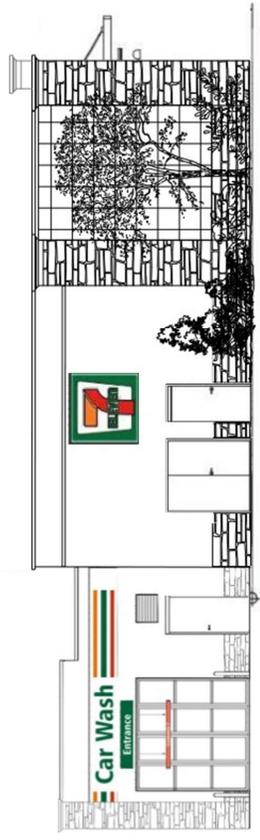
OWNER: 7-Eleven #1042693
ADDRESS: SR30 B. CARTER
WINTER GARDEN, FL 76106
CONTACT: DPAL/ RCC:

Code Information:	
Allowed:	39.8 sqft
Proposed:	36.0 sqft



Proposed East Elevation - Sign B

Code Information:	
Allowed:	39.8 sqft
Proposed:	36.0 sqft



Proposed West Elevation - Sign B

-  STACKED STONE
-  EARTH TONE FFIS

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SALES & LEAD: Rick Swartz
PROJECT MGR: Brian Helm
SECURITY Clearance: None/Secret/Confidential

SVC# 796-86 #1042693
P: Customers/7 Eleven/ARTIST/796-86.COM

Date	Rev.	Description
05/03/21	001	Original
05/24/21	002	Revised
05/24/21	003	Revised
07/13/21	004	Revised
07/13/21	005	Revised
07/13/21	006	Revised
07/13/21	007	Revised
07/13/21	008	Revised
07/13/21	009	Revised
07/13/21	010	Revised
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07/13/21	095	Revised
07/13/21	096	Revised
07/13/21	097	Revised
07/13/21	098	Revised
07/13/21	099	Revised
07/13/21	100	Revised

Code Information:

Wall Signs:
5% sign allowed around 0-100 ft distance of sign from public right-of-way

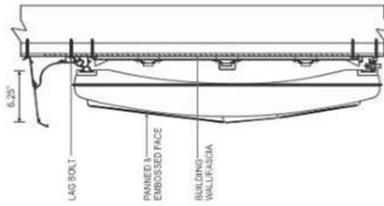
Sign Allowances	
Wall Signs Allowed:	79.6 sqft
Wall Signs Total:	72.0 sqft
Proposed Total:	72.0 sqft

Customer Approval: _____ Page: 3

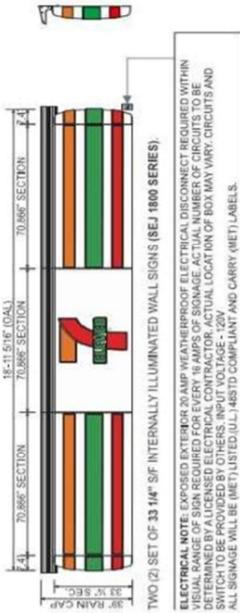
 MET

THESE SIGNS ARE THE PROPERTY OF HARBINGER AND WILL NOT BE USED OR REPRODUCED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF HARBINGER.

Date	No.	Description
05/23/11	01	ORIGINAL
05/23/11	02	UPDATE SIGN JUM
05/23/11	03	1/2" CUT CIRCUMFER
07/18/11	04	UPDATE #1022693 CUSTOMER REQUEST

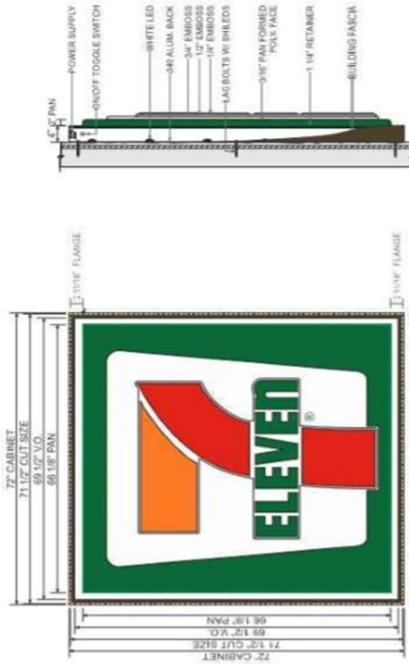


Side Mounting Detail - Sign A
NTS



Front Elevation - SE 1800 Series Wall Sign Sections - Sign A
Display Square Footage (Sections): 52.1

TWO (2) SET OF 33 1/4" SF INTERNALLY ILLUMINATED WALL SIGNS (BEJ 1800 SERIES).
ELECTRICAL WIRE, EXPOSED EXTERIOR TO ALUMINUM SURFACE OF ELECTRICAL DISCONNECT REQUIRED WITHIN VIEW RANGE OF SIGN REQUIRED FOR EVERY 10 AMPS OF SIGNAGE. ACTUAL WIRE SIZE AND CIRCUITS TO BE DETERMINED BY A LICENSED ELECTRICAL CONTRACTOR. ACTUAL LOCATION OF BOX MAY VARY. CIRCUITS AND SWITCH TO BE PROVIDED BY OTHERS. INPUT VOLTAGE - 120V.
ALL SIGNAGE WILL BE (MET) LISTED (UL) 485TD COMPLIANT AND CARRY (MET) LABELS.



Face & Side Detail - W77 Wall Sign Cabinet - Sign B
Display Square Footage(Cabinet): 36.0

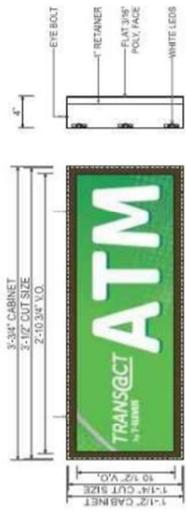
TWO (2) W77 INTERNALLY ILLUMINATED SF WALL SIGN CABINET.
3/16\"/>

VINYL SPECS: 3M 3635-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 G GREEN
PAINT SPECS: DURANODIC BRONZE

F. ELEVEN LOGO DIMENSIONS:
CAN: 16 1/2"
CAL: 13 7/16"

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Date	Rev.	Description
05/27/14	01	Original
06/26/14	01	Update size atm
07/17/14	01	add eye bolts
07/18/14	01	update art per customer request

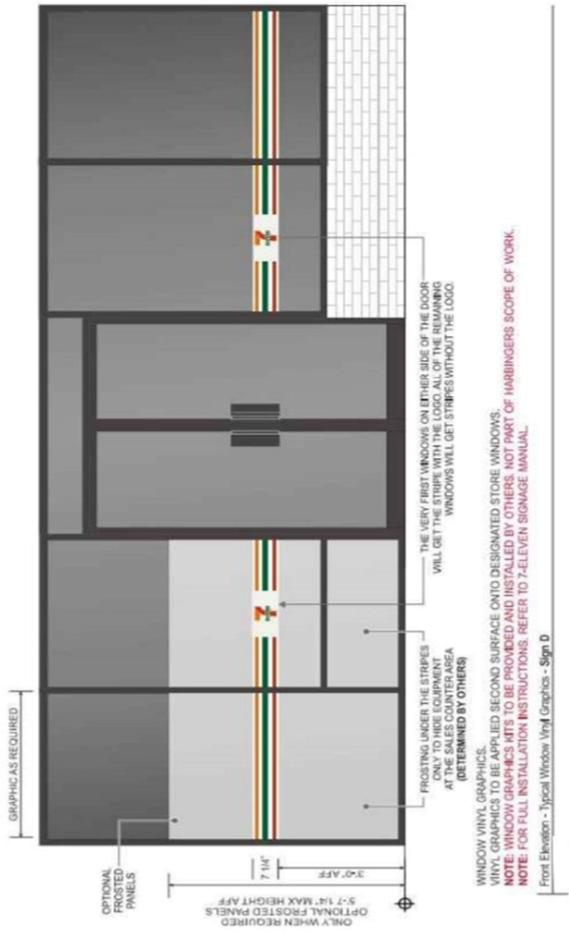


ONE (1) INTERIOR ATM INTERNALLY ILLUMINATED S/F WINDOW SIGN, 3/16" THICK FLAT WHITE POLYCARBONATE FACE W/ DIGITALLY PRINTED IMAGE/VINYL TO BE APPLIED FIRST SURFACE. CABINET TO BE INTERNALLY ILLUMINATED W/ GE WHITE LEDS, 4 DEEP ALUM. CABINET & 1" RETAINERS ALL PAINTED 313E DURANODIC BRONZE. SIGN TO HANG INSIDE THE STORE BEHIND GLASS AS INDICATED IN PHOTO OVERLAY WITH EYE BOLTS.

VINYL SPECS: DIGITALLY PRINTED IMAGE VINYL
PAINT SPECS: 313E DURANODIC BRONZE

NOTE: ATM SIGN TO BE FABRICATED & INSTALLED BY OTHERS

Front Elevation & Side Mounting Detail - ATM S/F Window Sign - Sign C
Display Square Footage (Cabinet) 3.2



WINDOW VINYL GRAPHICS.
VINYL GRAPHICS TO BE APPLIED SECOND SURFACE ONTO DESIGNATED STORE WINDOWS.
NOTE: WINDOW GRAPHICS MUST BE PROVIDED AND INSTALLED BY OTHERS. NOT PART OF HARBINGERS SCOPE OF WORK.
NOTE: FOR FULL INSTALLATION INSTRUCTIONS, REFER TO 7-ELEVEN SIGNAGE MANUAL.

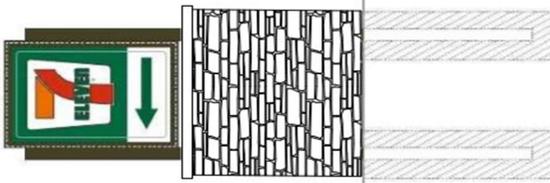
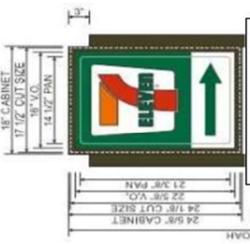
Front Elevation - Typical Window Vinyl Graphics - Sign D

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SIDE B

SIDE A

NOTE: STANDARD DIRECTIONAL ARROW COLOR HAS CHANGED



- 1\"/>

2\"/>

1\"/>

POWER SUPPLY

WHITE LEDS

1\"/>

PANNED 3/16\"/>

POLY / FACE

2\"/>

SQUARE TUBE POLES

2\"/>

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ONE (1) STANDARD DIRECTIONAL ILLUMINATED DIRECTIONAL SIGN CABINETS.
 ALL SIGN CABINETS TO BE MANUFACTURED BY HARBINGER. ALL SIGN CABINETS TO BE MANUFACTURED BY HARBINGER.
 FIRST SURFACE 1/8\"/>

7-ELEVEN VINYL SPECS: 3M 3638-44 ORANGE, 3M 3638-33 RED, 3M 3638-36 GREEN

NOTE: ARROWS TO ALWAYS BE FACING TOWARDS STORE.

Front Elevation & Side Detail - Standard D/F Directional Sign Cabinet - Sign Type F

Display Square Footage: 3.0 Each

Date	Rev.	Description
05/27/19	01	Issue for take
05/29/19	02	ADD directional
05/29/19	03	ADD OF Wash
05/29/19	04	UPDATE for customer request



3 MIL WHITE ACM
DIGITALLY PRINTED DIRECTLY
FIRST SURFACE W/ 3M 8820 OVERLAM
CAR WASH ACM

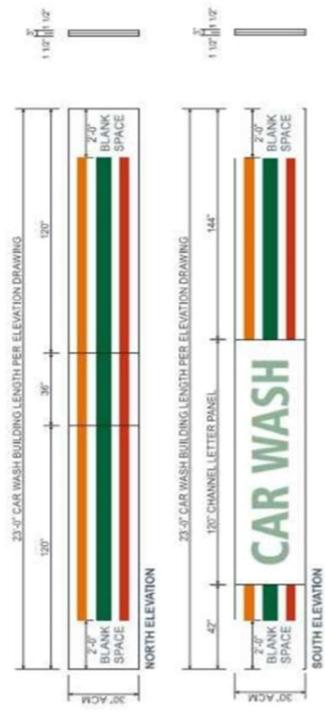


TWO (2) SETS OF 3MM THICK ACM PANELS FOR AN EXISTING CARWASH BUILDING FASCIA. PRE-CUT SETS OF 3MM THICK ACM PANELS WITH DIGITALLY PRINTED CAR WASH SURFACE. W/ 3M 8820 OVER LAMINATE PANELS TO BE ALIGNED FLUSH NEXT TO ONE ANOTHER & INSTALLED W/ NEOPRENE WASHERS & LAG SCREWS ONTO EXISTING CARWASH BUILDING FASCIA. 3" WIDE 1040 ALUMINUM CORNER BRACES PRE-FINISHED WHITE & MOUNTED TO CORNERS TO CONCEAL CORNER GAPS.

7-ELEVEN COLOR SPECS: PMS-021C ORANGE, PMS-485C RED, PMS-349C GREEN

NOTE: END SECTIONS ARE PRODUCED WITH 2-0" OF WHITE ON CORNERS.

Front View - Aluminum Composite Material (ACM) Panels Trayama Style ACM Panels - Sign Type J1

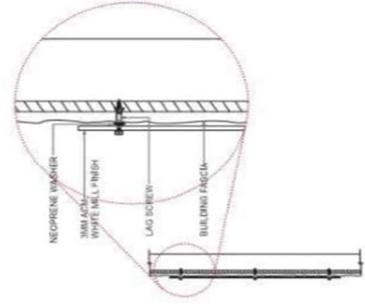


TWO (2) SETS OF 3MM THICK ACM PANELS FOR AN EXISTING CARWASH BUILDING FASCIA. PRE-CUT SETS OF 3MM THICK ACM PANELS WITH DIGITALLY PRINTED CAR WASH SURFACE. W/ 3M 8820 OVER LAMINATE PANELS TO BE ALIGNED FLUSH NEXT TO ONE ANOTHER & INSTALLED W/ NEOPRENE WASHERS & LAG SCREWS ONTO EXISTING CARWASH BUILDING FASCIA. 3" WIDE 1040 ALUMINUM CORNER BRACES PRE-FINISHED WHITE & MOUNTED TO CORNERS TO CONCEAL CORNER GAPS.

7-ELEVEN COLOR SPECS: PMS-021C ORANGE, PMS-485C RED, PMS-349C GREEN

NOTE: END SECTIONS ARE PRODUCED WITH 2-0" OF WHITE ON CORNERS.

Front View - Aluminum Composite Material (ACM) Panels Trayama Style ACM Panels - Sign Type J2



Side Detail View - Sign Type J2

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1888 West Broad, Jacksonville, FL 32217, 404.544.4441
2301 Ohio St., Irvine, TX 75227, 972.903.5400

www.harbingersign.com

CLIENT: 7-Eleven #FD02893
ADDRESS: SR50 E CARTER
WINTER GARDEN, FL 76106

CONTACT: DPRA: RCCC

SALES ASSOC.: Rick Dugane

PROJECT MGR.: Brian Helm

DESIGNER: Francisco Hernandez/Inchico

5VE7946-84 #1042693

F:\Customer\7-Eleven\5VE7946-84-EDR

Date: Rsk. Description

00/03/18 00:00:00

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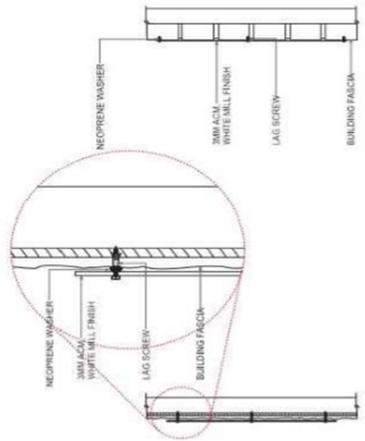
Customer Approval: _____ DATE

Page: 11



3 MIL WHITE ACM
3600-28 GREEN TRANS VINYL

CAR WASH ACM



Display Square Footage: 7.0

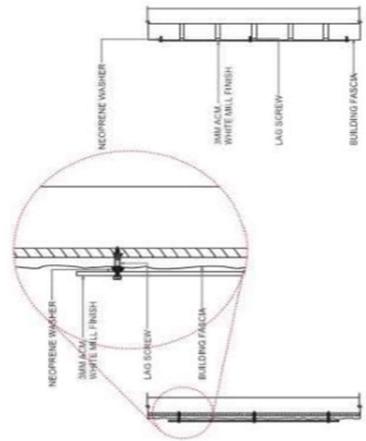


ONE (1) 3MM THICK ACM 'ENTRANCE' PANEL, WHITE ACM PANELS W/ REVERSE CUT GREEN OPAQUE VINYL APPLIED FIRST SURFACE. PANEL TO BE INSTALLED FLUSH ONTO BUILDING WALL.

VINYL COLOR SPECS: 3M 3600-28 GREEN

NOTE: MOUNTING METHOD TO CAR WASH BUILDING MAY CHANGE PER LOCATION

Front Elevation & Side Mounting Detail - Standard 1'-2'x6'-0" Entrance Panel - Sign J4



Display Square Footage: 7.0



ONE (1) 3MM THICK ACM 'EXIT' PANEL, WHITE ACM PANELS W/ REVERSE CUT GREEN OPAQUE VINYL APPLIED FIRST SURFACE. PANEL TO BE INSTALLED FLUSH ONTO BUILDING WALL.

VINYL COLOR SPECS: 3M 3600-28 GREEN

NOTE: MOUNTING METHOD TO CAR WASH BUILDING MAY CHANGE PER LOCATION

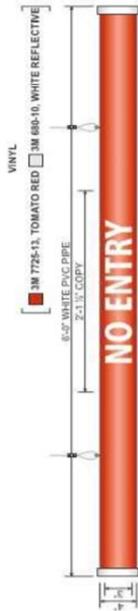
Front Elevation & Side Mounting Detail - Standard 1'-2'x6'-0" Exit Panel - Sign J4

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Date	Rev.	Description
02/03/17	001	Original
02/03/17	002	Revised
02/03/17	003	AM REVISION
02/03/17	004	FOR MARK
02/03/17	005	FOR CONSTRUCTION



CAR WASH ACM



MANUFACTURE & SHIP ONE (1) STANDARD 4" DIAMETER NO ENTRY BAR.
4" DIAMETER WHITE PVC PIPE TO HAVE 3M 7725-13, TOMATO RED OPAQUE VINYL GRAPHICS APPLIED FIRST SURFACE.
WHITE PVC END CAPS TO BE ON BOTH SIDES OF PIPE. PROVIDE TWO (2) EYE BOLTS, SETS OF 4-2" CABLE W/
SETS OF HARDWARE (TOP & BOTTOM OF CABLE) FOR ATTACHMENT. EXISTING CLEARANCE BARS TO BE REPLACED WITH THE NEW ONE.

Front Elevation - Standard 4"x72" Clearance Bar - Sign J5

Display Square Footage: 2.0



MANUFACTURE & SHIP ONE (1) STANDARD 4" DIAMETER CLEARANCE BAR.
4" DIAMETER WHITE PVC PIPE TO HAVE 3M 7725-13, TOMATO RED OPAQUE VINYL GRAPHICS APPLIED FIRST SURFACE.
TWO (2) WHITE PVC END CAPS TO BE ON BOTH SIDES OF PIPE. PROVIDE TWO (2) EYE BOLTS, SETS OF 4-2" CABLE W/
SETS OF HARDWARE (TOP & BOTTOM OF CABLE) FOR ATTACHMENT. EXISTING CLEARANCE BARS TO BE REPLACED WITH THE NEW ONE.

Front Elevation - Standard 4"x72" Clearance Bar - Sign J5

Display Square Footage: 2.0



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

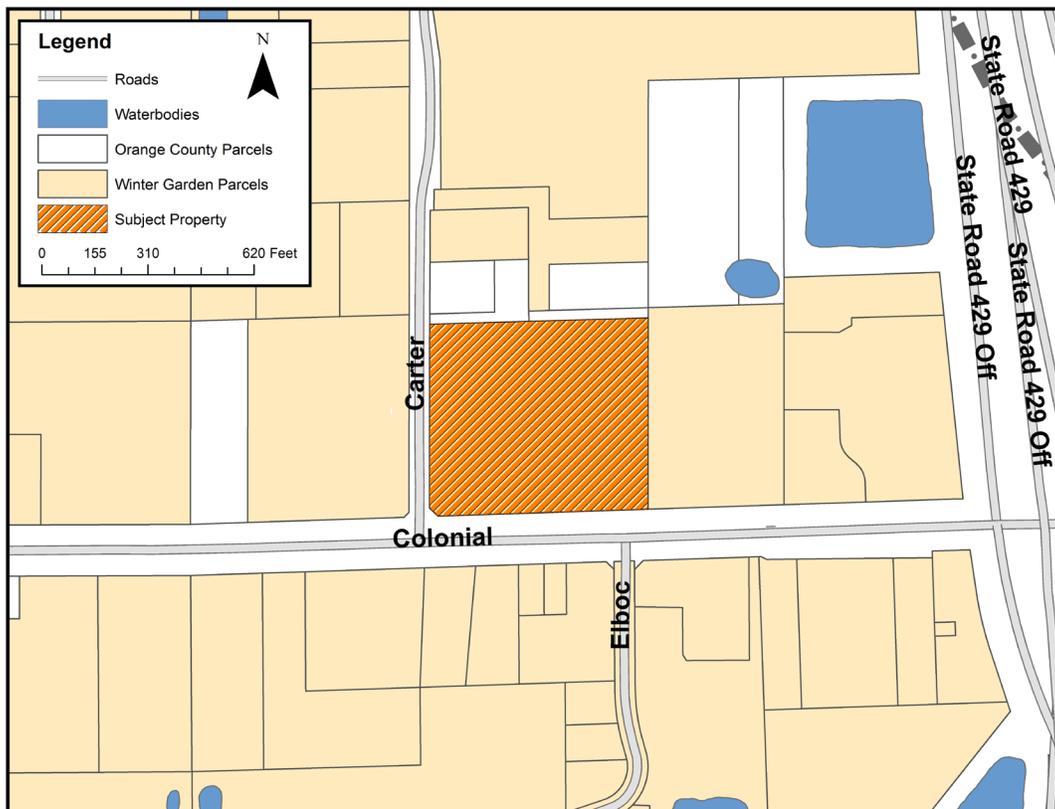
TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: NOVEMBER 22, 2019
SUBJECT: PCD AMENDMENT
12301 W Colonial Dr. (8.25 +/- ACRES)
PARCEL ID # 24-22-27-0000-00-016

APPLICANT: Peoples Plaza, LLC // Dale Parsons

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 12301 W Colonial Dr, located at the northeast corner of W Colonial Drive and Carter Road and is approximately 8.25 ± acres in size. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to amend the original PCD (Ord 00-78) by repealing and replacing the requirements with new regulations (Ord 20-04). The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation PCD (Planned Commercial Development) in the City of Winter Garden. The subject property is designated COM Commercial on the Future Land Use Map of the Comprehensive Plan.

The subject property is located within the City of Winter Garden's West State Road 50 Commercial Corridor overlay area.

EXISTING USE

The subject property has been developed with a number of commercial buildings over the years. It currently features a series of single-story warehouse buildings on the north side of the site with a combined +/- 20,000 square feet of building area, which have housed a variety of uses including automobile service, fabrication, and logistics. Three small single-story commercial buildings with a combined area of +/- 2,800 square feet are located on the northwest portion of the site, which have housed such uses as auto sales and maid services. There is also a +/- 1,000 square foot commercial building on the east side of the site that serves as the sales office for a bus dealership, with the dealership's inventory currently parked around the sales office. Recently, a two-story commercial building previously located in the southwest portion of the subject property was demolished because it had fallen into a state of severe disrepair. This building previously housed such uses as a sign company, pet grooming, and a Mexican restaurant. The former building site is currently vacant.

ADJACENT LAND USE AND ZONING

There are two properties located to the north of the subject property: one is a right-of-way parcel owned and maintained by Orange County, zoned C-3, and located in Unincorporated Orange County. The other property to the north contains a single-family residence, is zoned I-2, and is located within the City of Winter Garden's municipal limits. The property to the east of the subject property was most recently used as an RV dealership, but is currently pursuing redevelopment as a Church. This property is zoned C-2 and is located in the City. The property to the west contains the Main Street Mower shop as well as the Winter Garden Feed Store, is zoned C-2, and is located in the City. The property to the south is developed with a 3-story professional office building, is zoned C-2, and is located in the City.

PROPOSED USE

The applicant is requesting to amend the property's existing PCD zoning to permit the total redevelopment of the parcel. The original PCD (Ord 00-78), envisioned a series of sprawling mixed-use 5-story buildings that included multi-story parking garages. The proposed project is a less intense commercial development, more in-line with existing development along W State Road 50. The proposed project includes a gas station (7-11) with associated convenience store and car wash on the corner of W State Road 50 and Carter Road. Two hotels are proposed on the north side of the site. The first is proposed to be a five-story Hampton Inn, with 102 guest rooms, pool, drop-off porte-cochere, and other associated site development. The second is a yet-to-be determined hotel, with a maximum of five floors and 110 guest rooms. The uses on the southeast portion of the site have yet to be determined, but those that have been conceptually shown in the PCD plans include one drive-thru restaurant and a second commercial building that could house retail, a sit-down restaurant, professional or medical offices, or another commercial use. The development also includes a stormwater pond on the northern site boundary that provides a buffer for the few residential properties beyond.

PUBLIC FACILITY ANALYSIS

The applicant submitted a traffic impact analysis for the proposed development that was reviewed and accepted by the City; the study concluded that the adjacent roadways and intersections will continue to maintain a satisfactory level of service after development. The property will be served by two access driveways on W Colonial drive: one that is right in / right out access and the other with a right out / full access in via an existing median cut on W Colonial Dr. The property will also have two full access driveways on Carter Road. As a condition of approval for the proposed development, Carter Road is required to be improved to include southbound left and right turn lanes, curbing, drainage, etc. The cost of these improvements will be paid for in part by the developer.

Water, sewer, and reclaimed utilities by the City of Winter Garden will be required for any new development of the property. At such time that the property is developed, all necessary utility lines will be extended and connections made, all extension and connection costs shall be borne by the property owner.

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

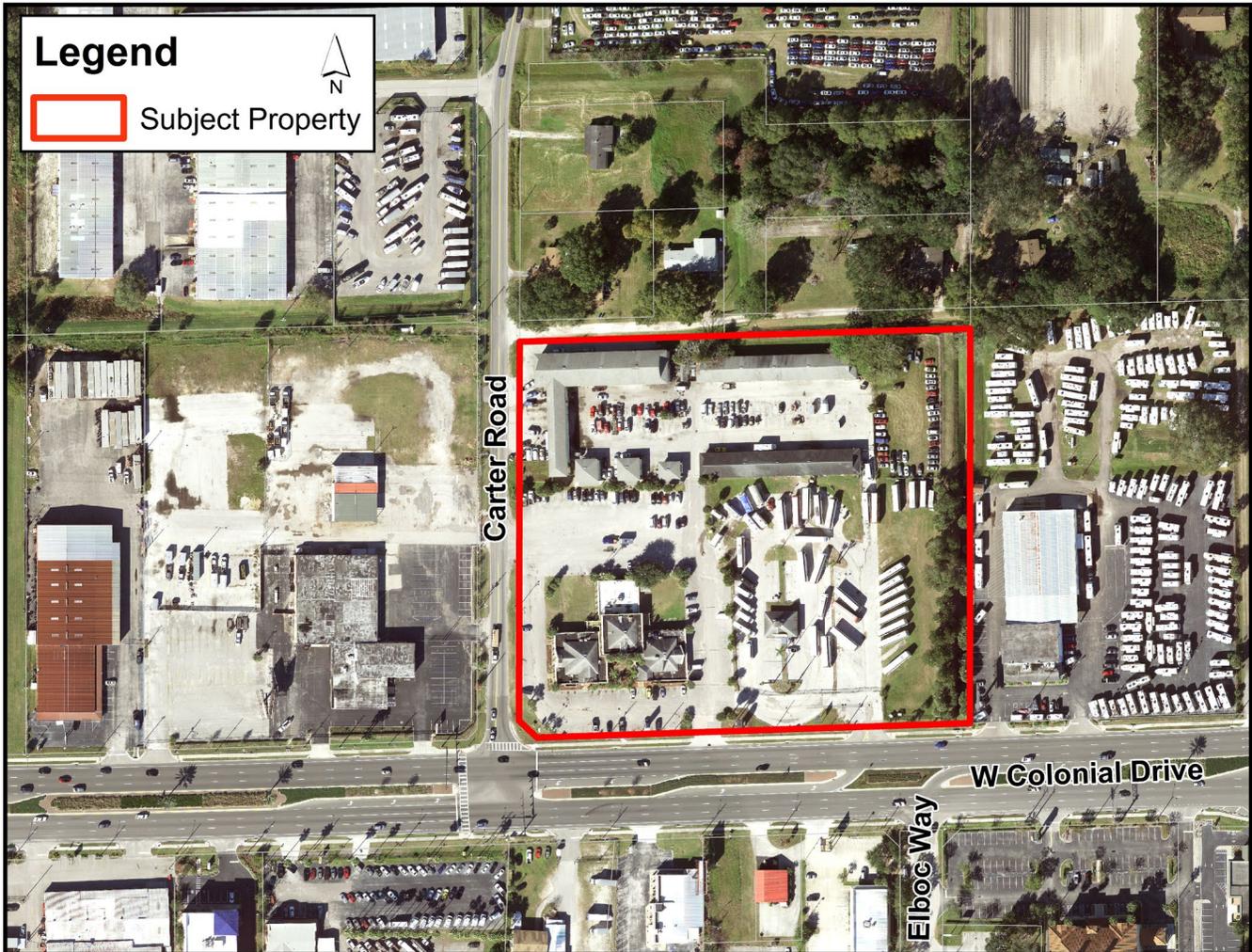
All concurrency requirements identified by the City of Winter Garden Code of Ordinances and Comprehensive Plan will be met by the proposed development.

SUMMARY

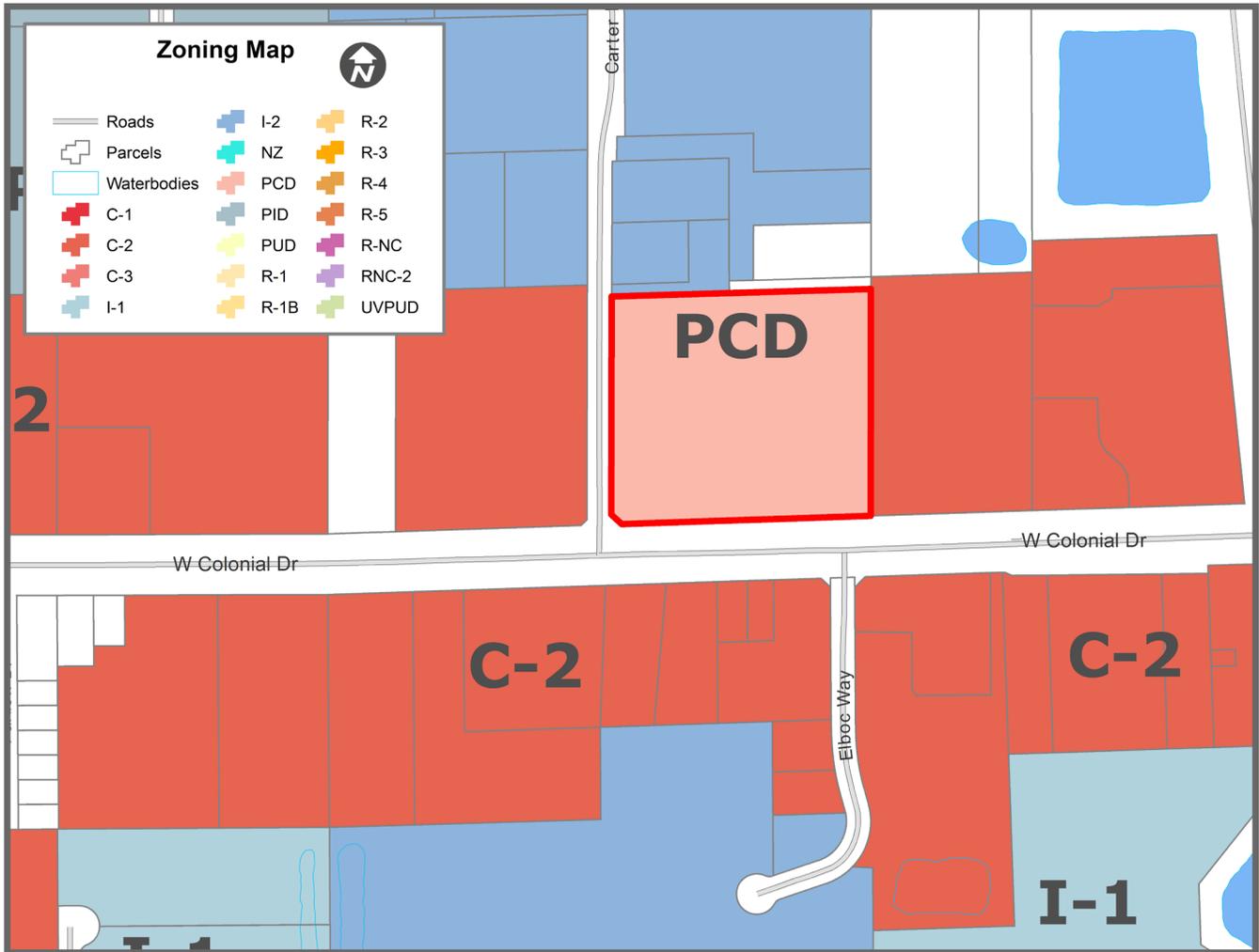
The proposed development is a reasonable use of the land. The proposed development is consistent with the variety of commercial uses that can be found along W State Road 50, including retail, restaurant, drive-thru restaurant, and gas service. The requirements outlined in the Peoples Plaza Design Standards are consistent with the West State Road 50 design guidelines and architectural requirements. Furthermore, the Peoples Plaza Design Standards are intended to ensure the development of the property will be of a high quality, and the uses and design of the separate parcels will be harmonious and mutually beneficial. The project is not anticipated to generate a significant increase in traffic volume beyond that which is currently generated by other developments in the area. Furthermore, the development will feature hotel uses, which have been identified by Winter Garden residents and visitors as a need in the area.

The proposed PCD amendment is consistent with the City's Comprehensive Plan and the City of Winter Garden's Code of Ordinances. Staff recommends approval of the proposed Ordinance to amend the property's PCD zoning by repealing it and replacing it with the conditions and regulations outlined in Ordinance 20-04.

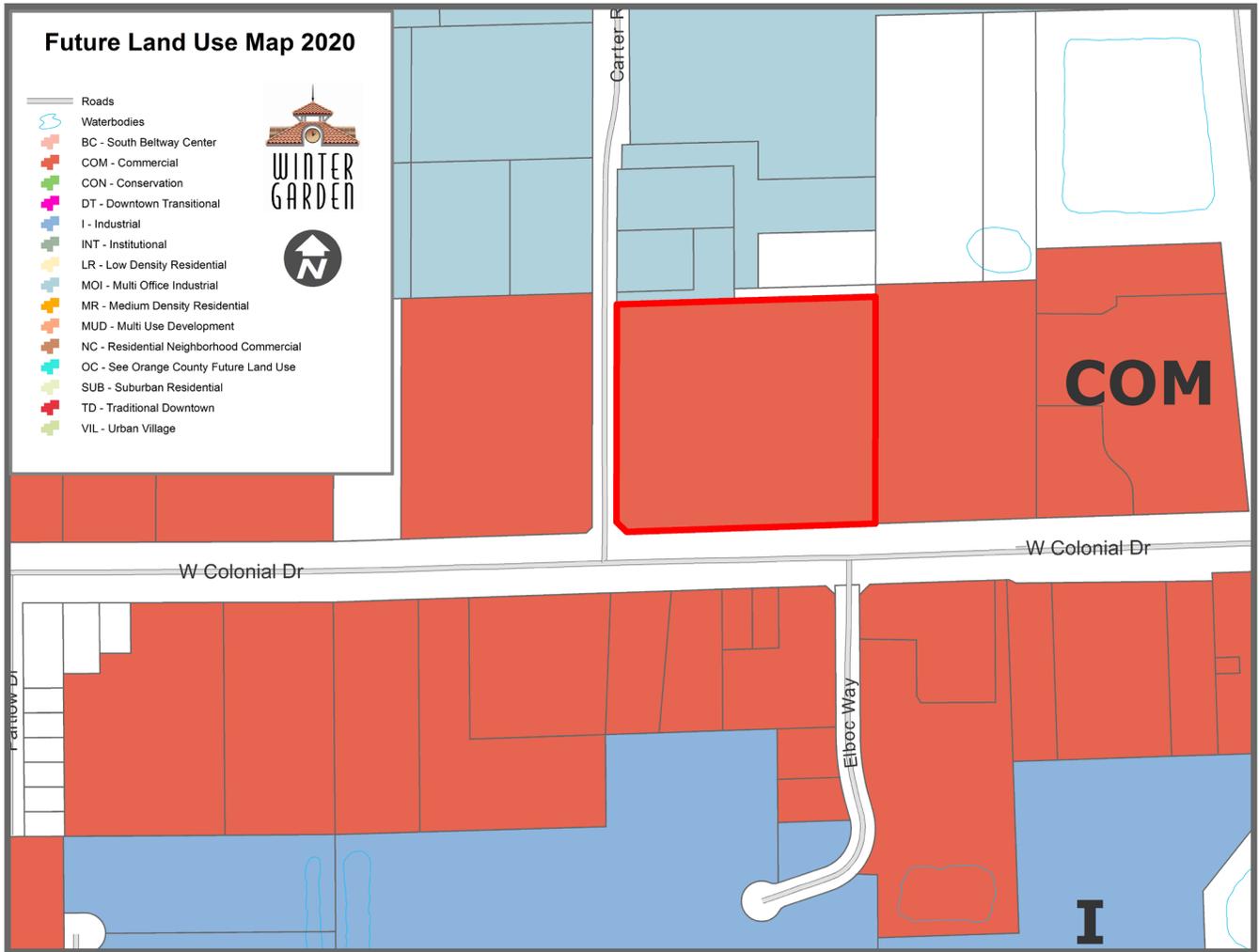
AERIAL PHOTO
12301 W Colonial Dr.



ZONING MAP
12301 W Colonial Dr.



FUTURE LAND USE MAP
12301 W Colonial Dr.



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: January 2, 2020 **Meeting Date:** January 9, 2020

Subject: 541 Winter Garden Vineland Road
Sonata West MOB II/NHCC PCD Rezoning & FLU Amendment
Ordinances 20-07 & 20-08
PARCEL ID # 35-22-27-0000-00-042

Issue: At 541 Winter Garden Vineland Road, the applicant is requesting to amend the property's Future Land Use Designation to Commercial and rezone the property to PCD (Planned Commercial Development).

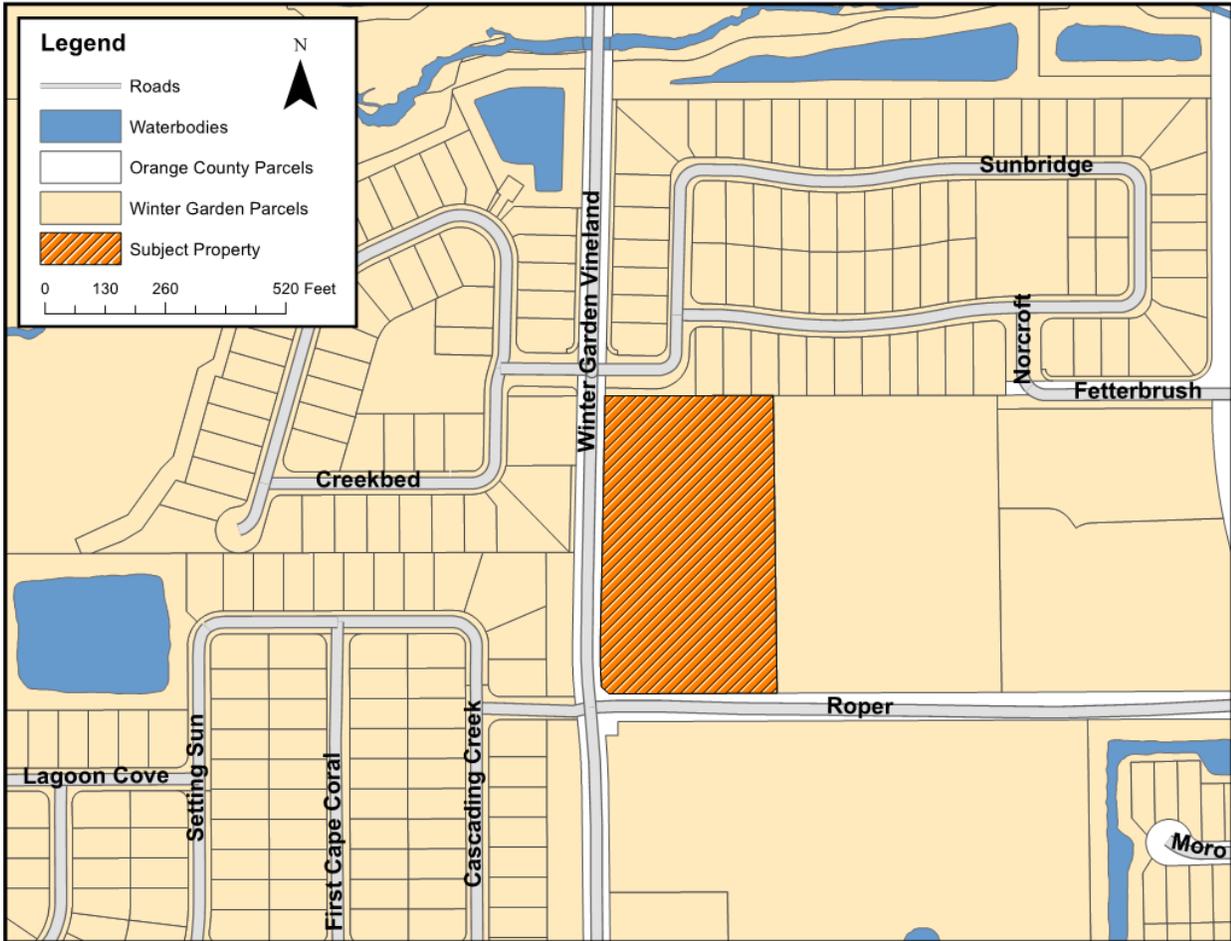
Discussion: The applicant is requesting to amend the City's Comprehensive Plan to give the 5.51 ± acre property a FLU designation of Commercial and rezone to PCD. The project includes two medical office buildings totaling 45,000 square feet and a 10,477 square foot church. Additional improvements include parking, landscaping, and stormwater ponds (See Staff Report). The proposed FLU amendment and PCD rezoning is consistent with the City's Comprehensive Plan and the City's Code of Ordinances.

Recommended Action: Staff recommends approval of Ordinances 20-07 and 20-08 with the second reading and adoption hearing anticipated to be on January 23, 2020.

Attachment(s)/References:
Location Map
Staff Report
Ordinance 20-07 and 20-08

LOCATION MAP

FLU & PCD Rezoning
541 Winter Garden Vineland Road



ORDINANCE 20-07

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE FUTURE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 5.51 ± ACRES LOCATED AT 541 WINTER GARDEN VINELAND ROAD, WEST OF DANIELS ROAD, EAST OF WINTER GARDEN VINELAND ROAD, SOUTH OF SUNBRIDGE CIRCLE AND NORTH OF ROPER ROAD FROM LOW DENSITY RESIDENTIAL TO COMMERCIAL; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, on the 13th of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24th of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden;

WHEREAS, the owner of that certain real property generally described as approximately 5.51 ± acres located at 541 Winter Garden Vineland Road, west of Daniels Road, east of Winter Garden Vineland Road, south of Sunbridge Circle, and north of Roper Road, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from Low Density Residential (LR) to Commercial (COM); and

WHEREAS, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by re-designating the aforesaid Property from Low Density Residential to Commercial as set forth in ATTACHMENT "B".

SECTION II. *Effective Date.* This Ordinance shall become effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order determining that the

adopted Ordinance is in compliance.

SECTION III. Severability. Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2019.

SECOND READING AND PUBLIC HEARING: _____, 2019.

ADOPTED this _____ day of _____, 2019, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

ATTACHMENT "A"
LEGAL DESCRIPTION

PARCEL ID#: 35-22-27-0000-00-042

DESCRIPTION:

PARCEL 1:

A portion of the North 1/2 of the Northeast 1/4 of the Northwest 1/4 less road right-of-ways and the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 lying East of county Road 535, all in Section 35, Township 22 South, Range 27 East. Orange County, Florida, being more particularly described as follows:

Commence at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East: thence run South 89°56'13" West, along the North line of said Northwest 1/4 for a distance of 523.70 feet to the Point of Beginning; thence run South 00°42'50" East, along a line lying 523.67 feet West of and parallel to the East line of said Northwest 1/4 for a distance of 642.42 feet to a point on the North right-of-way line of Daniels Road: thence run South 89°51'50" West, along said North right-of-way line for a distance of 861.48 feet to a point on the East right-of-way line of Winter Garden Vineland Road, (County Road 535) said point also being a point on a curve concave Easterly, having a radius of 963.30 feet, a central angle of 06°24'39", a chord bearing of North 02°11'12" West and a chord length of 107.76 feet: thence along the arc of said curve an arc length of 107.82 feet to the point of tangency; thence run North 0°01'07" East, for a distance of 199.09 feet to a point on the North line of the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of aforesaid Section 35; thence run North 89°54'02" East, along said North line for a distance of 29.25 feet to a point on the West line of the Northeast 1/4 of the Northwest 1/4 of said Section 35; thence run North 00°34'34" West, along said West line for a distance of 336.73 feet to the Northwest corner of said Northeast 1/4 of the Northwest 1/4; thence run North 89°56'13" East along aforementioned North line of the Northwest 1/4 for a distance of 828.18 feet to the Point of Beginning.

The East 225.00 feet of the following described parcel of land as described in that certain Corrective Quit Claim Deed recorded in Official Records Book 9954, Page 4460, Public Records of Orange County, Florida.

Less and Except that portion conveyed to the City of Winter Garden, a Florida municipality, by virtue of Special Warranty Deed recorded in Official Records Book 8102, Page 1781, Public Records of Orange County, Florida.

Also Less and Except:

The East 259.50 feet of the following described parcel of land:

A portion of the North 1/2 of the Northeast 1/4 of the Northwest 1/4 less road right-of-ways and the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 lying East of county Road

535, all in Section 35, Township 22 South, Range 27 East. Orange County, Florida, being more particularly described as follows:

Commence at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East: thence run South 89°56'13" West, along the North line of said Northwest 1/4 for a distance of 523.70 feet to the Point of Beginning; thence run South 00°42'50" East, along a line lying 523.67 feet West of and parallel to the East line of said Northwest 1/4 for a distance of 642.42 feet to a point on the North right-of-way line of Daniels Road: thence run South 89°51'50" West, along said North right-of-way line for a distance of 861.48 feet to a point on the East right-of-way line of Winter Garden Vineland Road, (County Road 535) said point also being a point on a curve concave Easterly, having a radius of 963.30 feet, a central angle of 06°24'39", a chord bearing of North 02°11'12" West and a chord length of 107.76 feet: thence along the arc of said curve an arc length of 107.82 feet to the point of tangency; thence run North 0°01'07" East, for a distance of 199.09 feet to a point on the North line of the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of aforesaid Section 35; thence run North 89°54'02" East, along said North line for a distance of 29.25 feet to a point on the West line of the Northeast 1/4 of the Northwest 1/4 of said Section 35; thence run North 00°34'34" West, along said West line for a distance of 336.73 feet to the Northwest corner of said Northeast 1/4 of the Northwest 1/4; thence run North 89°56'13" East along aforementioned North line of the Northwest 1/4 for a distance of 828.18 feet to the Point of Beginning.

Also Less and Except:

A parcel of land being a portion of the North 1/2 of the Northeast 1/4 of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

COMMENCE at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida; thence South 89°52'01" West, along the North line of said Northwest 1/4, a distance of 783.21 feet to a point on the East line of a parcel of land described in that certain Corrective Quit Claim Deed recorded in Official Records Book 9954, Page 4460, Public Records of Orange County, Florida and POINT OF BEGINNING; thence South 00°48'20" East, along said East line, a distance of 642.78 feet to the North right of way line of Roper Road according to that certain Warranty Deed recorded in Official Records Book 6852, Page 4525, Public Records of Orange County, Florida; thence South 89°47'18" West, along said right of way line, a distance of 225.01 feet to a point on the West line of the East 225.00 feet of said parcel of land described in Corrective Quit Claim Deed; thence North 00°48'20" West, along said West line, a distance of 643.04 feet to the North line of the Northwest 1/4 of said Section 35; thence North 89°52'01" East, along said North line, a distance of 225.01 feet to the POINT OF BEGINNING.

PARCEL 2:

The North 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida, lying East of the East right-of-way line of State Road 535.

Surveyor's comment:

The two "Also Less and Except" parcels described above under Parcel 1 is now one and the same as Lot 3 of SERENADES BY SONATA, according to the plat thereof as recorded in Plat Book 93, Page 52, Public Records of Orange County, Florida.

Containing 5.51 acres, more or less.

ATTACHMENT "B"

FUTURE LAND USE MAP

541 Winter Garden Vineland Road



ORDINANCE 20-08

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 5.51 ± ACRES LOCATED AT 541 WINTER GARDEN VINELAND ROAD, WEST OF DANIELS ROAD, EAST OF WINTER GARDEN VINELAND ROAD, SOUTH OF SUNBRIDGE CIRCLE, AND NORTH OF ROPER ROAD, FROM R-1 (RESIDENTIAL DISTRICT) TO PCD (PLANNED COMMERCIAL DEVELOPMENT); PROVIDING FOR CERTAIN PCD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE SONATA WEST MOB II / NHCC PCD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner(s) of that certain real property generally described as approximately 5.51 ± acres located at 541 Winter Garden Vineland Road, west of Daniels Road, east of Winter Garden Vineland Road, south of Sunbridge Circle, and north of Roper Road in Winter Garden, Florida, being more particularly described on Exhibit “A” attached hereto and incorporated herein by this reference (the “Property”), desire to rezone their property from R-1 (Residential District) to PCD (Planned Commercial Development), and

WHEREAS, the Planning and Zoning Board has considered this Ordinance and made a recommendation to the City Commission concerning its adoption; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the City of Winter Garden Code of Ordinances, and

WHEREAS, the City Commission finds based on competent substantial evidence in the record that the rezoning approved by this Ordinance meets all applicable criteria for rezoning under the Comprehensive Plan and the Code of Ordinances, therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. The above “Whereas” clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of real property legally described on Exhibit “A,” is hereby rezoned from (R-1) Residential District to (PCD) Planned Commercial Development in the City of Winter Garden, Florida subject to the following conditions provisions and restrictions:

1. **Applicability/Conflict.** All development of or within the Property shall

comply with and is subject to the requirements set forth in this Ordinance. Unless specifically identified in this Ordinance, all development on the Property identified in Exhibit "A" must comply with the general development standards of the C-3 (Professional Office District) zoning district. Notwithstanding anything to the contrary herein, all development of or within the Property shall comply with and is subject to all requirements in the City Code, and ordinances, resolutions, and policies of the City. To the extent of any express conflicts between the express provisions of this Ordinance pertaining to permitted uses, special exception uses, prohibited uses, architectural design criteria, and other development criteria and the City Code and ordinances, resolutions, and policies of the City, the requirements set forth herein shall control to the extent of the conflict.

2. **Intent.** This Ordinance is intended to provide flexibility in the development of the Property in order to provide for proper growth and to guide development and construction in an integrated approach in order to promote a dynamic commercial center for commerce and social activity while also providing an aesthetically pleasing and pedestrian oriented development. Due to constraints in traffic at the proposed location, permitted and special exception uses will be established to maintain a safe, well developed project that enhances and supports the City and its citizens without causing distress on the local businesses and roads.
3. **Development Plans.** The Property shall be developed in substantial conformance with the Preliminary Development Plans attached hereto as Exhibit "B". Should any conflict exist between this Ordinance and the Preliminary Development Plans attached hereto as Exhibit "B", then the standards and conditions established by this Ordinance shall control to the extent of the conflict.
4. **Permitted Uses-** The permitted uses allowed on the Property are as follows:
 1. Professional and business offices.
 2. Nursing homes.
 3. Studios.
 4. Public uses.
 5. Churches.
5. **Special Exception Uses-** The special exception uses for this Property are as follows:
 1. Laboratories and clinics.
 2. Other uses that the Planning and Zoning Board determines are of the type and intensity of activity similar to and compatible with the

permitted uses.

- 6. Prohibited Uses-** Any use not specifically set forth in this Ordinance as a Permitted or Special Exception Use is prohibited. Without limiting the foregoing, the following are expressly prohibited:
1. Residential uses.
 2. Manufacturing and warehousing activities, freight or cargo transportation terminals, truck parking facilities, and other activities of similar nature.
 3. Industrial activities.
 4. Gasoline stations.
 5. All uses prohibited by Sec. 118-858(5), City of Winter Garden Code of Ordinances.

SECTION 2: *Staff Conditions.*

1. This development is required to pay its proportionate fair share of the cost of the traffic light and supporting infrastructure that will be installed at the corner of Roper Road and Winter Garden Vineland Road. The appropriate amount for the fair share payment will be determined through the studies submitted with the proposed Site Plan for the Property. The fair share payment shall be paid to the City prior to permits being issued for the project. The City may require the Owner's and Developer's execution of a fair share agreement concerning such matters.
2. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all water and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.
3. An engineered site plan meeting all City Code requirements shall be submitted for review and approval by City Staff and City Commission prior to commencement of any construction. Plans for the MOB and Church will require separate submittals unless they are to be reviewed and constructed at the same time.
4. All dumpsters shall be enclosed and shall provide 12' minimum inside clearance (each way inside of bollards), and access by solid waste vehicles. Coordinate additional requirements with Public Services Department, Solid Waste Division.
5. All irrigation on the site shall be designed to be supplied by reclaimed water as shown.
6. This site was previously within a landlocked drainage basin although development of the previous phases of Sonata has provided a

positive outfall thru the Bradford Creek development. Final stormwater calculations shall show that no adverse impacts shall occur on-site or downstream of this development. Depending upon the stormwater design, maintenance agreements with the previous Sonata developments may be required for shared maintenance of facilities.

7. Requirements for turn lanes, etc. on Winter Garden/Vineland Road will be reviewed at the final construction plan phase, since the traffic study has not been finalized.
8. Autoturn exhibits have been provided and provisions for drop curb incorporated on the plans. This will be reviewed at the final construction plan phase and it is noted that this will be a private lift station that the City will not maintain.
9. Permits or modification from SJRWMD (stormwater) and FDEP (water, wastewater and NPDES) are required prior to issuance of site or building permits.
10. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
11. All work shall conform to City of Winter Garden standards and specifications.
12. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
13. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
14. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others, including by way of any development order or permit issued. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City shall not be responsible and any corrective measures required will be the responsibility of the Owner/Developer. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the

City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

15. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of **2.25%** of the cost of all site improvements shall be paid prior to issuance of the building permit.

SECTION 3: General Requirements.

- a. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- b. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- c. **Expiration/Extension-** Expiration of this PCD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION 4: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 5: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 6: Effective Date. This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2019.

SECOND READING AND PUBLIC HEARING: _____, 2019.

ADOPTED this _____ day of _____, 2019, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

Exhibit "A"

Parcel ID: 35-22-27-0000-00-042

Legal Description:

PARCEL 1:

A portion of the North 1/2 of the Northeast 1/4 of the Northwest 1/4 less road right-of-ways and the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 lying East of county Road 535, all in Section 35, Township 22 South, Range 27 East. Orange County, Florida, being more particularly described as follows:

Commence at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East: thence run South 89°56'13" West, along the North line of said Northwest 1/4 for a distance of 523.70 feet to the Point of Beginning; thence run South 00°42'50" East, along a line lying 523.67 feet West of and parallel to the East line of said Northwest 1/4 for a distance of 642.42 feet to a point on the North right-of-way line of Daniels Road: thence run South 89°51'50" West, along said North right-of-way line for a distance of 861.48 feet to a point on the East right-of-way line of Winter Garden Vineland Road, (County Road 535) said point also being a point on a curve concave Easterly, having a radius of 963.30 feet, a central angle of 06°24'39", a chord bearing of North 02°11'12" West and a chord length of 107.76 feet: thence along the arc of said curve an arc length of 107.82 feet to the point of tangency; thence run North 0°01'07" East, for a distance of 199.09 feet to a point on the North line of the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of aforesaid Section 35; thence run North 89°54'02" East, along said North line for a distance of 29.25 feet to a point on the West line of the Northeast 1/4 of the Northwest 1/4 of said Section 35; thence run North 00°34'34" West, along said West line for a distance of 336.73 feet to the Northwest corner of said Northeast 1/4 of the Northwest 1/4; thence run North 89°56'13" East along aforementioned North line of the Northwest 1/4 for a distance of 828.18 feet to the Point of Beginning.

The East 225.00 feet of the following described parcel of land as described in that certain Corrective Quit Claim Deed recorded in Official Records Book 9954, Page 4460, Public Records of Orange County, Florida.

Less and Except that portion conveyed to the City of Winter Garden, a Florida municipality, by virtue of Special Warranty Deed recorded in Official Records Book 8102, Page 1781, Public Records of Orange County, Florida.

Also Less and Except:

The East 259.50 feet of the following described parcel of land:

A portion of the North 1/2 of the Northeast 1/4 of the Northwest 1/4 less road right-of-ways and the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 lying East of county Road

535, all in Section 35, Township 22 South, Range 27 East. Orange County, Florida, being more particularly described as follows:

Commence at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East: thence run South 89°56'13" West, along the North line of said Northwest 1/4 for a distance of 523.70 feet to the Point of Beginning; thence run South 00°42'50" East, along a line lying 523.67 feet West of and parallel to the East line of said Northwest 1/4 for a distance of 642.42 feet to a point on the North right-of-way line of Daniels Road: thence run South 89°51'50" West, along said North right-of-way line for a distance of 861.48 feet to a point on the East right-of-way line of Winter Garden Vineland Road, (County Road 535) said point also being a point on a curve concave Easterly, having a radius of 963.30 feet, a central angle of 06°24'39", a chord bearing of North 02°11'12" West and a chord length of 107.76 feet: thence along the arc of said curve an arc length of 107.82 feet to the point of tangency; thence run North 0°01'07" East, for a distance of 199.09 feet to a point on the North line of the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of aforesaid Section 35; thence run North 89°54'02" East, along said North line for a distance of 29.25 feet to a point on the West line of the Northeast 1/4 of the Northwest 1/4 of said Section 35; thence run North 00°34'34" West, along said West line for a distance of 336.73 feet to the Northwest corner of said Northeast 1/4 of the Northwest 1/4; thence run North 89°56'13" East along aforementioned North line of the Northwest 1/4 for a distance of 828.18 feet to the Point of Beginning.

Also Less and Except:

A parcel of land being a portion of the North 1/2 of the Northeast 1/4 of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

COMMENCE at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida; thence South 89°52'01" West, along the North line of said Northwest 1/4, a distance of 783.21 feet to a point on the East line of a parcel of land described in that certain Corrective Quit Claim Deed recorded in Official Records Book 9954, Page 4460, Public Records of Orange County, Florida and POINT OF BEGINNING; thence South 00°48'20" East, along said East line, a distance of 642.78 feet to the North right of way line of Roper Road according to that certain Warranty Deed recorded in Official Records Book 6852, Page 4525, Public Records of Orange County, Florida; thence South 89°47'18" West, along said right of way line, a distance of 225.01 feet to a point on the West line of the East 225.00 feet of said parcel of land described in Corrective Quit Claim Deed; thence North 00°48'20" West, along said West line, a distance of 643.04 feet to the North line of the Northwest 1/4 of said Section 35; thence North 89°52'01" East, along said North line, a distance of 225.01 feet to the POINT OF BEGINNING.

PARCEL 2:

The North 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida, lying East of the East right-of-way line of State Road 535.

Surveyor's comment:

The two "Also Less and Except" parcels described above under Parcel 1 is now one and the same as Lot 3 of SERENADES BY SONATA, according to the plat thereof as recorded in Plat Book 93, Page 52, Public Records of Orange County, Florida.

Containing 5.51 acres, more or less.

Exhibit "B"

COVER PAGE

SONATA WEST MOB II/NHCC PRELIMINARY DEVELOPMENT PLANS

(8 PAGES - ATTACHED)

SONATA WEST MOB II / NHCC PCD WINTER GARDEN, FLORIDA

APRIL 2019

SHEET INDEX:

C000	COVER SHEET
C001	DEVELOPMENT SITE & UTILITY PLAN
L-1	MASTER LANDSCAPE PLAN
L-2	LANDSCAPE NOTES & DETAILS
A4.1	EXTERIOR ELEVATIONS
AS1	DUMPSTER ENCLOSURE DETAILS
A2	CHURCH WEST & SOUTH ELEVATIONS
A3	CHURCH EAST & NORTH ELEVATIONS

PROPERTY DESCRIPTION:

PARCEL 1:

A portion of the North 1/2 of the Northeast 1/4 of the Northwest 1/4 less road right-of-ways and the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 lying East of county Road 535, all in Section 35, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

Commence at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East; thence run South 89°56'13" West, along the North line of said Northwest 1/4 for a distance of 523.70 feet to the Point of Beginning; thence run South 00°42'50" East, along a line lying 523.67 feet West of and parallel to the East line of said Northwest 1/4 for a distance of 642.42 feet to a point on the North right-of-way line of Daniels Road; thence run South 89°51'50" West, along said North right-of-way line for a distance of 861.48 feet to a point on the East right-of-way line of Winter Garden Vineland Road, (County Road 535) said point also being a point on a curve concave Easterly, having a radius of 963.30 feet, a central angle of 06°24'39", a chord bearing of North 02°11'12" West and a chord length of 107.76 feet; thence along the arc of said curve an arc length of 107.82 feet to the point of tangency; thence run North 0°01'07" East, for a distance of 199.09 feet to a point on the North line of the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of aforesaid Section 35; thence run North 89°54'02" East, along said North line for a distance of 29.25 feet to a point on the West line of the Northeast 1/4 of the Northwest 1/4 of said Section 35; thence run North 00°34'34" West, along said West line for a distance of 336.73 feet to the Northwest corner of said Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4; thence run North 89°56'13" East along aforementioned North line of the Northwest 1/4 for a distance of 828.18 feet to the Point of Beginning.

The East 225.00 feet of the following described parcel of land as described in that certain Corrective Quit Claim Deed recorded in Official Records Book 9954, Page 4460, Public Records of Orange County, Florida.

Less and Except that portion conveyed to the City of Winter Garden, a Florida municipality, by virtue of Special Warranty Deed recorded in Official Records Book 8102, Page 1781, Public Records of Orange County, Florida.

Also Less and Except:

The East 259.50 feet of the following described parcel of land:

A portion of the North 1/2 of the Northeast 1/4 of the Northwest 1/4 less road right-of-ways and the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 lying East of county Road 535, all in Section 35, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

Commence at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East; thence run South 89°56'13" West, along the North line of said Northwest 1/4 for a distance of 523.70 feet to the Point of Beginning; thence run South 00°42'50" East, along a line lying 523.67 feet West of and parallel to the East line of said Northwest 1/4 for a distance of 642.42 feet to a point on the North right-of-way line of Daniels Road; thence run South 89°51'50" West, along said North right-of-way line for a distance of 861.48 feet to a point on the East right-of-way line of Winter Garden Vineland Road, (County Road 535) said point also being a point on a curve concave Easterly, having a radius of 963.30 feet, a central angle of 06°24'39", a chord bearing of North 02°11'12" West and a chord length of 107.76 feet; thence along the arc of said curve an arc length of 107.82 feet to the point of tangency; thence run North 0°01'07" East, for a distance of 199.09 feet to a point on the North line of the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of aforesaid Section 35; thence run North 89°54'02" East, along said North line for a distance of 29.25 feet to a point on the West line of the Northeast 1/4 of the Northwest 1/4 of said Section 35; thence run North 00°34'34" West, along said West line for a distance of 336.73 feet to the Northwest corner of said Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4; thence run North 89°56'13" East along aforementioned North line of the Northwest 1/4 for a distance of 828.18 feet to the Point of Beginning.

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COMMENCE at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida; thence South 89°52'01" West, along the North line of said Northwest 1/4, a distance of 783.21 feet to a point on the East line of a parcel of land described in that certain Corrective Quit Claim Deed recorded in Official Records Book 9954, Page 4460, Public Records of Orange County, Florida and POINT OF BEGINNING; thence South 00°48'20" East, along said East line, a distance of 642.78 feet to the North right of way line of Roper Road according to that certain Warranty Deed recorded in Official Records Book 6852, Page 4525, Public Records of Orange County, Florida; thence South 89°47'18" West, along said right of way line, a distance of 225.01 feet to a point on the West line of the East 225.00 feet of said parcel of land described in Corrective Quit Claim Deed; thence North 00°48'20" West, along said West line, a distance of 643.04 feet to the North line of the Northwest 1/4 of said Section 35; thence North 89°52'01" East, along said North line, a distance of 225.01 feet to the POINT OF BEGINNING.

PARCEL 2:

The North 1/2 of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida, lying East of the East right-of-way line of State Road 535.

Surveyor's comment:

The two "Also Less and Except" parcels described above under Parcel 1 is now one and the same as Lot 3 of SERENADES BY SONATA, according to the plat thereof as recorded in Plat Book 93, Page 52, Public Records of Orange County, Florida.

ALLOWABLE USES:

PRIMARY RESIDENTIAL USES:	ASSISTED LIVING FACILITY, INDEPENDENT LIVING FACILITY, MEMORY CARE/NURSING HOME
NON-RESIDENTIAL USES:	MEDICAL OFFICE, PROFESSIONAL OFFICE, CHURCH, HOSPICE

FLOOD ZONE:

SUBJECT PROPERTY LIES WITHIN ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP, COMMUNITY-PANEL NUMBER 12095C0215F, DATED SEPTEMBER 25, 2009.

PARCEL No.: 35-22-27-0000-00-042

DRAINAGE STATEMENT:

- ON-SITE STORMWATER MANAGEMENT FACILITIES WILL BE PROVIDED TO MEET ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD) AND CITY OF WINTER GARDEN REQUIREMENTS.
- STORMWATER MANAGEMENT SYSTEM WILL COMPLY WITH SJRWMD LAKE APOPKA BASIN CRITERIA. WEKIVA RECHARGE PROTECTION BASIN RECHARGE STANDARD DOES NOT APPLY AS ON-SITE SOILS ARE NOT NRCS TYPE "A" SOILS PER THE SCS SOILS MAP.

ZONING INFORMATION:

SITE:	R-1
FRONT/WEST:	WINTER GARDEN VINELAND RD./R-1
SIDE/NORTH:	R-1
SIDE/SOUTH:	ROPER ROAD/R-1, PUD
REAR/EAST:	PUD

CONTACT INFORMATION:

OWNER:
NEW HORIZON CHRISTIAN CHURCH
FRANK FOREMAN - VP/ PASTOR
P.O. BOX 785079
WINTER GARDEN, FL. 34778
PHONE: 407-645-5050
E-MAIL: FRANK@NHCCHOME.ORG

ARCHITECT (MEDICAL OFFICE BUILDING):
MCCREE ARCHITECTS & ENGINEERS, INC.
TOM GRIFFIN
500 E. PRINCETON ST.
ORLANDO, FL 32803
TEL: 407.898.4821
E-MAIL: TOM.GRIFFIN@MCCREE.COM

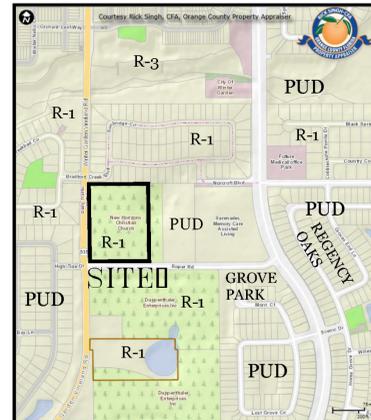
DEVELOPER:
SONATA HEALTH CARE
STEPHEN CARUSO
301 E. PINE STREET, SUITE 730
ORLANDO, FL 32801
TEL: 407.286.6490
FAX: 407.412.6155
E-MAIL: SCARUSO@SONATAHC.COM

ARCHITECT (NEW HORIZONS CHURCH):
MATTHEWS HANNA CONSTRUCTION
DESIGN BUILD GENERAL CONTRACTOR
304 RICHEY ROAD, SUITE 101
LEESBURG, FL 34748
TEL: 352.326.0333

SURVEYOR:
BENCHMARK SURVEYING & MAPPING, INC.
BILLY JOE JENKINS, JR. PSM
3110 RED FOX RUN
KISSIMMEE, FL 34746
TEL: 407.654.6183
FAX: 407.654.6184
E-MAIL: BENCHMARKSURVEYINGANDMAPPING.COM

LANDSCAPE ARCHITECT:
SCHWEIZER BOJACK LANDSCAPE ARCHITECTURE, LLC
KATY BOJACK
P.O. BOX 948383
MAITLAND, FL 32794-8383
TEL: 407.376.1423
E-MAIL: KATY@SCHWEIZERBOJACK.COM

ENGINEER:
KLIMA WEEKS CIVIL ENGINEERING, INC.
SELBY G. WEEKS, PE, LEED AP
385 DOUGLAS AVE., STE. 2100
ALTAMONTE SPRINGS, FLORIDA 32714
TEL: 407.478.8750
FAX: 407.478.8749
E-MAIL: SWEEEKS@KLIMAWEEKS.COM



VICINITY & EXISTING ZONING MAP

(NORTHEAST CORNER OF THE INTERSECTION OF WINTER GARDEN VINELAND ROAD & ROPER ROAD, WINTER GARDEN, FLORIDA 34787)

SONATA WEST MOB II / NHCC PCD

WINTER GARDEN, FLORIDA

COVER SHEET

revision	description	date
△	CITY COMMENTS	07/25/18
△	BUILDING REVS	04/11/19
△		
△		
△		
△		
△		

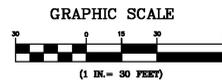
drawn by:	RVZ
checked by:	SGW
date:	06/01/2018
plot scale:	AS SHOWN
project number:	18SSONA006
file name:	

C000

SONATA WEST MOB II / NHCC PCD
WINTER GARDEN, FLORIDA
DEVELOPMENT SITE & UTILITY PLAN

revision	description	date
△	CITY COMMENTS	07/25/18
△	BUILDING REVS	04/11/19
△		
△		
△		
△		
△		

drawn by: RVZ
checked by: SGW
date: 06/01/2018
plot scale: AS SHOWN
project number: 18SSONAc06
file name:



SITE DATA:

EXTERNAL SITE LIGHTING:
SITE LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF WINTER GARDEN CODE, SECTION 118: 1536-1538

UTILITY STATEMENT:
THE UTILITY DESIGN SHOWN HEREON IS PRELIMINARY FOR ILLUSTRATIVE PURPOSES AND IS SUBJECT TO CHANGE DURING FINAL DESIGN.

MEDICAL OFFICE LOT:

BUILDING INFORMATION:
45,000 SF. MEDICAL OFFICE
MAXIMUM BUILDING HEIGHT - 39 FT. (TWO STORY)

MINIMUM PARKING REQUIREMENTS:
BASIS: MEDICAL OFFICE - 3 SPACES PER 1,000 SF. GFA
REQUIRED: 3 SPACES X 45,000 / 1,000 = 135 SPACES
*PROVIDED: 131 STANDARD + 6 ACCESSIBLE = 137 SPACES

ESTIMATED SCHEDULE:
START CONSTRUCTION - OCTOBER 2019
COMPLETE CONSTRUCTION - OCTOBER 2020

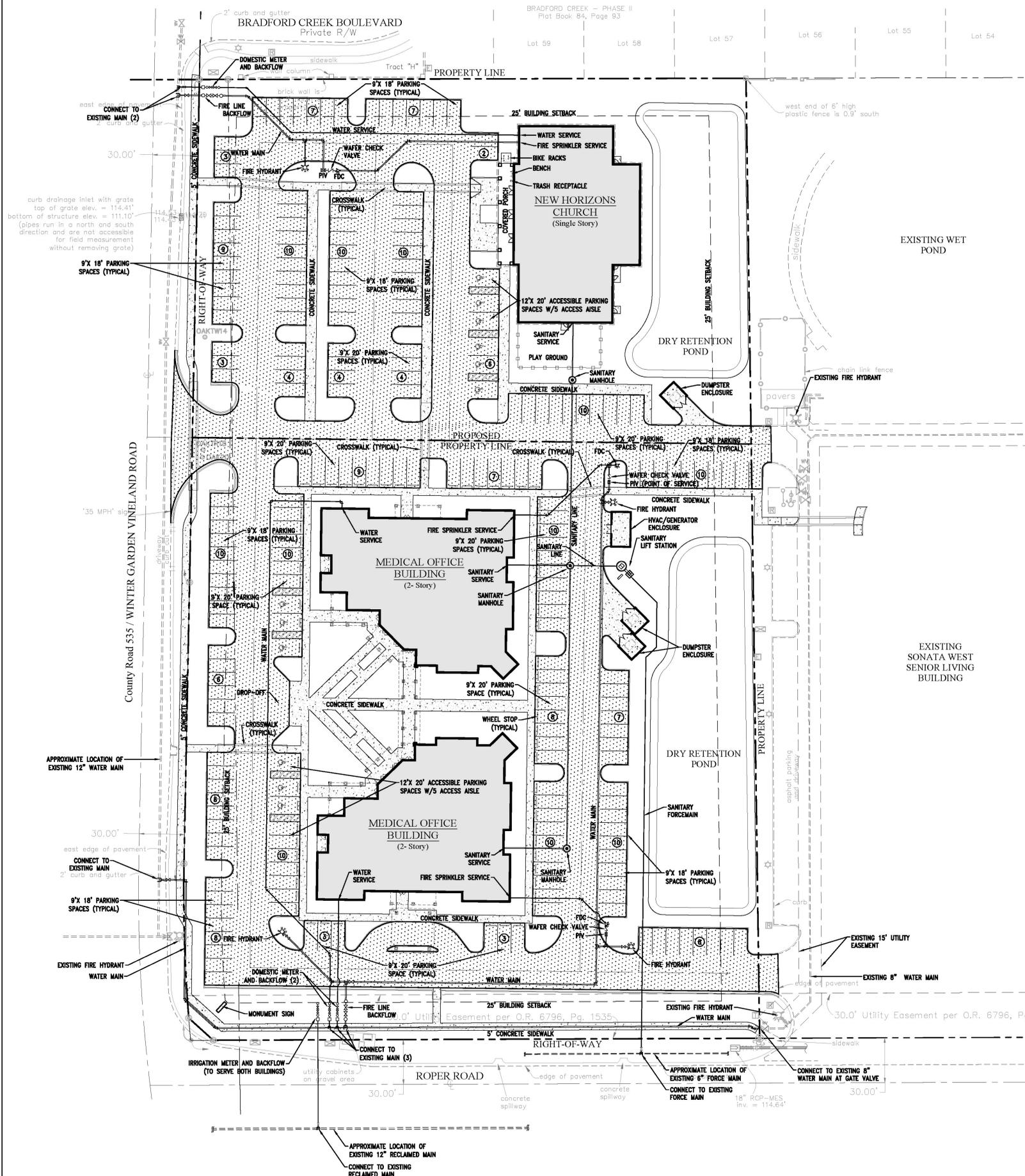
*A CROSS-PARKING AGREEMENT WILL BE DEDICATED TO PERMIT SHARED PARKING BETWEEN THE TWO LOTS. THE TOTAL REQUIRED PARKING FOR BOTH USES IS 223 AND THE PROVIDED PARKING IS 227; THEREFORE, THERE IS SUFFICIENT PARKING TO SERVE BOTH USES. IN ADDITION, IT SHOULD BE NOTED THAT THE CHURCH PEAK PARKING DEMAND ON SUNDAY DOES NOT COINCIDE WITH THE MEDICAL OFFICE PEAK PARKING DEMAND ON WEEKDAYS.

CHURCH LOT:

BUILDING INFORMATION:
10,477 SF. / 262 SEAT CHURCH
MAXIMUM BUILDING HEIGHT - 26 FT. (ONE STORY)

MINIMUM PARKING REQUIREMENTS:
BASIS: CHURCH - 1 SPACE FOR EACH 3 SEATS
REQUIRED: 262 SEATS X 1 SPACE / 3 SEATS = 88 SPACES
PROVIDED: 83 STANDARD + 6 ACCESSIBLE = 89 SPACES

ESTIMATED SCHEDULE:
START CONSTRUCTION - OCTOBER 2019
COMPLETE CONSTRUCTION - MAY 2020



SITE DATA:

EXTERNAL SITE LIGHTING:
SITE LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF WINTER GARDEN CODE, SECTION 118: 1536-1538

UTILITY STATEMENT:
THE UTILITY DESIGN SHOWN HEREON IS PRELIMINARY FOR ILLUSTRATIVE PURPOSES AND IS SUBJECT TO CHANGE DURING FINAL DESIGN.

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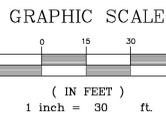
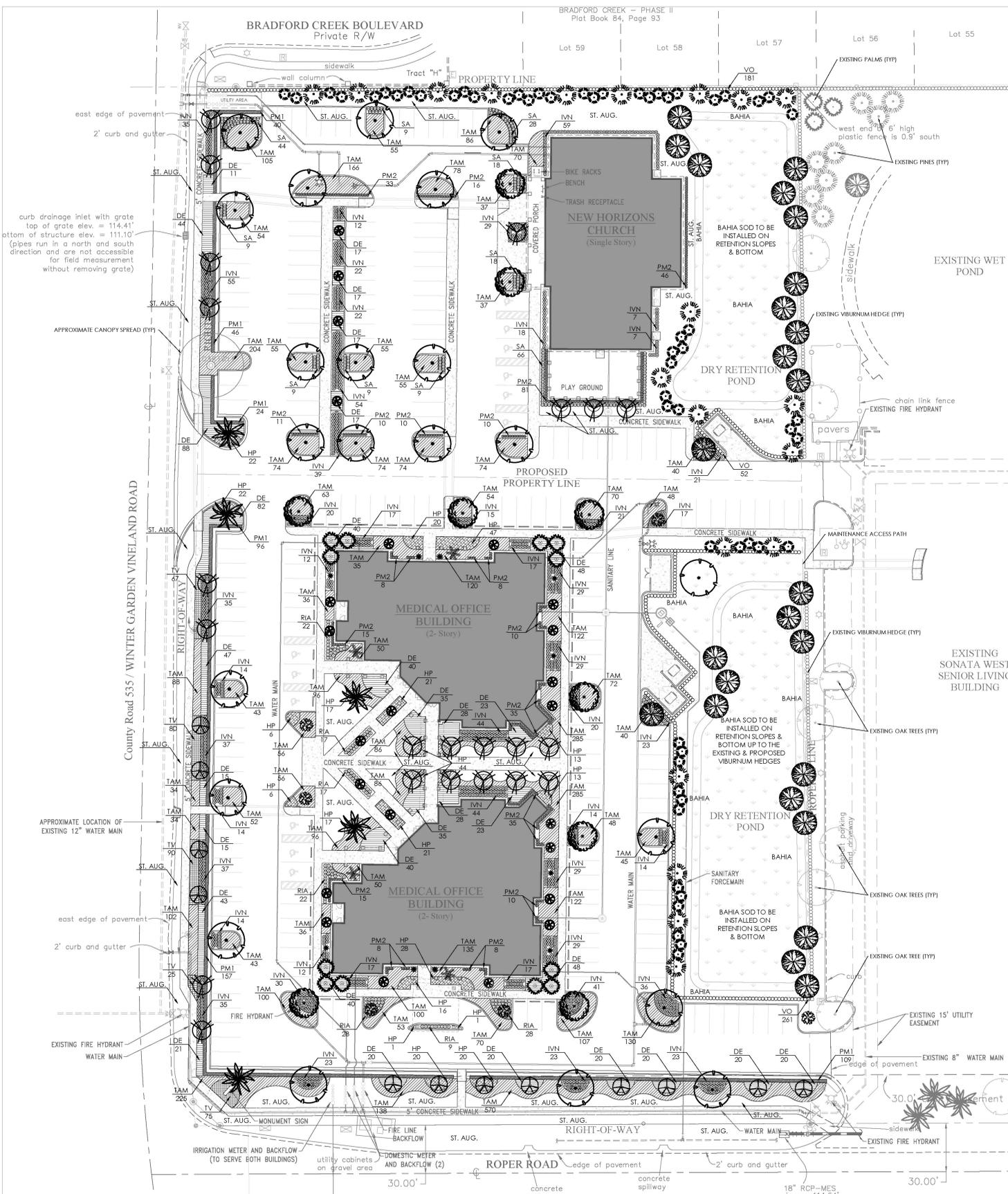
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10,477 SF. / 262 SEAT CHURCH
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PROVIDED: 83 STANDARD + 6 ACCESSIBLE = 89 SPACES

ESTIMATED SCHEDULE:
START CONSTRUCTION - OCTOBER 2019
COMPLETE CONSTRUCTION - MAY 2020

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIZER BOJACK LANDSCAPE ARCHITECTURE LLC and were created, evolved and developed for the use on and connection with this specific project.



MASTER LANDSCAPE PLAN

PLANT MATERIALS LEGEND

SYMBOL	KEY	QNTY.	COMMON/BOTANICAL NAME	SPECIFICATIONS/DESCRIPTION	
	PS	5	Sylvester "Robusta" Palm <i>Phoenix sylvestris 'Robusta'</i>	12" C.T., 20' O.A. Ht., Specimens, B&B Diamond Cut Trunks	
	QV	22	Live Oak <i>Quercus virginiana</i>	3 1/2" - 4" Cal., 16' - 18' Ht., FL #1, B&B or 100 Gal.	
	MG	9	D.D. Blanchard Magnolias <i>Magnolia grandiflora 'D.D. Blanchard'</i>	3 1/2" Min. Cal., 13' Min. Ht., FL #1, B&B or 100 Gal.	
	TD	25	Bald Cypress <i>Taxodium distichum</i>	3 1/2" Min. Cal., 12' Min. Ht., FL #1, B&B or 65 Gal.	
	LIN	22	Standard Natchez Crape Myrtle <i>Lagerstroemia indica 'Natchez'</i>	3" - 3 1/2" Cal., Standard Trunk, 12' - 14' Ht., FL #1, B&B	
	IOE	12	Eagleston Holly <i>Ilex opaca 'Eagleston'</i>	3" - 3 1/2" Cal., 12' - 14' Ht., FL #1, B&B	
	LJ	6	Ligustrum Tree <i>Ligustrum japonicum</i>	3" - 3 1/2" Total Cal., Multi Trunk, 10' O.A., FL #1, B&B	
	IC	24	Oak Leaf Holly <i>Ilex x 'Conaf'</i>	2" Total Cal., 6' Ht., 30 Gal.	
	PE1	20	Slash Pine <i>Pinus elliotii</i>	2" Cal., 6' Ht., 30 Gal.	
	PE2	58	Slash Pine <i>Pinus elliotii</i>	1 1/2" Cal., 5' Ht., 15 Gal.	
	SP	12	Sabal Palms <i>Sabal palmetto</i>	8', 12' & 16" C.T., Staggered Heights, Booted	
	PR	4	Pygmy Date Palm <i>Phoenix roebellinii</i>	4' - 6' Ht., Triple Stem, Matching Specimens	
	CS	10	Camellia <i>Camellia sasanqua</i>	10 Gal., Full, Matching Specimens	
	PM1	472	Podocarpus <i>Podocarpus macrophyllum</i>	36" Min. Ht., 7 Gal., 24" O.C.	
	PM2	369	Podocarpus <i>Podocarpus macrophyllum</i>	18" - 24" Ht., 3 Gal., 18" O.C.	
	VO	494	Sweet Viburnum <i>Viburnum odoratissimum</i>	Full, 3 Gal., 30" O.C.	
	SA	219	Dwarf Variegated Schefflera <i>Schefflera arboricola</i>	16" - 18" Ht., 3 Gal., 24" O.C.	
	IVN	1,182	Dwarf Yaupon Holly <i>Ilex vomitoria 'Nana'</i>	8" - 12" Ht., 3 Gal., 24" O.C.	
	RIA	143	White Indian Hawthorne <i>Raphiolepis indica 'Alba'</i>	Full, 3 Gal., 24" O.C.	
	HP	355	'Firefly' Firebush <i>Hamelia patens 'Firefly'</i>	12" - 14" O.A. Ht., 3 Gal., 24" O.C.	
	DE	982	Gold Mound <i>Duranta erecta 'Goldmound'</i>	Full, 3 Gal., 24" O.C.	
	TAM	5,419	Dwarf Asiatic Jasmine <i>Trachelospermum asiatica 'Minima'</i>	Full, 1 Gal., 18" O.C.	
	TV	337	Society Garlic <i>Tulbaghia violacea</i>	Full, 1 Gal., 18" O.C.	
	BAHIA	ST. AUG	TBD	St. Augustine 'Floritam' Sod <i>Stenotaphrum secundatum 'Floritam'</i>	Solid Sod, Free of Noxious Weeds
	MULCH	TBD	TBD	Argentine Bahia Sod <i>Paspalum notatum 'Argentina'</i>	Solid Sod, Free of Noxious Weeds
	MULCH	TBD	TBD	Pine Bark Mulch	3" Min. Depth, All Planting Areas

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIZER BO JACK LANDSCAPE ARCHITECTURE LLC and were created, evolved and developed for the use on and connection with this specific project.

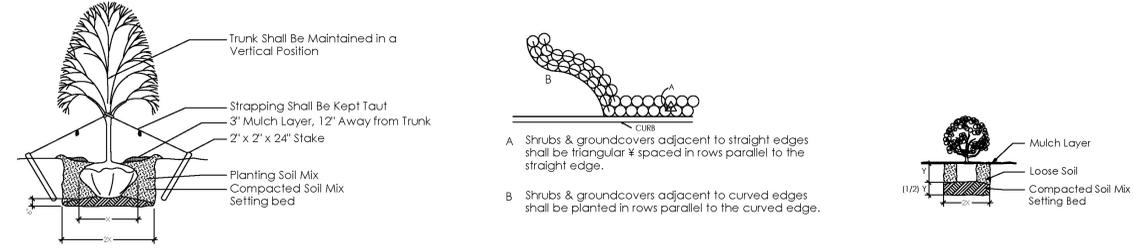
IRRIGATION INSTALLATION NOTES:

1. Irrigation Controller & Rain Sensor Device locations to be approved by the owner prior to installation.
2. Backflow Preventer or Pressure Vacuum Breaker to be provided and installed by the Irrigation Contractor to meet local code requirements.
3. The Irrigation System will be a permanent underground system.
4. The Irrigation System shall be designed and installed to conform to the City of Winter Garden Land Development Code.

IRRIGATION GENERAL NOTES

1. The irrigation contractor shall refer to the landscape plan when trenching to lay pipe to avoid new and existing trees and large shrubs.
2. All wiring from the irrigation controller to the remote control valves shall be UF-14/1 direct burial cable, all wire splices shall be made in valve boxes only using Rainbird Snap-Tite connectors and sealant.
3. Unless otherwise indicated, pipe to a single spray head shall be 1/2" pvc cl-315 piping.
4. All mainline piping shall be buried to have a minimum cover of 18 inches, all lateral piping downstream of the mainline shall be buried to have a minimum cover of 12 inches.
5. The irrigation contractor shall coordinate with the owner or architect on the exact location of the irrigation controller.
6. The irrigation contractor shall verify all conditions and dimensions shown on the plans at the site prior to commencement of work under this contract.
7. All irrigation installation shall conform to local codes and regulations.
8. All piping on the plans is diagrammatically routed for clarity and shall be routed to avoid new and existing plants. Design modifications shall only be made as necessary to meet field conditions and only upon approval of the owner or landscape architect.
9. The irrigation contractor shall be responsible for the final adjustment of the sprinklers arc and radius to assure 100 percent coverage.
10. 115 volt, single phase electrical power is required to operate the irrigation controller. The irrigation contractor shall be responsible for coordinating the location of the power with the owner or owner's representative. It shall be the responsibility of the irrigation contractor to see that the controller is wired in accordance with all electrical codes by a licensed electrician. All materials necessary to wire the controller shall be furnished by the irrigation contractor.
11. The irrigation contractor shall choose the appropriate nozzles to provide maximum coverage.
12. All landscape irrigation systems shall be low-volume irrigation systems. A low-volume irrigation system is designed to provide no more than the minimum amount of water required by any specific landscape material to ensure survival of that material. Such a system utilizes a combination of sprinkler mechanisms and zones to accommodate the individual irrigation requirements of each type of landscape material, including trees, shrubs, ornamentals and turf areas.
13. All underground irrigation systems shall be regulated by an automatic timer or controller.
14. The design of the irrigation system shall include sprinkler heads and devices appropriate for the landscape materials to be irrigated. Low trajectory heads or low-volume water distributing devices shall be used to irrigate confined areas in order to prevent overspray onto impervious areas.
15. Irrigation systems shall be designed to place high water demand areas, such as lawns, on separate zones from those areas with reduced water requirements.
16. Automatically controlled irrigation systems shall be operated by an irrigation controller that is capable of irrigating high requirement areas.

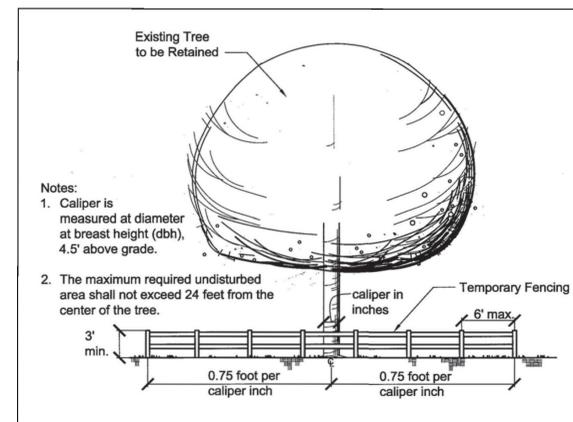
LANDSCAPE PLANTING DETAILS



LANDSCAPE GENERAL NOTES

1. The Landscape Contractor shall insure that this work does not interrupt established or projected drainage patterns. The Landscape Contractor shall insure adequate vertical drainage in all plant beds and planters. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage.
2. The Landscape Contractor shall be responsible for all materials and all work as called for on the landscape plans and in the landscape specifications. The list of plant quantities accompanying the plans shall be used as a guide only. Contractor shall verify all quantities and report any discrepancies at the time of bidding.
3. All plant materials shall be graded Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida, unless otherwise noted.
4. All plant beds and tree rings shall be top dressed with a 3" minimum depth of pine bark nuggets.
5. The Landscape Contractor shall be wholly responsible for stability and plumb condition of all trees and shrubs. Staking of trees or shrubs, if desired or requested by the Landscape Architect or owner, shall be done utilizing a method agreed upon by the Landscape Architect.
6. No fill material or use of heavy equipment around existing trees is allowed. Existing trees are to be protected by a wood barricade erected in compliance with local codes.
7. All grades, dimensions and existing conditions shall be verified by the Contractor on site before construction begins. Any discrepancies shall be brought to the attention of the Landscape Architect.
8. The Landscape Contractor shall review architectural/engineering plans to become thoroughly familiar with surface and subsurface utilities.
9. The Landscape Contractor shall coordinate with the lighting and irrigation contractors regarding the timing of the installation of plant material.
10. Every possible safeguard shall be taken to protect building surfaces, equipment and furnishings. Landscape Contractor shall be responsible for any damage or injury to person or property which may occur as a result of his negligence in the execution of work.

TREE PROTECTION DETAILS



TREE PROTECTION NOTES

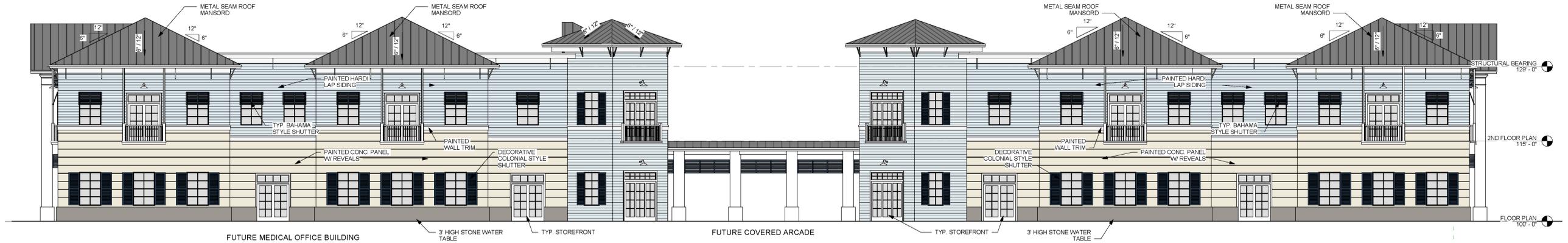
All protected tree shall have the trunk and roots protected by protective barriers erected prior to development activity in accordance with the following:

1. Protective barriers constructed of wood rails, chain link fabric or orange plastic safety netting shall be placed around the tree or trees to form a continuous barricade at least three feet high. Ideally such barriers will form a protection zone described by the drip line.
2. Signs or other markings shall be placed on all sides of the protective barrier to designate the protected area.
3. Protective barriers shall remain in place until landscape operations begin or until construction in the immediate area has been completed.
4. Existing street trees located within rights-of-way interior to, or adjacent to, the development shall have protective barriers before site work begins.
5. Trenching for underground utilities shall be prohibited inside the protective barriers. If underground utilities must be routed through the protected area, tunneling shall be required. All landscape preparation in these areas shall be conducted by hand, except for mechanical tunneling as needed.
6. No vehicles, equipment, materials or fill shall be placed or stored within the protected area.

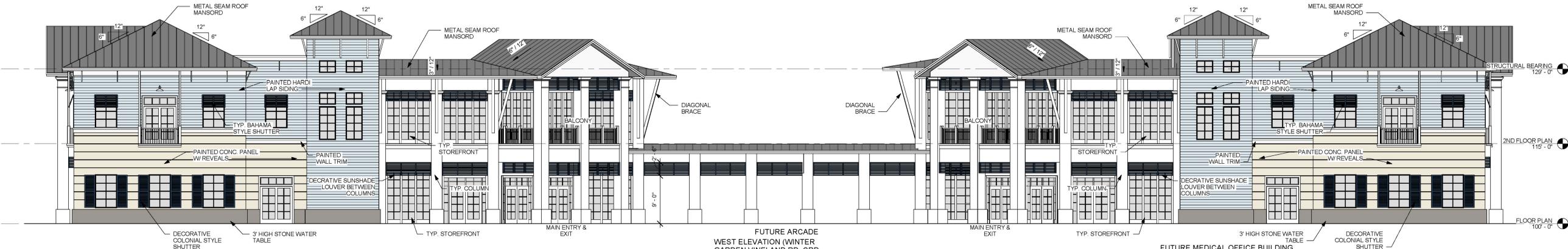
LANDSCAPE NOTES & DETAILS



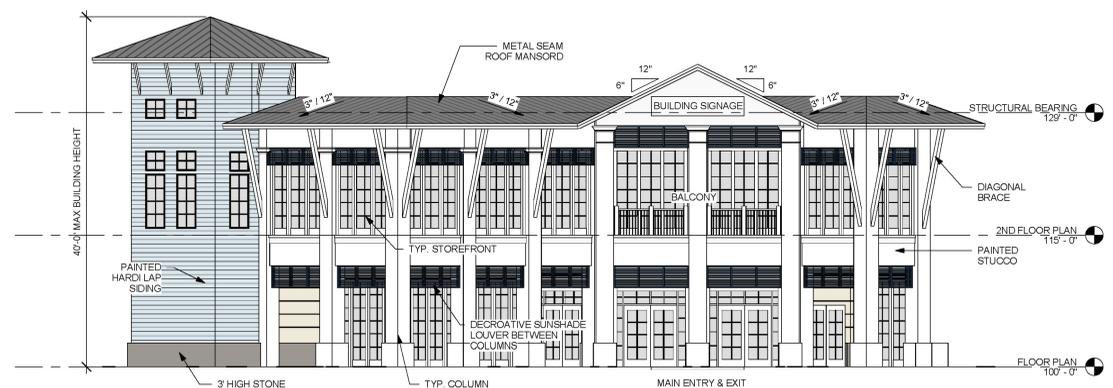
4/17/2019 10:00:12 AM X:\AE\Jobs\2017\17012 Sonata West MOB II\Drawings\19-17012 Sonata West MOB II.rvt



1 EAST ELEVATION (SONATA WEST)
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION (WINTER GARDEN VINELAND RD. CRD 535)
SCALE: N.T.S.



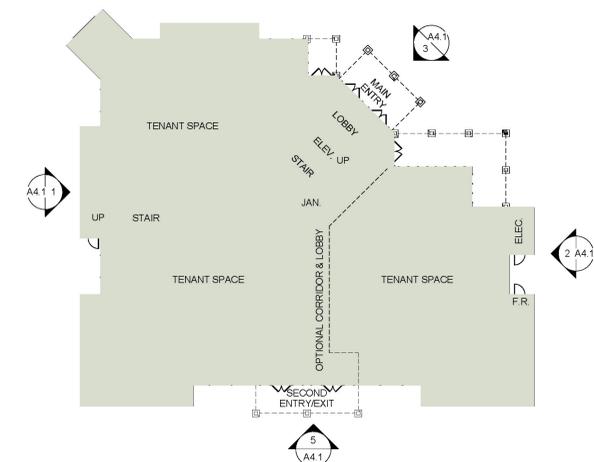
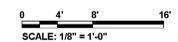
3 NORTH EAST ELEVATION (COURT YARD)
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION NEW HORIZONS CHURCH
SCALE: 1/8" = 1'-0"



5 SOUTH ELEVATION (ROPER ROAD)
SCALE: 1/8" = 1'-0"



6 KEY PLAN
SCALE: 1" = 20'-0"

McCreary ARCHITECTS & ENGINEERS, INC.

License # AAC002100

500 E. Princeton St.
Tallahassee, FL 32303
P.O. Box 1000
Tallahassee, FL 32304-7369
Phone: 407-898-4821
Fax: 407-898-8763

DATE	17012.20	17012.20
JOB NUMBER	4102019	4102019
COORDINATOR	RTM/JR	RTM/JR
ARCHITECT	TOM G.	TOM G.
DRAWN	SEN	SEN
CHECKED		
DATE	17012.RVT	17012.RVT

D R C REVIEW

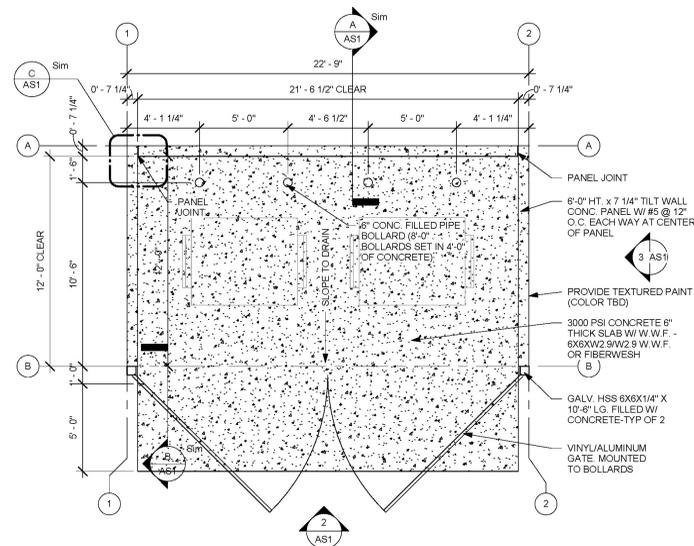
I S U E

EXTERIOR ELEVATIONS

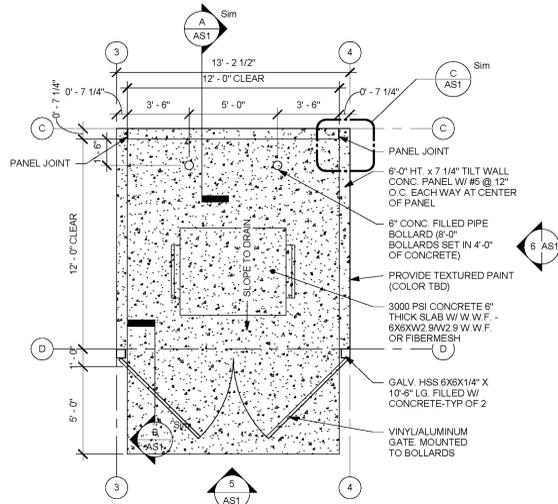
SONATA WEST MEDICAL OFFICE BUILDING II

WINTER GARDEN, FL

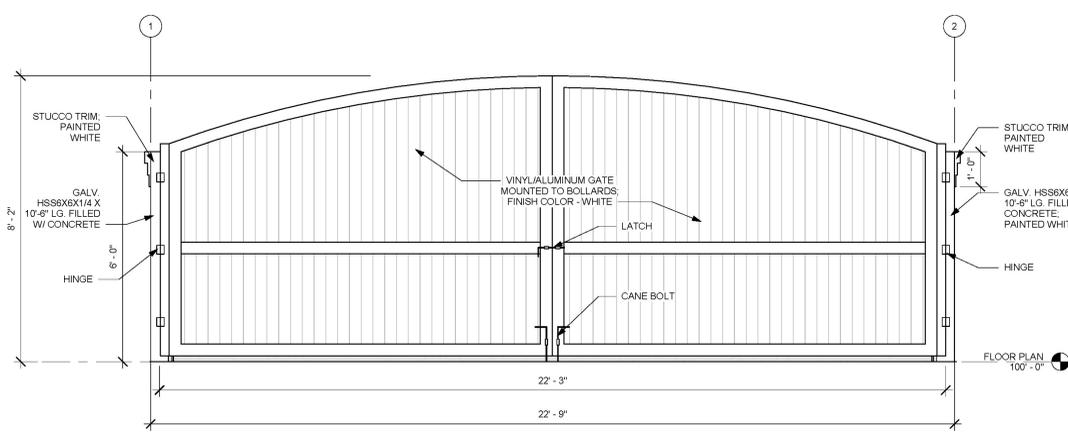
A4.1



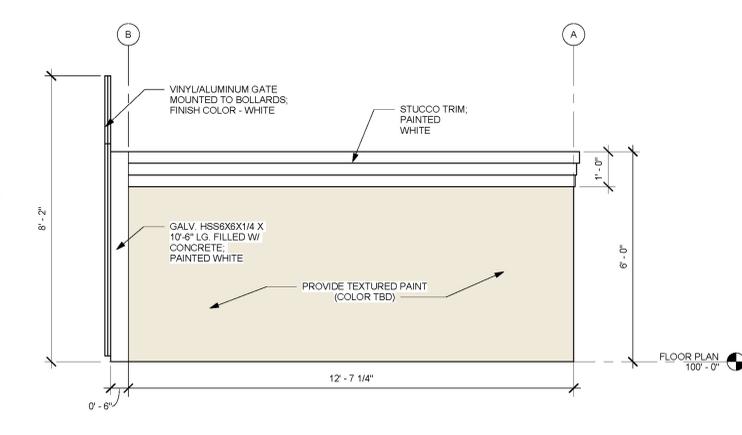
1 MEDICAL OFFICE BUILDING
 DUMPSTER PLAN
 SCALE: 1/4" = 1'-0"



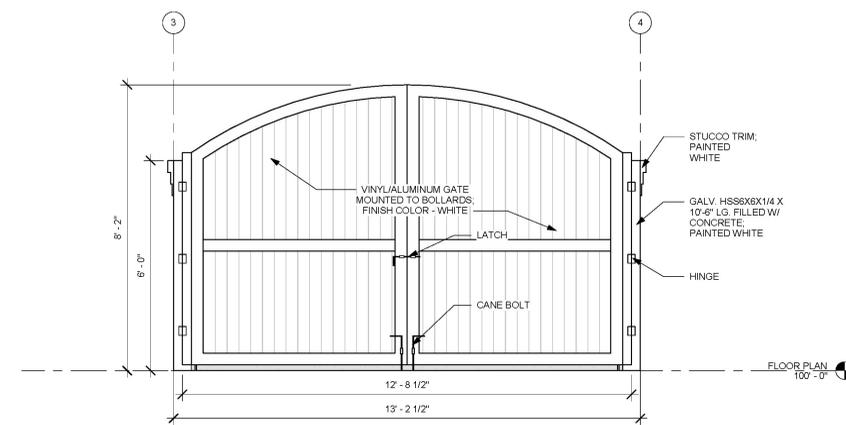
4 NEW HORIZONS CHURCH
 DUMPSTER PLAN
 SCALE: 1/4" = 1'-0"



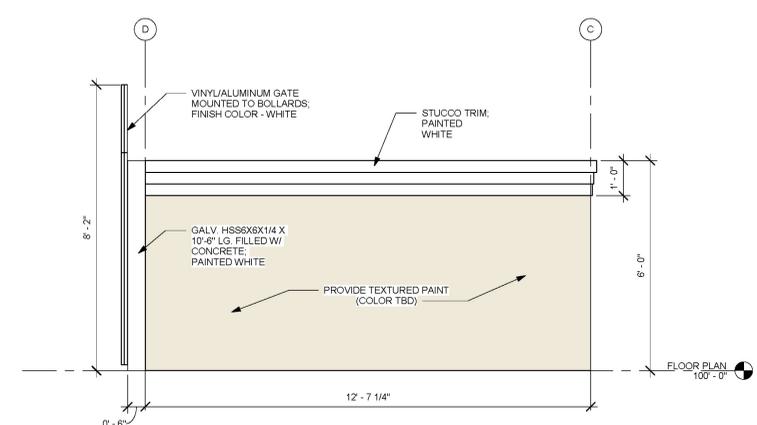
2 FRONT ELEVATION
 SCALE: 1/2" = 1'-0"



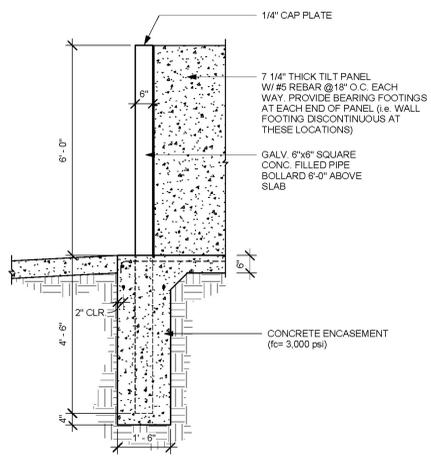
3 SIDE ELEVATION
 SCALE: 1/2" = 1'-0"



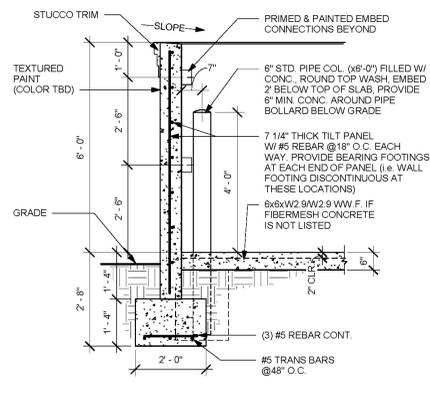
5 FRONT ELEVATION
 SCALE: 1/2" = 1'-0"



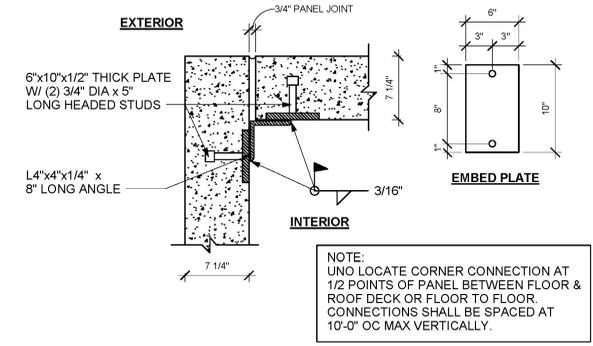
6 SIDE ELEVATION
 SCALE: 1/2" = 1'-0"



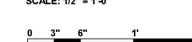
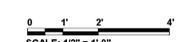
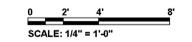
A DUMPSTER SECTION
 SCALE: 1/2" = 1'-0"



B DUMPSTER SECTION
 SCALE: 1/2" = 1'-0"



C DUMPSTER CORNER
 CONNECTION DETAIL
 SCALE: 1 1/2" = 1'-0"



TOM F. GRIFFIN
 LIC. NO. AR-0008315

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY TOM F. GRIFFIN USING DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

McCreary ARCHITECTS & ENGINEERS, INC.
 License # AAC002110
 500 E. Princeton St.
 Winter Garden, FL 32789
 Phone: 407-896-4821
 Fax: 407-896-8763

DATE	DESCRIPTION	BY	CHKD
7/25/18	7/25/18	RTM/JR	STW
7/25/18	7/25/18	RTM/JR	STW

PROJECT: SONATA WEST MEDICAL OFFICE BUILDING II
 LOCATION: WINTER GARDEN, FLORIDA
 DRAWING: DUMPSTER ENCLOSURE DETAILS

DUMPSTER ENCLOSURE DETAILS
 SONATA WEST MEDICAL OFFICE BUILDING II
 WINTER GARDEN, FLORIDA
AS1



RIGHT ELEVATION
Scale: 3/16"=1'-0"



FRONT ELEVATION
Scale: 3/16"=1'-0"

DATE:	REV:

DATE: 201621
DATE: 04/23/2018
BY: RFW
SCALE: PER PLAN

MATTHEWS HANNA
DESIGN-BUILD GENERAL CONTRACTOR

CRUES ENGINEERING, INC.
CIVIL ENGINEERING
FLORIDA P.E. LICENSE # 33970

715 BALBOAR CIRCLE
LEESBURG, FL 34748
TEL: 888-333-3333
FAX: 888-333-3331

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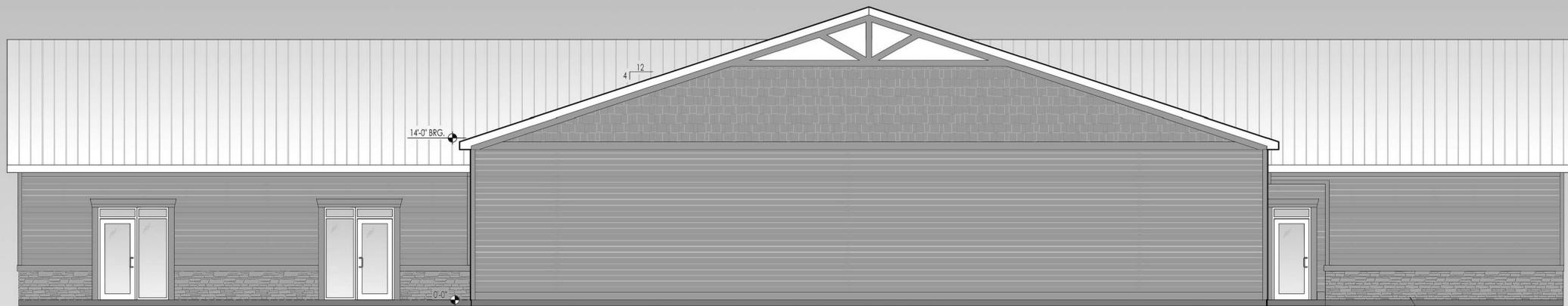
PROPOSED BUILDING FOR:
NEW HORIZONS CHRISTIAN CHURCH
WINTER PARK, FLORIDA
EXTERIOR ELEVATIONS

A2



LEFT ELEVATION

Scale: 3/16"=1'-0"



REAR ELEVATION

Scale: 3/16"=1'-0"

NO.	DATE	BY	REVISIONS

DATE: 201621
 DATE: 04/23/2018
 DRAWN: RFW
 CHECK: PER PLAN

MATTHEWS HANNA
 DESIGN-BUILD GENERAL CONTRACTOR
 715 BALMORAL CIRCLE
 LEESBURG, FL 34748
 PHONE: 888-333-3333 FAX: 352-333-2931

CRIS ENGINEERING, INC.
 CIVIL ENGINEERING
 FLORIDA P.E. LICENSE # 33970
 301 RICHIE ROAD SUITE 101, LEEBURG, FL 34748 352-333-3333 352-333-3333

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PROPOSED BUILDING FOR:
NEW HORIZONS CHRISTIAN CHURCH
 WINTER PARK, FLORIDA
 EXTERIOR ELEVATIONS

A3

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

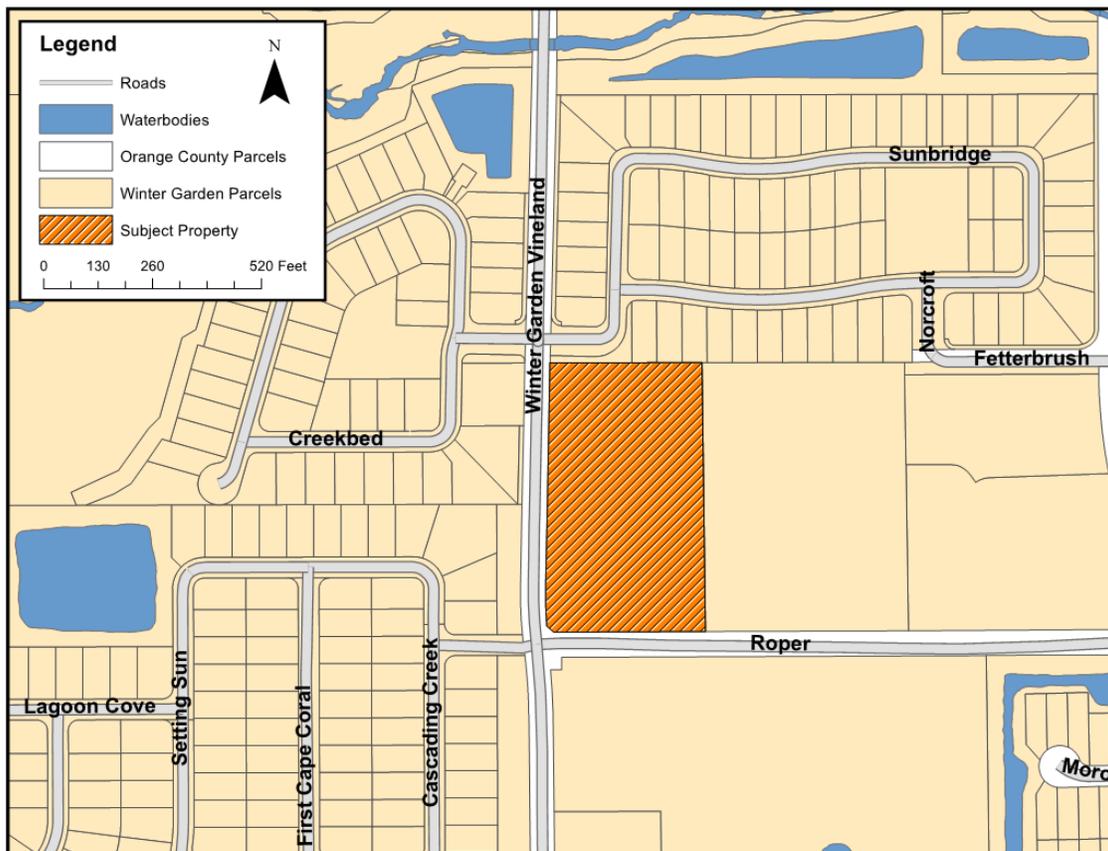
TO: PLANNING AND ZONING BOARD
PREPARED BY: SHANE FRIEDMAN, SENIOR PLANNER
DATE: NOVEMBER 26, 2019
SUBJECT: Future Land Use Amendment and PCD Rezoning
541 Winter Garden Vineland Road (5.51 +/- ACRES)
PARCEL ID # 35-22-27-0000-00-042

APPLICANT: Klima Weeks Civil Engineering, Inc.

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 541 Winter Garden Vineland Road, at the northeast corner of Winter Garden Vineland Road and Roper Road is approximately 5.51 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant has requested an amendment to the Future Land Use Map (FLUM) of the City's Comprehensive Plan to designate the property as Commercial and rezoning the property to PCD (Planned Commercial Development).

Properties designated with the Commercial land use category are required to be developed at a floor area ratio not greater than 0.35 and a floor area ratio not greater than 0.5 by development bonus inside Activity Centers. Maximum building height is three stories and up to five stories by development bonus in activity centers. The Commercial land use category shall include retail, service, and professional activities. Uses shall be developed in a manner which is harmonious to nearby noncommercial use and which minimize traffic congestion. All commercial activity in this commercial land use category shall be adjacent to arterials or major collectors. The City shall identify different zoning districts for highway commercial, general commercial, professional / medical districts, and downtown commercial districts in the commercial land use category. Development may exceed the stated 0.35 floor area ratio only by development bonus, no development rights are guaranteed at intensities or densities above the stated permitted range. Additional zoning restrictions per each zoning district may apply. The zoning Classifications what are consistent with the Commercial classification are C-1, C-2, C-3, C-4, PCD, and INT.

EXISTING USE

The subject property is currently vacant and is composed of one parcel that is owned by New Horizons Christian Church. The parcel is directly adjacent to Serenades by Sonata and Sonata West which are assisted living and memory care facilities built in 2013 and 2017 respectively.

ADJACENT LAND USE AND ZONING

The properties to the west of the subject property are the Black Lake Park and Bradford Creek residential subdivisions. Bradford Creek abuts the northern boundary of the subject property as well. Both subdivisions are zoned Planned Unit Development (PUD) and are within the City's municipal boundaries. The property to the south is undeveloped, zoned R-1 (Residential District), and is within the City's municipal boundaries. The property to the east is developed with an assisted living facility, is zoned PUD (Planned Unit Development) as part of the Sonata Ordinance 15-55, and is within the City's municipal boundaries.

PROPOSED USE

The applicant is requesting PCD rezoning to permit the development of the property with a total of 45,000 square feet of medical office building and 10,477 square feet (262 seats) church. The medical office building will be comprised of two 2-story buildings fronting Winter Garden Vineland Road. The two medical buildings will be chamfered with a large courtyard with landscaping and sidewalks between the buildings. The New Horizons Church will be a single story building in the northern portion of the property. All three of the buildings that are being proposed will continue the Florida vernacular style architecture found on the two adjacent Sonata properties to the east.

PUBLIC FACILITY ANALYSIS

The property will have two vehicular access points, one on Winter Garden Vineland Road and the other on Roper Road and will have cross-access to the Sonata properties to the east.

Water, sewer, and reclaimed utilities by the City of Winter Garden will be required for any new development of the property. At such time that the property is developed, all necessary utility lines will be extended and connections made, all extension and connection costs shall be borne by the property owner.

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

All concurrency requirements identified by the City of Winter Garden Code of Ordinances and Comprehensive Plan will be met by the proposed development.

SUMMARY

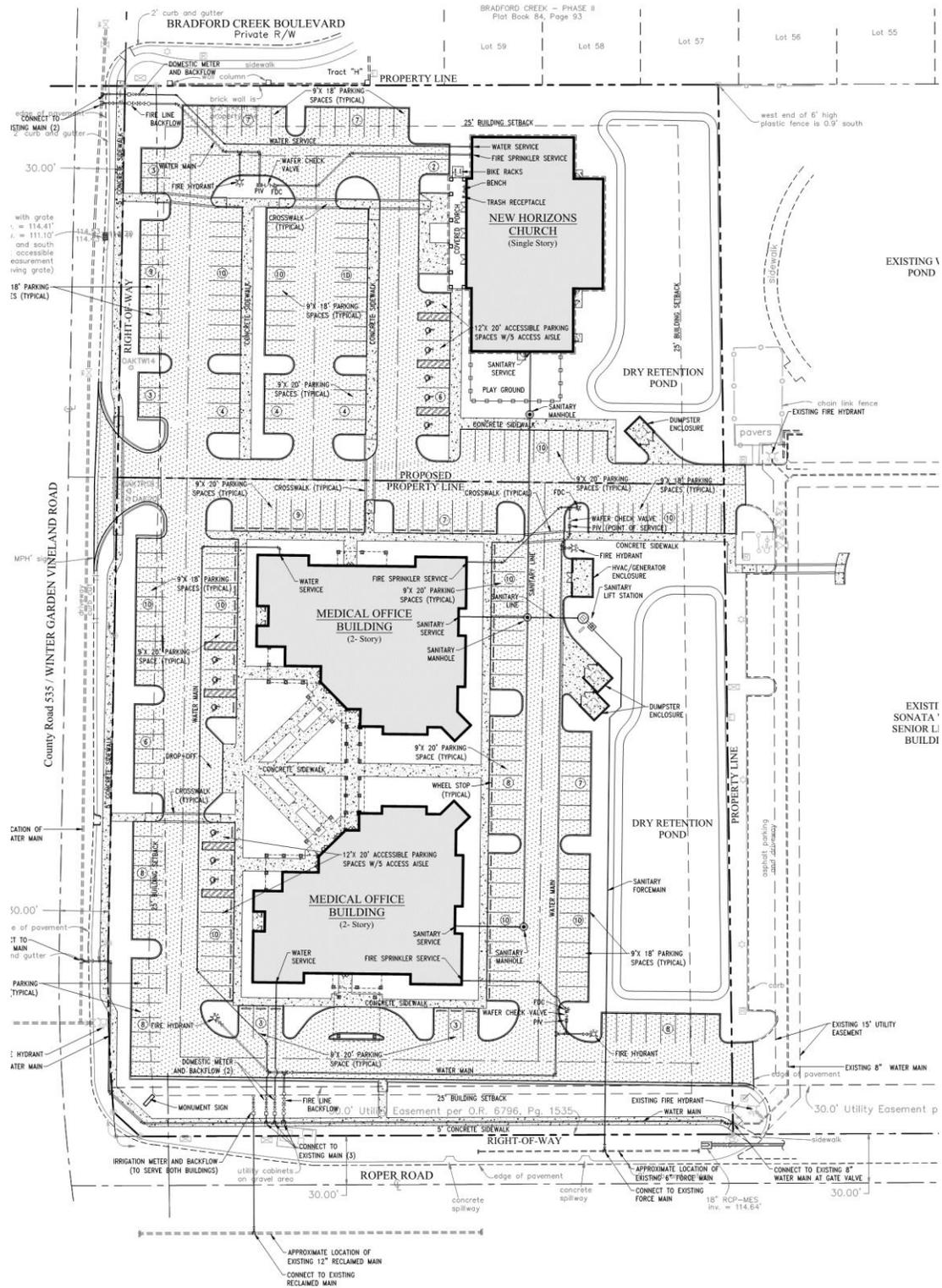
The proposed development is a reasonable use of the land and this type of development is consistent with other commercial developments that exist in this area of the City.

The proposed future land use amendment changing the land use from Low Density Residential to Commercial, and rezoning from R-1 (Residential District) to PCD (Planned Commercial Development), is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances. Staff recommends approval of the proposed Ordinance(s) subject to the conditions outlined in Ordinance 20-07 and Ordinance 20-08.

AERIAL PHOTO
541 Winter Garden Vineland Road



PROPOSED DEVELOPMENT PLAN
541 Winter Garden Vineland Road



Elevations 541 Winter Garden Vineland Road

4/17/2019 10:30:12 AM
X:\AE\Jobs\2017\17012 Sonata West MOB DRAWINGS\17_17012 Sonata West MOB Elev

EXTERIOR ELEVATIONS

A4.1 SONATA WEST MEDICAL OFFICE BUILDING II
 WINTER GARDEN, FL

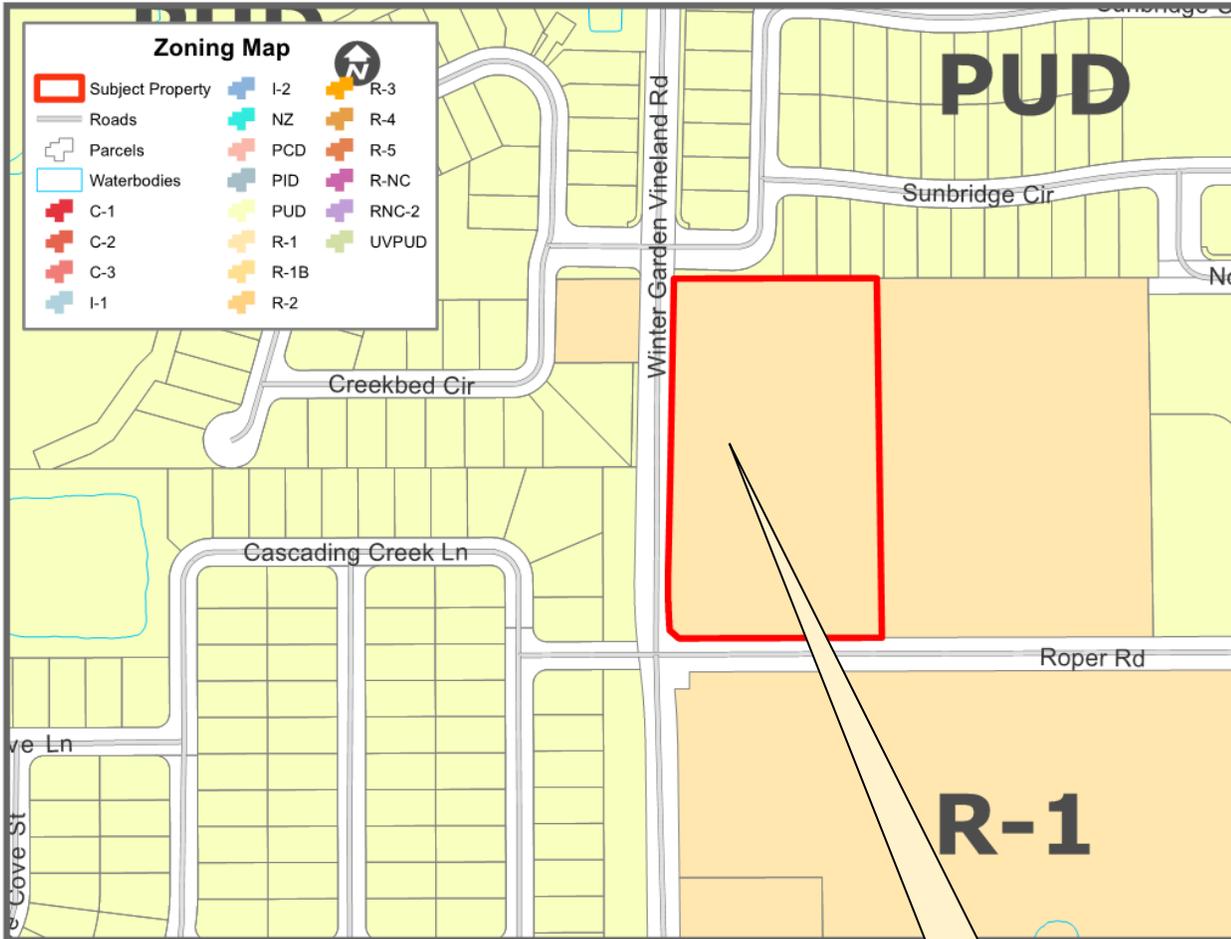
DATE	BY	CHECKED	SCALE	DESCRIPTION

PROJECT NO.	DATE	BY	CHECKED	SCALE	DESCRIPTION
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17012.00	11/10/2019	YCB	YCB	1/8" = 1'-0"	WEST ELEVATION
17012.00	11/10/2019	YCB	YCB	1/8" = 1'-0"	WEST ELEVATION
17012.00	11/10/2019	YCB	YCB	1/8" = 1'-0"	WEST ELEVATION

600 E. Prosveter St.
 Suite 400, Ft. Worth, TX 76102
 P.O. Box 647269
 Dallas, TX 75264-7269
 Phone: 467-895-4821
 Fax: 467-898-6762

McCree
 ARCHITECTS & ENGINEERS, INC.

ZONING MAP
541 Winter Garden Vineland Road



**Change from
R-1 to PCD**

FUTURE LAND USE MAP
541 Winter Garden Vineland Road



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: January 02, 2020

Meeting Date: January 09, 2020

Subject: 15151 E. Oakland Ave

Ordinance 20-09, 20-10, and 20-11
PARCEL ID # 21-22-27-0000-00-088

Issue: The applicant is requesting to annex the 0.99 +/- acre property into the City as well as change the zoning and future land use designation.

Discussion: The applicant has requested annexation into the City, amendment to the Future Land Use Map (FLUM) of the City's Comprehensive Plan to designate the property as City Low Density Residential, and rezoning the property to R-1 Residential District. Annexation will provide a more efficient delivery of services to the property and further the goals and objectives of the City's Comprehensive Plan.

Recommended Action:

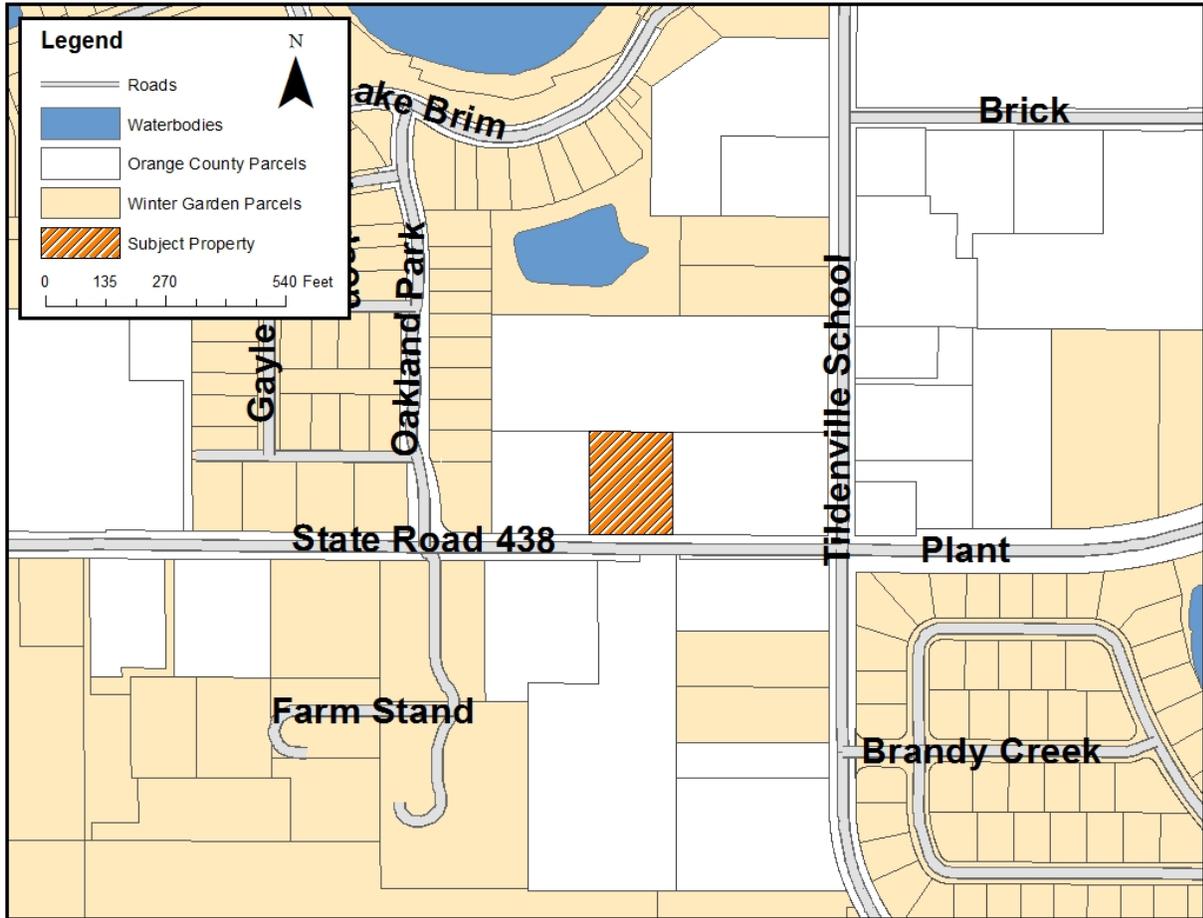
Staff recommends approval of Ordinance 20-09, 20-10, and 20-11, with second reading and adoption hearing anticipated to be on the January 23, 2020 City Commission agenda.

Attachment(s)/References:

Location Map
Ordinance 20-09, 20-10, and 20-11
Staff Report

LOCATION MAP

15151 E. Oakland Avenue



ORDINANCE 20-09

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 0.99 ± ACRES LOCATED AT 15151 E. OAKLAND AVENUE; NORTH OF STATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF OAKLAND PARK BLVD; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of the land, generally described as approximately 0.99 ± acres located at 15151 E. Oakland Avenue; north of State Road 438 E. Oakland Avenue, west of Tildenville School Road, and east of Oakland Park Blvd and legally described in Section 2 of this Ordinance, which land is reasonably compact and contiguous to the corporate limits of the City of Winter Garden, Florida (“City”), has, pursuant to the prerequisites and standards set forth in § 171.044, Fla. Stat., petitioned the City Commission for voluntary annexation;

WHEREAS, the petition for voluntary annexation referenced herein bears the signatures of all owners of the property or properties described in Section II of this Ordinance (*i.e.*, the property or properties to be annexed); and

WHEREAS, the City has determined that the property described in Section II of this Ordinance is located in an unincorporated area of the County and that annexation of such property will not result in the creation of an enclave.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I: *Annexation.* That the City Commission through its Planning and Zoning Board has conducted an investigation to determine whether the described property meets the prerequisites and standards set forth in Chapter 171, Fla. Stat. and has held a public hearing and said petition and made certain findings.

SECTION II: *Description of Area Annexed.* That, after said public hearing and having found such petition meets said prerequisites and standards, the property legally defined in ATTACHMENT “A” and graphically shown in ATTACHMENT “B” shall be annexed into the City of Winter Garden, Florida.

SECTION III: *Effect of Annexation.* That the City of Winter Garden, Florida, shall have all of the power, authority, and jurisdiction over and within the land as described in Section 2 hereof, and the inhabitants thereof, and property therein, as it does and have

over its present corporate limits and laws, ordinances, and resolutions of said City shall apply and shall have equal force and effect as if all territory had been part of said City at the time of the passage of such laws, ordinances, and resolutions.

SECTION IV: *Apportionment of Debts and Taxes.* Pursuant to § 171.061, Fla. Stat., the area annexed to the City shall be subject to all taxes and debts of the City upon the effective date of annexation. However, the annexed area shall not be subject to municipal ad valorem taxation for the current year if the effective date of the annexation falls after the City levies such tax.

SECTION V: *Instructions to Clerk.* Within seven (7) days following the adoption of this Ordinance, the City Clerk or his/her designee is directed to file a copy of this ordinance, including ATTACHMENT "A" hereto, with the clerk of the circuit court and the chief administrative officer of Orange County as required by § 171.044(3), Fla. Stat.

SECTION VI: *Severability.* Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

SECTION VII: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

Parcel ID # 21-22-27-0000-00-088

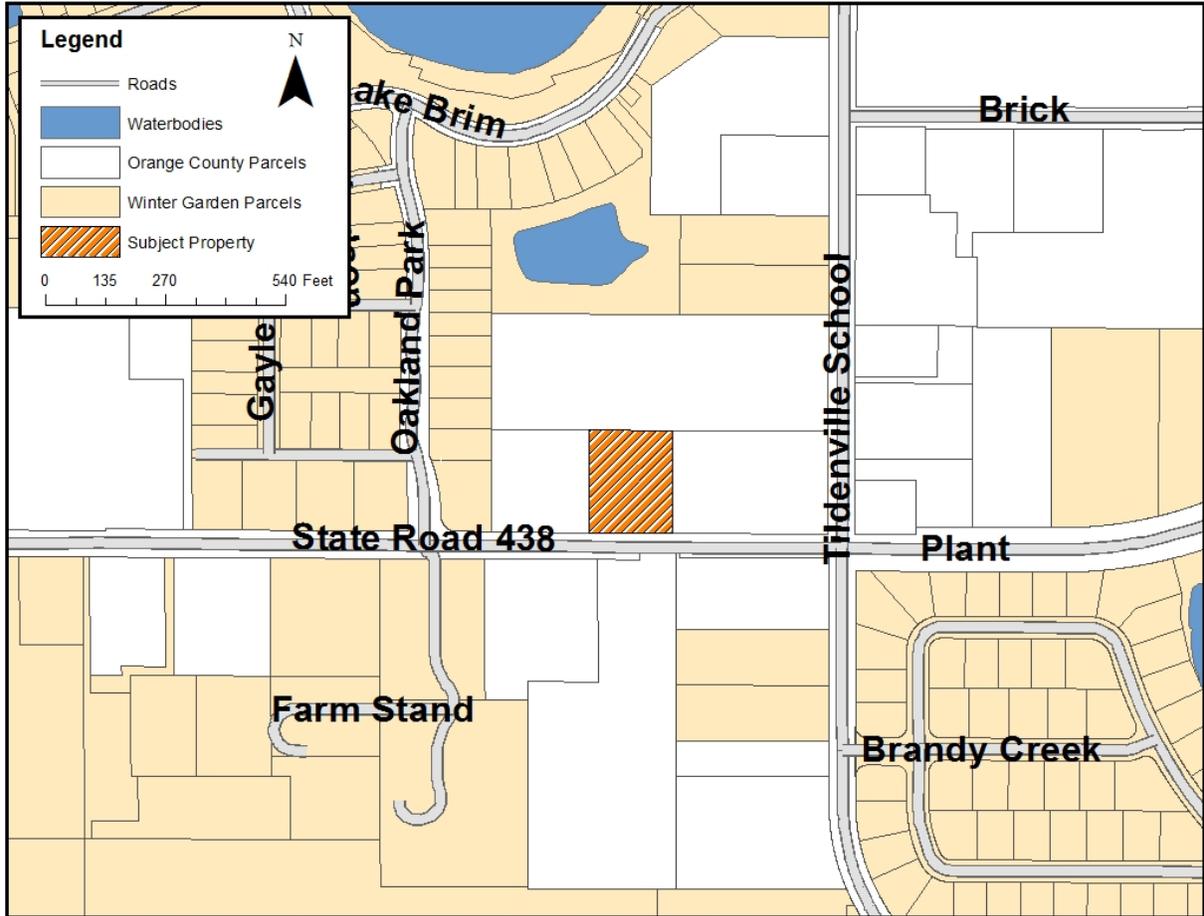
A parcel of land being a Portion of the Northeast 1/4 of the Southeast 1/4 of Section 21, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

Commence at the Southeast Corner of the Northeast 1/4 of the Southeast 1/4 of Section 21, Township 22 South, Range 27 East, Orange County, Florida, thence run 324.00 feet West and 30.00 feet North to the intersection of the North Right-of-way line of State Road 438 and the West Right-of-way line of State Road 545; thence along the North Right-of-way line of State Road 438, South 89°56'47" West, a distance of 348.89 feet to a point, said point being the POINT OF BEGINNING of the herein described property; thence continue along said North Right-of-way line, South 89°56'47" West, a distance of 187.89 feet to a point; thence departing said North Right-of-way line, along a line parallel to the West Right-of-way line of State Road 545, North 00°12'25" West, a distance of 231.00 feet to a point; thence along a line parallel with the North Right-of-way line of State Road 438, North 89°56'47" East, a distance of 187.89 feet to a point; thence along a line parallel to the West Right-of-way line of State Road 545, South 00°12'25" East, a distance of 231.00 feet to the above described POINT OF BEGINNING.

ATTACHMENT "B"

LOCATION MAP

E. Oakland Avenue



ORDINANCE 20-10

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS 0.99 ± ACRES OF LAND LOCATED AT E. OAKLAND AVENUE; NORTH OF STATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF OAKLAND PARK BLVD FROM ORANGE COUNTY LOW DENSITY RESIDENTIAL TO CITY LOW DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on the 13th of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24th of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden;

WHEREAS, the owner of that certain real property generally described as 0.99 ± acres of land located at 15151 E. Oakland Avenue; north of State Road 438 E. Oakland Avenue, west of Tildenville School Road, and east of Oakland Park Blvd, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from Orange County Low Density Residential to City Low Density Residential; and

WHEREAS, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by designating the aforesaid Property to City Low Density Residential as set forth in ATTACHMENT "B".

SECTION II. *Effective Date.* Provided that the Property described herein is annexed into the City of Winter Garden pursuant to Ordinance 20-09, this Ordinance shall become effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order

determining that the adopted Ordinance is in compliance.

SECTION III. Severability. Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

Parcel ID # 21-22-27-0000-00-088

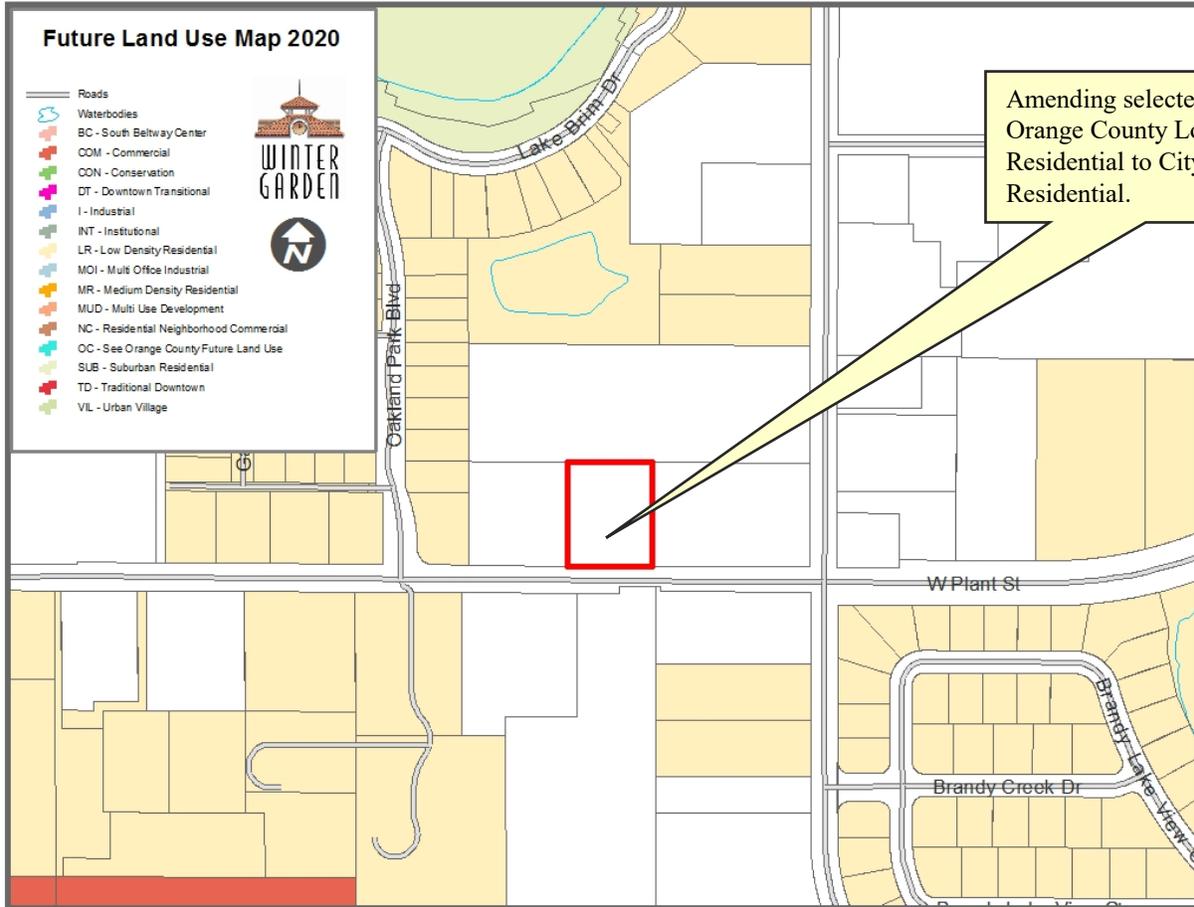
A parcel of land being a Portion of the Northeast 1/4 of the Southeast 1/4 of Section 21, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

Commence at the Southeast Corner of the Northeast 1/4 of the Southeast 1/4 of Section 21, Township 22 South, Range 27 East, Orange County, Florida, thence run 324.00 feet West and 30.00 feet North to the intersection of the North Right-of-way line of State Road 438 and the West Right-of-way line of State Road 545; thence along the North Right-of-way line of State Road 438, South 89°56'47" West, a distance of 348.89 feet to a point, said point being the POINT OF BEGINNING of the herein described property; thence continue along said North Right-of-way line, South 89°56'47" West, a distance of 187.89 feet to a point; thence departing said North Right-of-way line, along a line parallel to the West Right-of-way line of State Road 545, North 00°12'25" West, a distance of 231.00 feet to a point; thence along a line parallel with the North Right-of-way line of State Road 438, North 89°56'47" East, a distance of 187.89 feet to a point; thence along a line parallel to the West Right-of-way line of State Road 545, South 00°12'25" East, a distance of 231.00 feet to the above described POINT OF BEGINNING.

ATTACHMENT "B"

FUTURE LAND USE MAP

15151 E. Oakland Avenue



ORDINANCE 20-11

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 0.99 ± ACRES LOCATED AT 15151 E. OAKLAND AVENUE; NORTH OF STATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF OAKLAND PARK BLVD; FROM ORANGE COUNTY A-1 CITRUS RURAL DISTRICT TO CITY R-1 SINGLE FAMILY RESIDENTIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of that certain real property generally described as approximately 0.99 ± acres located at 15151 E. Oakland Avenue; north of State Road 438 E. Oakland Avenue, west of Tildenville School Road, and east of Oakland Park Blvd, and legally described in Section I of this ordinance has petitioned the City to rezone said property from Orange County A-1 Citrus Rural District to the City's R-1 Single Family Residential District zoning classification, therefore; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the rezoning approved by this Ordinance is consistent with the City of Winter Garden Comprehensive Plan; and

WHEREAS, further, the City Commission finds that based on competent, substantial evidence in the record, the rezoning approved by this Ordinance meets all applicable criteria for rezoning the Property to R-1 Single Family Residential District contained within the City of Winter Garden Comprehensive Plan and the Code of Ordinances.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I: *Rezoning.* The above "Whereas" clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of real property legally described on ATTACHMENT "A," is hereby rezoned from Orange County A-1 Citrus Rural District to City R-1 Single Family Residential District in the City of Winter Garden, Florida.

SECTION II: *Zoning Map.* The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION III: *Non-Severability.* Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION IV: Effective Date. This Ordinance shall become effective simultaneously upon the effective date of Ordinance 20-10 which is an amendment to the Future Land Use Map of the City of Winter Garden Comprehensive Plan that allows the property described herein to be zoned as provided in this Ordinance.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGLEA GRIMMAGE, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

Parcel ID # 21-22-27-0000-00-088

A parcel of land being a Portion of the Northeast 1/4 of the Southeast 1/4 of Section 21, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

Commence at the Southeast Corner of the Northeast 1/4 of the Southeast 1/4 of Section 21, Township 22 South, Range 27 East, Orange County, Florida, thence run 324.00 feet West and 30.00 feet North to the intersection of the North Right-of-way line of State Road 438 and the West Right-of-way line of State Road 545; thence along the North Right-of-way line of State Road 438, South 89°56'47" West, a distance of 348.89 feet to a point, said point being the POINT OF BEGINNING of the herein described property; thence continue along said North Right-of-way line, South 89°56'47" West, a distance of 187.89 feet to a point; thence departing said North Right-of-way line, along a line parallel to the West Right-of-way line of State Road 545, North 00°12'25" West, a distance of 231.00 feet to a point; thence along a line parallel with the North Right-of-way line of State Road 438, North 89°56'47" East, a distance of 187.89 feet to a point; thence along a line parallel to the West Right-of-way line of State Road 545, South 00°12'25" East, a distance of 231.00 feet to the above described POINT OF BEGINNING.

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

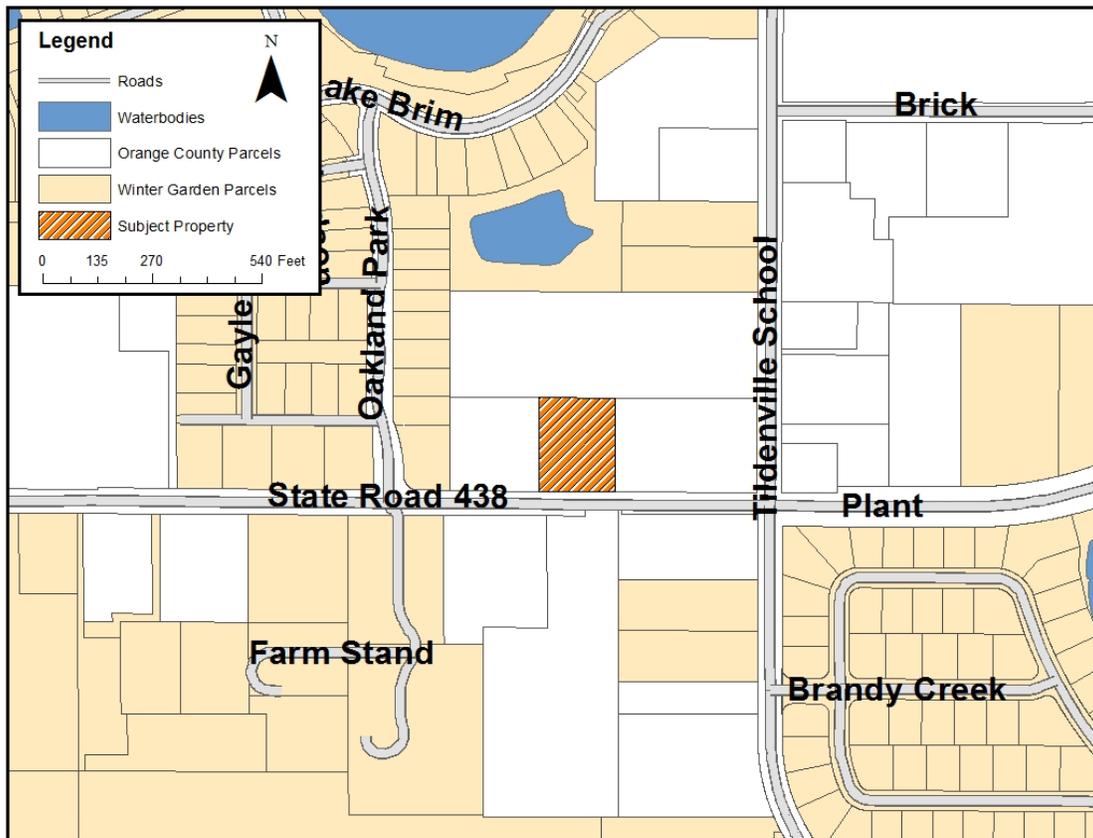
TO: PLANNING AND ZONING BOARD
PREPARED BY: Soraya Karimi, Planner I
DATE: January 6, 2020
SUBJECT: ANNEXATION – FLU—ZONING
15151 E. Oakland Ave (0.99 +/- ACRES)
PARCEL ID # 21-22-27-0000-00-088

APPLICANT: Jesus F. Salvador & Iliana Ramos

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property, located at 15151 E. Oakland Avenue, is approximately 0.99 ± acres. The map below depicts the proximity of the subject property to the City of Winter Garden municipal limits:



The applicant has requested annexation into the City, amendment to the Future Land Use Map (FLUM) of the City's Comprehensive Plan to designate the property as City Low Density Residential, and assigned zoning designation of R-1.

In accordance with the City's Comprehensive Plan, Properties designated with the Low Density Residential land use category are required to be developed at a gross residential density no greater than 6 dwelling units per acre and will be identified on the Future Land Use Map only in areas that are either similar in nature (i.e. have the same type of density of existing neighborhoods) or where environmental factors require low residential densities. Factors in determining this land use category included proximity to natural resources and urban services, availability of public facilities, and the characteristics of nearby existing and future neighborhoods. Churches and schools may be allowed via a Special Exception Permit. The zoning classifications that are consistent with the Low Density Residential classification are PUD, R-1A, R-1B, R-1, R-4, and R-5.

The City endorses infill of its jurisdictional limits through voluntary annexation of enclaves. The elimination of enclaves through voluntary annexation furthers the goals, objectives, and policies of the City's Comprehensive Plan.

EXISTING USE

The property located at 15151 E. Oakland Avenue is currently developed with a single family residence. The gross land area is 0.99 +/- acres.

ADJACENT LAND USE AND ZONING

The property to the west of the subject property is owned by the applicants, and is currently undergoing an annexation into the city, rezoning from County A-1 to City R-1, and amendment to the Future Land Use Map to Low Density Residential. The property to the north of the subject property is unincorporated County land, zoned A-1. The properties to the south of the subject property are beyond SR 438 E. Oakland Avenue and are unincorporated County single family residential, zoned A-1. The property to the east of the subject property is zoned County A-1 and is single family residential.

PROPOSED USE

The applicants are requesting to annex 0.99 ± acres of the subject property into the City in order to develop the property with a single family residential home.

PUBLIC FACILITY ANALYSIS

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

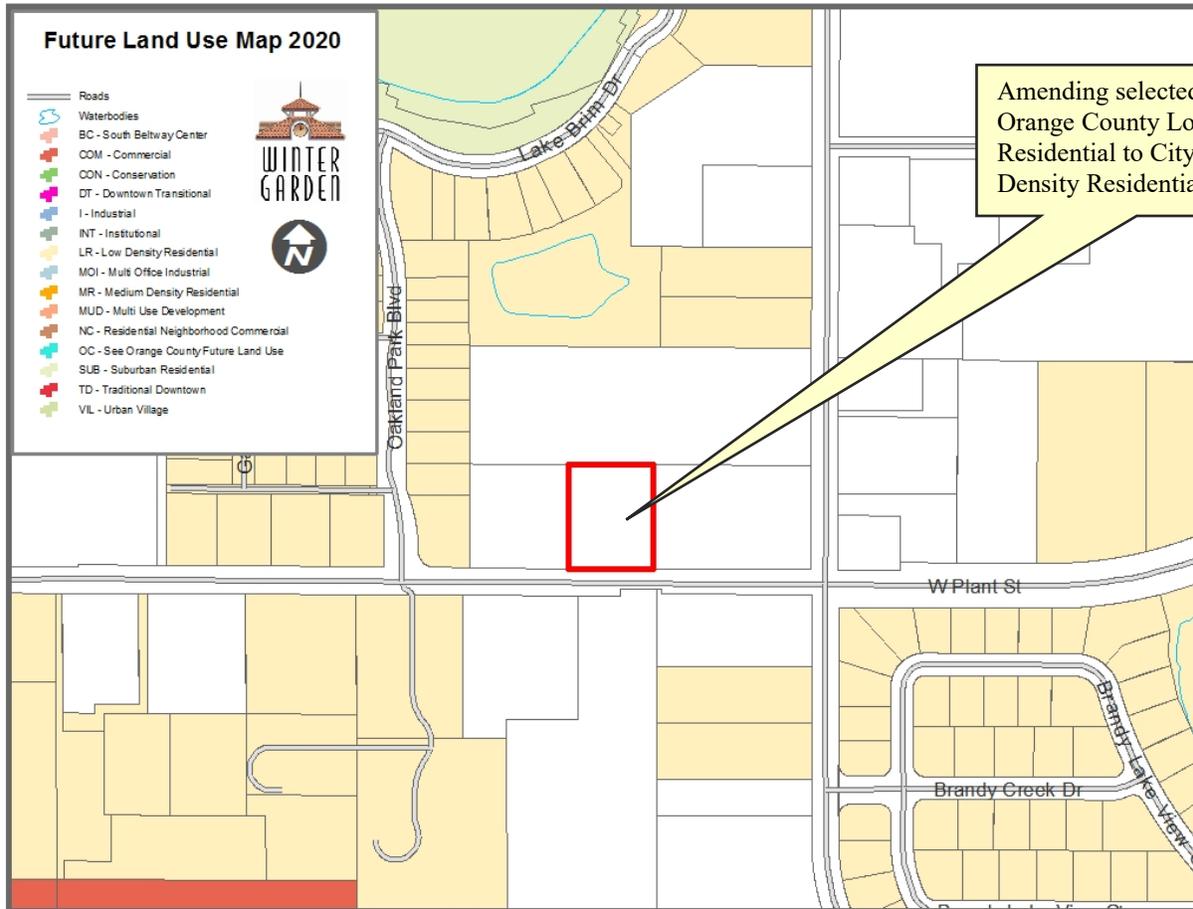
SUMMARY

Annexation will provide a more efficient delivery of services to the properties and further the goals and objectives of the City of Winter Garden’s Comprehensive Plan.
City Staff recommends approval of Ordinances 20-09, 20-10, and 20-11.

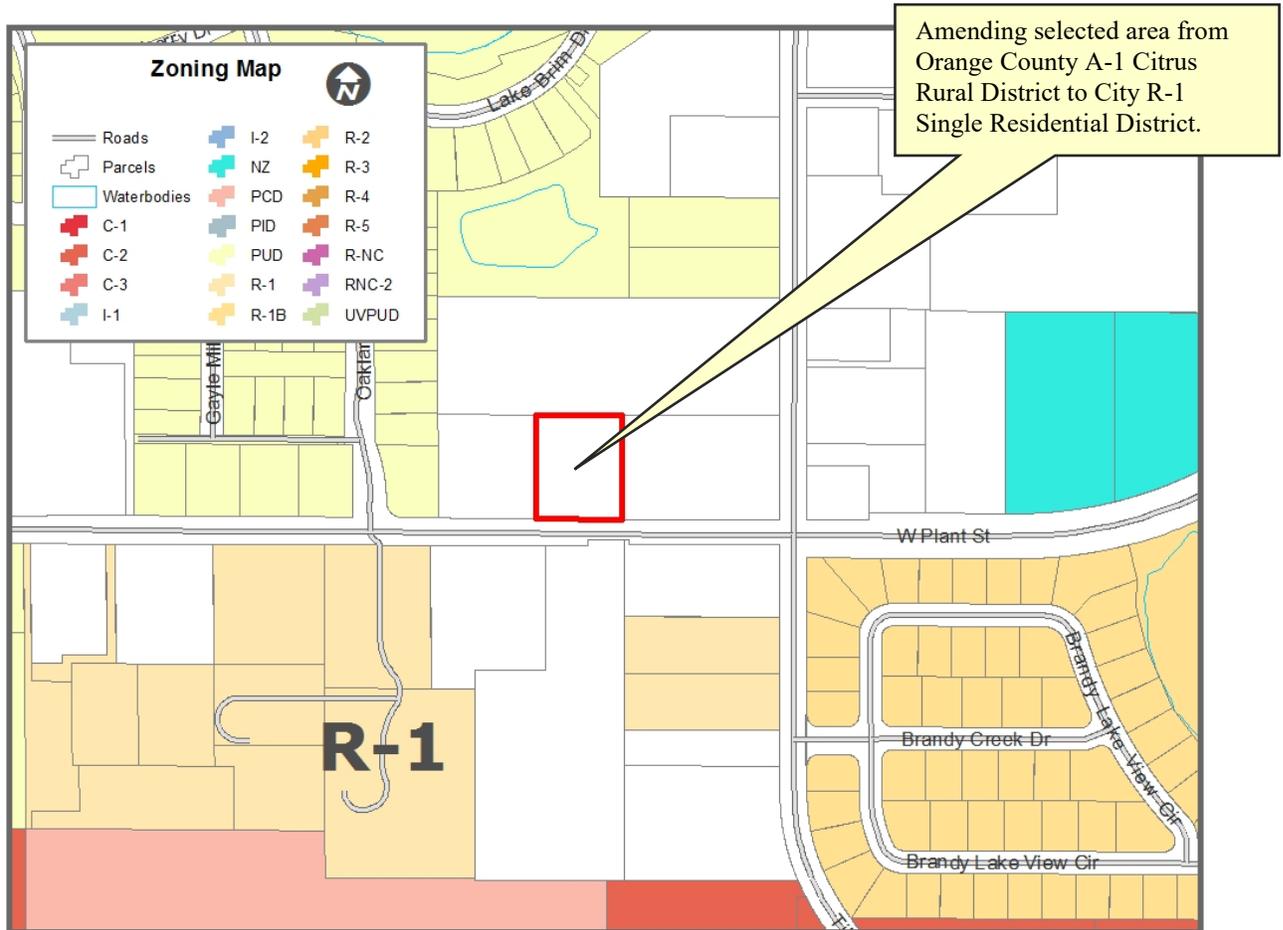
AERIAL PHOTO
15151 E. Oakland Avenue



Future Land Use Map 15151 E. Oakland Avenue



Zoning Map
15151 E. Oakland Avenue



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: January 02, 2020

Meeting Date: January 09, 2020

Subject: 1242 & 1248 Union Club Drive

Easement Vacation

Ordinance 20-12

PARCEL ID #21-22-27-6095-00-080 & 21-22-27-6095-00-090

Issue: The applicant is requesting to vacate certain utility and drainage easements that exist between 1242 Union Club Drive and 1248 Union Club Drive.

Discussion: The subject property, located north of Union Club Drive, is approximately 0.50 +/- acres. The property is currently vacant and the applicant is requesting to vacate certain utility and drainage easements that were recorded with the final plat and the replat of the Oakland Park Subdivision. The purpose of the easement vacation is to develop the site with a single family residence. The owner plans on combining these two lots through agreement at the adoption hearing of this easement vacation ordinance.

The subject property carries the zoning designation PUD (Planned Unit Development), and is designated SUB (Suburban Residential) on the Future Land Use Map of the Comprehensive Plan.

Recommended Action:

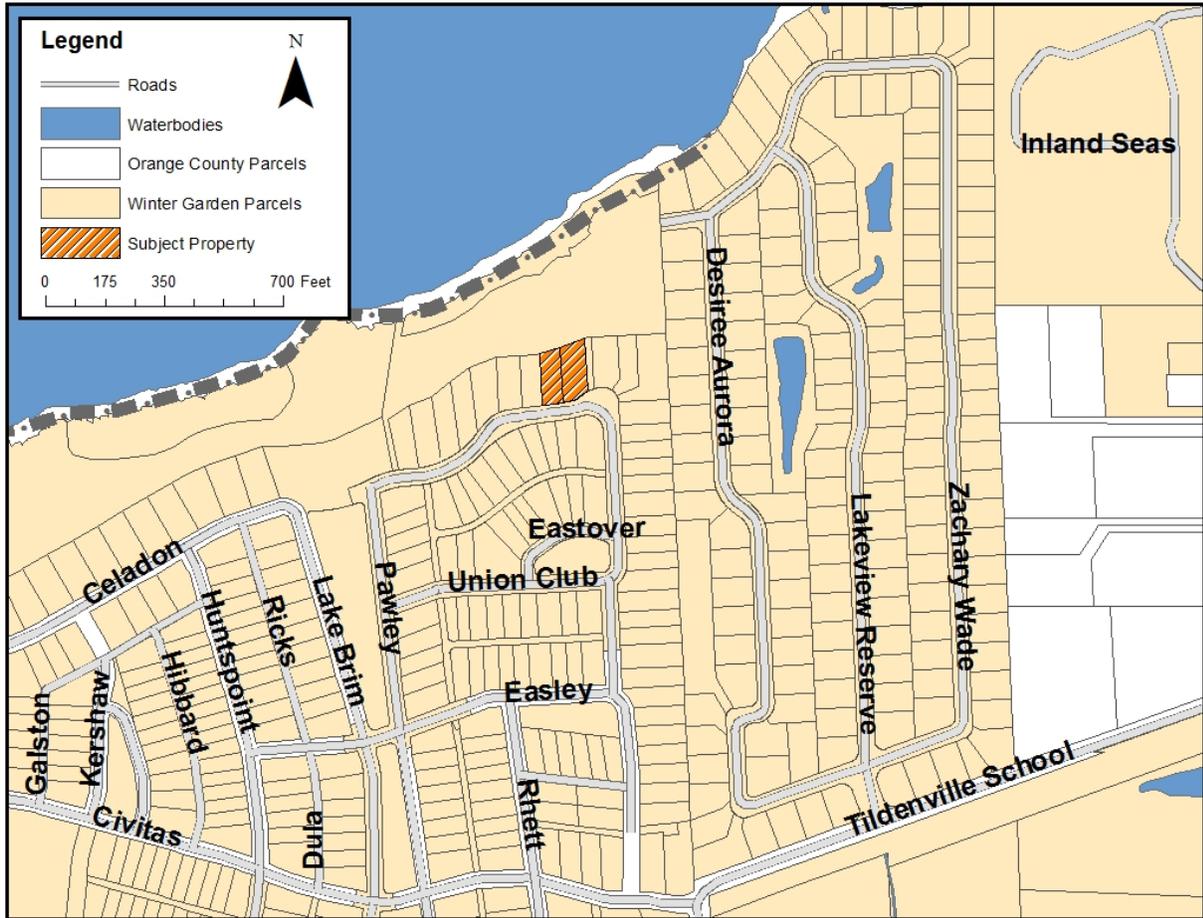
Staff recommends approval of Ordinance 20-12, with second reading and adoption hearing anticipated to be on the January 23, 2020 City Commission agenda.

Attachment(s)/References:

Location Map
Ordinance 20-12

LOCATION MAP

1242 & 1248 Union Club Drive



ORDINANCE 20-12

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA VACATING A PORTION OF THE PLAT DEDICATED DRAINAGE AND UTILITY EASEMENTS OVER LOT 8 OF OAKLAND PARK UNIT 1A PARTIAL REPLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 84, PAGE 121, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; AND LOT 9 OF OAKLAND PARK UNIT 1A, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 70, PAGE 33, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA (LOCATED AT 1242 AND 1248 UNION CLUB DRIVE, WINTER GARDEN, FLORIDA) OWNED BY J & J BUILDING, LLC AS MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING FOR AN EFFECTIVE DATE AND RECORDING.

WHEREAS, J & J BUILDING, LLC (the " Owner ") is the fee simple owner of two residential lots located at 1242 and 1248 Union Club Drive, Winter Garden, Florida, which are legally described as Lot 8, Oakland Park Unit 1A Partial Replat, according to the plat thereof, as recorded in Plat Book 84, Page 121, of the Public Records of Orange County, Florida; and Lot 9, Oakland Park Unit 1A, according to the plat thereof, as recorded in Plat Book 70, Page 33, of the Public Records of Orange County, Florida; a copy of the survey of said lots is attached hereto as Exhibit " A" for reference (the " Lots "); and

WHEREAS, the Proposed Vacated Easements are graphically depicted on Exhibit "A";

WHEREAS, the petition to vacate the Proposed Vacated Easements was duly presented to the City Commission at a regular meeting; and

WHEREAS, it appears that the Owner is the fee simple owner of all of the above described residential lots and the vacation of the Proposed Vacated Easements, will not affect the distribution of utility services to the public and public drainage needs; and

WHEREAS, the Oakland Park Association, Inc. has consented to the vacation of the Proposed Vacated Easements; and

WHEREAS, the City has received letters of no objection to the vacation of the Proposed Vacated Easements, from Duke Energy, Charter Spectrum, Lake Apopka Natural Gas, CenturyLink, surrounding property owners, homeowners association, and the City of Winter Garden Staff; and

WHEREAS, it appears that all ad valorem taxes due and owing on said Lots have been paid, that due and proper notice of the Owner' s easement vacation request has been given as required by law, and proof of publication of said notice has been received by the City; and

WHEREAS, the City of Winter Garden is vested with home rule authority pursuant to Article VII, Section 2 of the Constitution of the State of Florida and Chapter 166, Florida Statutes, as well as the provisions of the City Charter and other law and therefore the City has

the authority to vacate easements dedicated to the City and public.

NOW THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA, AS FOLLOWS:

SECTION 1: Recitals. The above recitals are true and accurate and are incorporated herein.

SECTION 2: Easement Vacation — Drainage and Utility Easements. The drainage and utility easements depicted on Exhibit "A; located at 1242 and 1248 Union Club Drive, Winter Garden, Florida, which are legally described as Lot 8, Oakland Park Unit 1A Partial Replat, according to the plat thereof, as recorded in Plat Book 84, Page 121, of the Public Records of Orange County, Florida; and Lot 9, Oakland Park Unit 1A, according to the plat thereof, as recorded in Plat Book 70, Page 33, of the Public Records of Orange County, Florida, are hereby vacated and annulled. The other easements dedicated on the plat over, under and through the Lots shall continue to exist.

SECTION 3: Effective Date. This Ordinance shall take effect immediately.

SECTION 4: Recording. A certified copy of this Ordinance shall be recorded in the public records of Orange County, Florida by the City Clerk.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

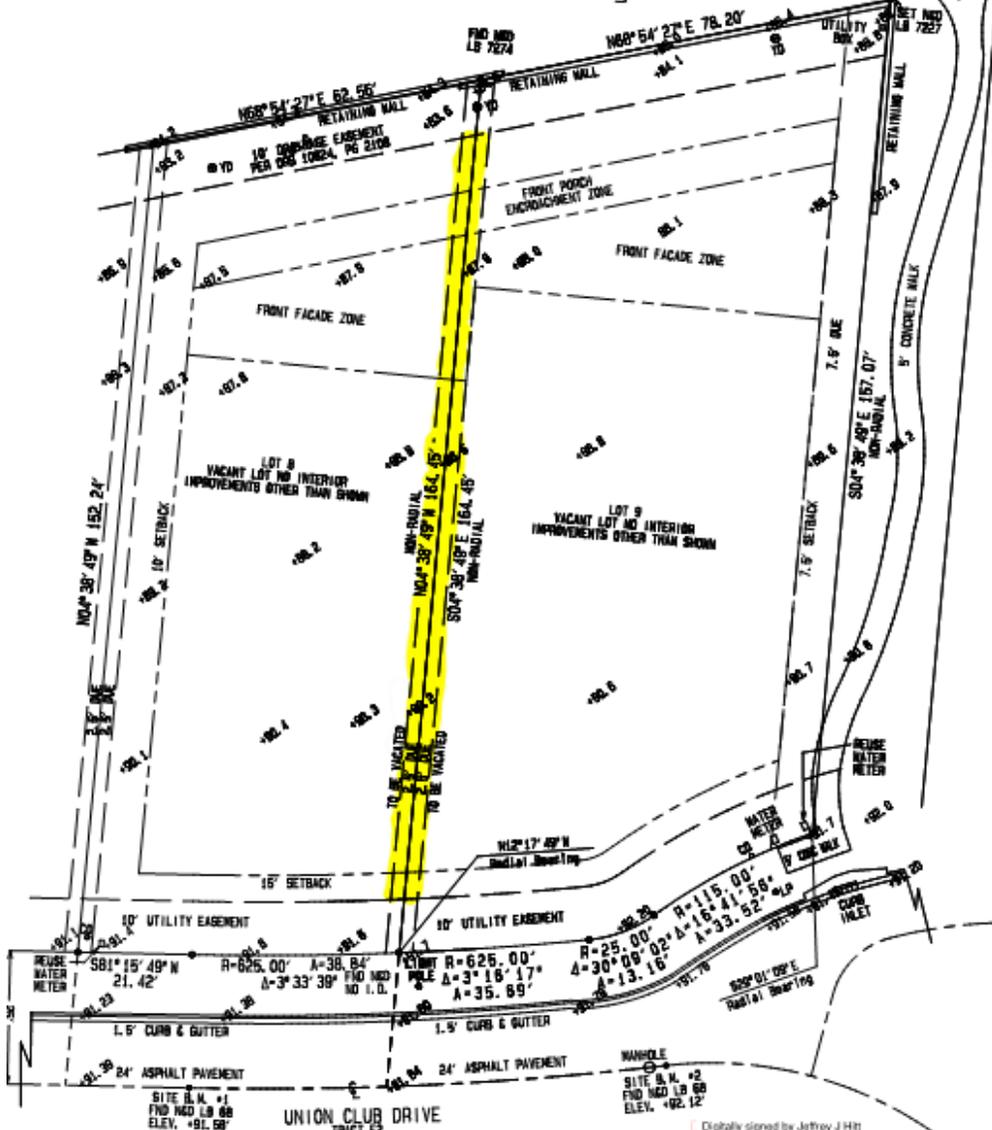
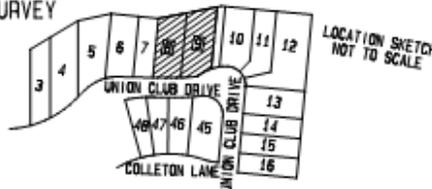
ATTEST:

City Clerk

Exhibit A

SKETCH OF BOUNDARY/TOPOGRAPHIC SURVEY

LEGAL DESCRIPTION:
 Lot 8, OAKLAND PARK UNIT 1A PARTIAL RE-PLAT, according to the plat thereof as recorded in Plat Book 84, Page 121 of the Public Records of Orange County, Florida and Lot 9, OAKLAND PARK UNIT 1A, according to the plat thereof as recorded in Plat Book 70, Pages 33 through 39 of the Public Records of Orange County, Florida.



Jeffrey J Hitt

Digitally signed by Jeffrey J Hitt
 DN: cn=J.S. Hitt Land Surveyors Inc., ou=A01427E000016886934F2A000128, email=cn=Jeffrey J Hitt, Date: 2019.11.19 16:24:09 -0500

BEACH MARK UTILIZED: ORANGE COUNTY
 BEACH MARK L764001, PUBLISHED ELEVATION
 +13.19', N.A.S.D. 1988, CONVERTED TO
 L.G.V.D. 1985, +114.08'

ONE-DIMENSIONAL UTILITY EASEMENT
 ONE-DIMENSIONAL UTILITY EASEMENT
 ALL PROPERTY CORNERS ARE SET FROM NEAR
 S.W. 1/4 7227 UNLESS OTHERWISE NOTED

JEFFREY J. HITT PROFESSIONAL SURVEYOR & MAPPER NO. 4717 STATE OF FLORIDA

ORDER #	FOR	DATE
1909017	J&J BUILDING, LLC	7/26/18
REVISIONS		
1908019	COMBINE LOTS 8 AND 9	9/05/19

NOTES:
 Certification of Authorization LB 7227
 Certification to date of field work & not signature date.
 Bearings shown are based on the Centerline of Union Club Drive at Lot 8, Oakland Park Unit 1A, N 81° 25' 45" E. (Assumed Meridian).
 +102.0 indicates existing elevations.
 (Elev.) indicates proposed grades.
 Elevations per N.G.V.D. 1988.

FLOOD ZONE: X
BASE FLOOD ELEV: N/A
MAP #: 120000018 F
EFFECTIVE DATE: 09/26/09
LOT CONTAINS: 0.969 ACRES +/-

SCALE: 1" = 20'
FIELD BOOK: 122-9

Not valid without the signature and the official seal of a Florida licensed surveyor and mapper.

HITT LAND SURVEYORS, INC.
 318 SWEETWATER CREEK DRIVE N., LONGWOOD, FLORIDA, 32779, 407-772-0248 FAX 407-772-0248
 LAND SURVEYS ◦ SUBDIVISIONS ◦ CONSTRUCTION SURVEYS

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: January 02, 2020 **Meeting Date:** January 09, 2020

Subject: 15155 E. Oakland Ave
Ordinance 20-01, 20-02, and 20-03
PARCEL ID # 21-22-27-0000-00-125

Issue: The applicant is requesting to annex the 1.16 +/- acre property into the City as well as change the zoning and future land use designation.

Discussion: The applicant has requested annexation into the City, amendment to the Future Land Use Map (FLUM) of the City's Comprehensive Plan to designate the property as City Low Density Residential, and rezoning the property to R-1 Residential District. Annexation will provide a more efficient delivery of services to the property and further the goals and objectives of the City's Comprehensive Plan.

Recommended Action:

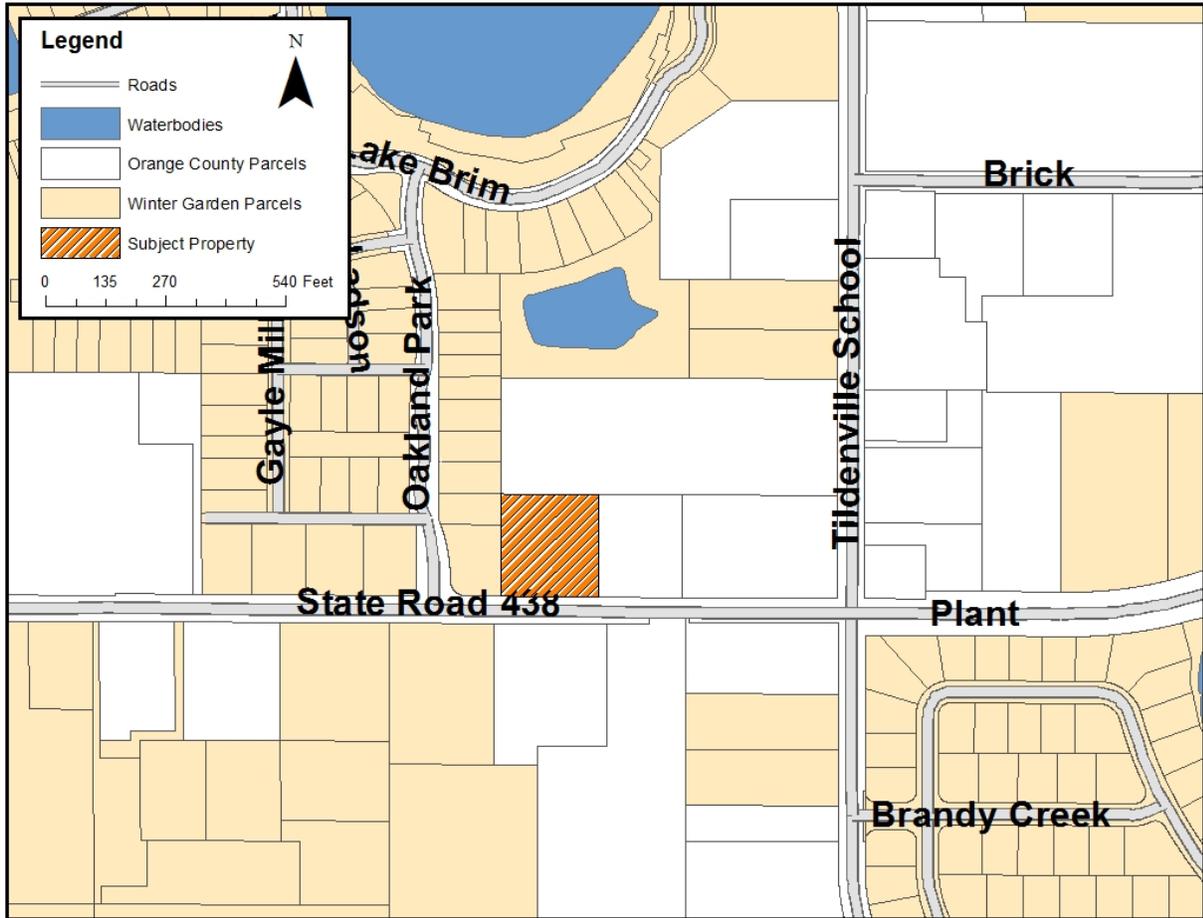
Staff recommends approval of Ordinance 20-01, 20-02, and 20-03.

Attachment(s)/References:

Location Map
Ordinance 20-01, 20-02, and 20-03
Staff Report

LOCATION MAP

15155 E. Oakland Avenue



ORDINANCE 20-01

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 1.16 ± ACRES LOCATED AT E. OAKLAND AVENUE; NORTH OF STATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF OAKLAND PARK BLVD; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of the land, generally described as approximately 1.16 ± acres located at E. Oakland Avenue; north of State Road 438 E. Oakland Avenue, west of Tildenville School Road, and east of Oakland Park Blvd and legally described in Section 2 of this Ordinance, which land is reasonably compact and contiguous to the corporate limits of the City of Winter Garden, Florida ("City"), has, pursuant to the prerequisites and standards set forth in § 171.044, Fla. Stat., petitioned the City Commission for voluntary annexation;

WHEREAS, the petition for voluntary annexation referenced herein bears the signatures of all owners of the property or properties described in Section II of this Ordinance (*i.e.*, the property or properties to be annexed); and

WHEREAS, the City has determined that the property described in Section II of this Ordinance is located in an unincorporated area of the County and that annexation of such property will not result in the creation of an enclave.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I: *Annexation.* That the City Commission through its Planning and Zoning Board has conducted an investigation to determine whether the described property meets the prerequisites and standards set forth in Chapter 171, Fla. Stat. and has held a public hearing and said petition and made certain findings.

SECTION II: *Description of Area Annexed.* That, after said public hearing and having found such petition meets said prerequisites and standards, the property legally defined in ATTACHMENT "A" and graphically shown in ATTACHMENT "B" shall be annexed into the City of Winter Garden, Florida.

SECTION III: *Effect of Annexation.* That the City of Winter Garden, Florida, shall have all of the power, authority, and jurisdiction over and within the land as described in Section 2 hereof, and the inhabitants thereof, and property therein, as it does and have

over its present corporate limits and laws, ordinances, and resolutions of said City shall apply and shall have equal force and effect as if all territory had been part of said City at the time of the passage of such laws, ordinances, and resolutions.

SECTION IV: *Apportionment of Debts and Taxes.* Pursuant to § 171.061, Fla. Stat., the area annexed to the City shall be subject to all taxes and debts of the City upon the effective date of annexation. However, the annexed area shall not be subject to municipal ad valorem taxation for the current year if the effective date of the annexation falls after the City levies such tax.

SECTION V: *Instructions to Clerk.* Within seven (7) days following the adoption of this Ordinance, the City Clerk or his/her designee is directed to file a copy of this ordinance, including ATTACHMENT "A" hereto, with the clerk of the circuit court and the chief administrative officer of Orange County as required by § 171.044(3), Fla. Stat.

SECTION VI: *Severability.* Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

SECTION VII: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2019.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

Parcel ID # 2-21-22-27-0000-00-125

A parcel of land being a Portion of the Northeast1/4 of the Southeast1/4 of Section21, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

Commence at the Southeast Corner of the Northeast1/4 of the Southeast 1/4 of Section 21, Township 22 South, Range 27 East, Orange County, Florida, thence run 324.00 feet West and 30.00 feet North to the intersection of the North Right-of-way line of State Road 438 and the West Right-of-way line of State Road 545; thence along the North Right-of-way line of State Road 438, South 89'56'47" West, a distance of 536.78 feet to a point, said point being the POINT OF BEGINNING of the herein described property; thence continue along said North Right-of-way line, South89'56'47" West, a distance of 205.00 feet to a point; thence departing said North Right-of-way line, along a line parallel to the West Right-of-way line of State Road 545, North 00'12'25" West, a distance of 231.00 feet to a point; thence along a line parallel with the North Right-of-way line of State Road 438, North 89'56'47" East, a distance of 205.00 feet to a point; thence along a line parallel to the West Right-of-way line of State Road 545, South 00'12'25" East, a distance of 231.00 feet to the above described POINT OF BEGINNING.

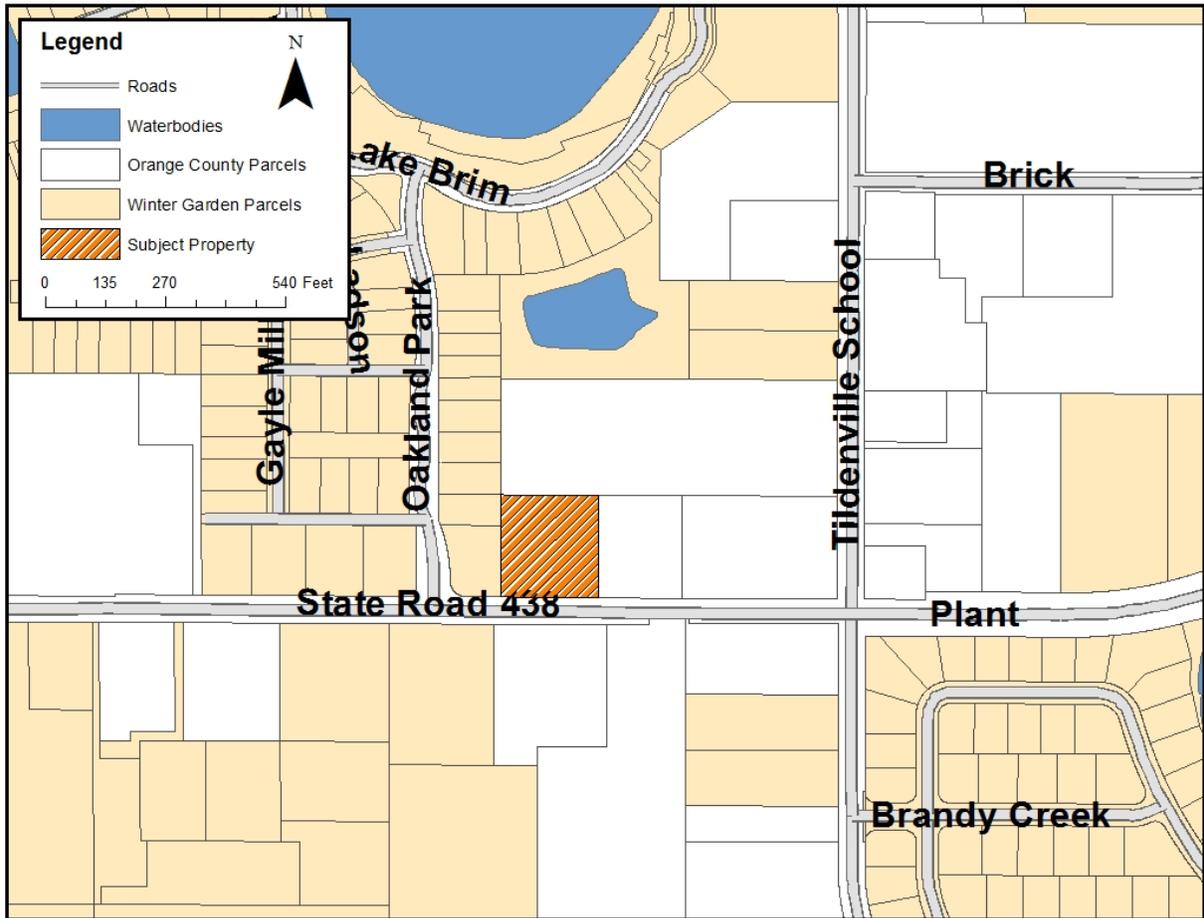
AND

That part of Section 21, Township 22 South, Range 27 East, Orange County, Florida, lying East of Lots 80 and 81, OAKLAND PARK UNIT 1B—1A, according to the Plat thereof, as recorded in Plat Book 76, Pages 8 through 10, of the Public Records of Orange County, Florida, South of the Westerly prolongation of the North line of Parcel 2 as described in Official Records Book 8753, Page 2851, of the Public Records of Orange County, Florida, West of said Parcel 2 as described in Official Records Book 8753, Page 2851, and North of the North right-of-way line of County Road 438 (Oakland Avenue) (formerly known as State Road No. 438), as recorded in Road Plat Book 2, Pages 1 through 8, of the Public Records of Orange County, Florida.

ATTACHMENT "B"

LOCATION MAP

E. Oakland Avenue



ORDINANCE 20-02

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS 1.16 ± ACRES OF LAND LOCATED AT E. OAKLAND AVENUE; NORTH OF STATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF OAKLAND PARK BLVD FROM ORANGE COUNTY LOW DENSITY RESIDENTIAL TO CITY LOW DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on the 13th of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24th of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden;

WHEREAS, the owner of that certain real property generally described as 1.16 ± acres of land located at E. Oakland Avenue; north of State Road 438 E. Oakland Avenue, west of Tildenville School Road, and east of Oakland Park Blvd, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from Orange County Low Density Residential to City Low Density Residential; and

WHEREAS, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by designating the aforesaid Property to City Low Density Residential as set forth in ATTACHMENT "B".

SECTION II. *Effective Date.* Provided that the Property described herein is annexed into the City of Winter Garden pursuant to Ordinance 20-01, this Ordinance shall become effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order

determining that the adopted Ordinance is in compliance.

SECTION III. Severability. Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2019.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

Parcel ID # 2-21-22-27-0000-00-125

A parcel of land being a Portion of the Northeast1/4 of the Southeast1/4 of Section21, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

Commence at the Southeast Corner of the Northeast1/4 of the Southeast 1/4 of Section 21, Township 22 South, Range 27 East, Orange County, Florida, thence run 324.00 feet West and 30.00 feet North to the intersection of the North Right-of-way line of State Road 438 and the West Right-of-way line of State Road 545; thence along the North Right-of-way line of State Road 438, South 89°56'47" West, a distance of 536.78 feet to a point, said point being the POINT OF BEGINNING of the herein described property; thence continue along said North Right-of-way line, South89°56'47" West, a distance of 205.00 feet to a point; thence departing said North Right-of-way line, along a line parallel to the West Right-of-way line of State Road 545, North 00°12'25" West, a distance of 231.00 feet to a point; thence along a line parallel with the North Right-of-way line of State Road 438, North 89°56'47" East, a distance of 205.00 feet to a point; thence along a line parallel to the West Right-of-way line of State Road 545, South 00°12'25" East, a distance of 231.00 feet to the above described POINT OF BEGINNING.

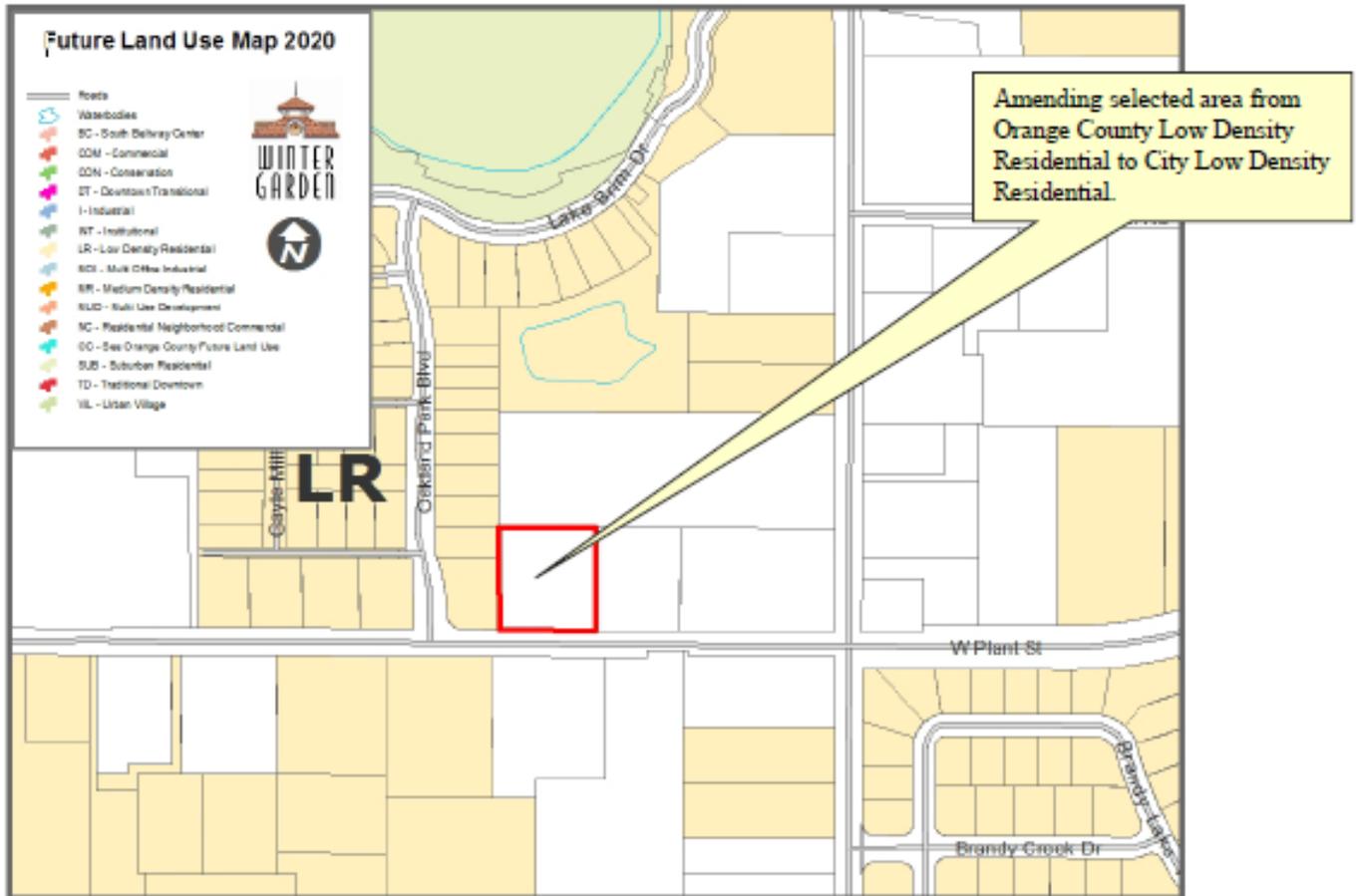
AND

That part of Section 21, Township 22 South, Range 27 East, Orange County, Florida, lying East of Lots 80 and 81, OAKLAND PARK UNIT 1B—1A, according to the Plat thereof, as recorded in Plat Book 76, Pages 8 through 10, of the Public Records of Orange County, Florida, South of the Westerly prolongation of the North line of Parcel 2 as described in Official Records Book 8753, Page 2851, of the Public Records of Orange County, Florida, West of said Parcel 2 as described in Official Records Book 8753, Page 2851, and North of the North right-of-way line of County Road 438 (Oakland Avenue) (formerly known as State Road No. 438), as recorded in Road Plat Book 2, Pages 1 through 8, of the Public Records of Orange County, Florida.

ATTACHMENT "B"

FUTURE LAND USE MAP

E. Oakland Avenue



ORDINANCE 20-03

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 1.16 ± ACRES LOCATED AT E.OAKLAND AVENUE; NORTH OF STATE ROAD 438 E. OAKLAND AVENUE, WEST OF TILDENVILLE SCHOOL ROAD, AND EAST OF OAKLAND PARK BLVD; FROM ORANGE COUNTY A-1 CITRUS RURAL DISTRICT TO CITY R-1 SINGLE FAMILY RESIDENTIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of that certain real property generally described as approximately 1.16 ± acres located at E. Oakland Avenue; north of State Road 438 E. Oakland Avenue, west of Tildenville School Road, and east of Oakland Park Blvd, and legally described in Section I of this ordinance has petitioned the City to rezone said property from Orange County A-1 Citrus Rural District to the City's R-1 Single Family Residential District zoning classification, therefore; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the rezoning approved by this Ordinance is consistent with the City of Winter Garden Comprehensive Plan; and

WHEREAS, further, the City Commission finds that based on competent, substantial evidence in the record, the rezoning approved by this Ordinance meets all applicable criteria for rezoning the Property to R-1 Single Family Residential District contained within the City of Winter Garden Comprehensive Plan and the Code of Ordinances.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I: *Rezoning.* The above "Whereas" clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of real property legally described on ATTACHMENT "A," is hereby rezoned from Orange County A-1 Citrus Rural District to City R-1 Single Family Residential District in the City of Winter Garden, Florida.

SECTION II: *Zoning Map.* The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION III: *Non-Severability.* Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION IV: Effective Date. This Ordinance shall become effective simultaneously upon the effective date of Ordinance 20-02 which is an amendment to the Future Land Use Map of the City of Winter Garden Comprehensive Plan that allows the property described herein to be zoned as provided in this Ordinance.

FIRST READING AND PUBLIC HEARING: _____, 2019.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGLEA GRIMMAGE, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

Parcel ID # 2-21-22-27-0000-00-125

A parcel of land being a Portion of the Northeast1/4 of the Southeast1/4 of Section21, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

Commence at the Southeast Corner of the Northeast1/4 of the Southeast 1/4 of Section 21, Township 22 South, Range 27 East, Orange County, Florida, thence run 324.00 feet West and 30.00 feet North to the intersection of the North Right-of-way line of State Road 438 and the West Right-of-way line of State Road 545; thence along the North Right-of-way line of State Road 438, South 89'56'47" West, a distance of 536.78 feet to a point, said point being the POINT OF BEGINNING of the herein described property; thence continue along said North Right-of-way line, South89'56'47" West, a distance of 205.00 feet to a point; thence departing said North Right-of-way line, along a line parallel to the West Right-of-way line of State Road 545, North 00'12'25" West, a distance of 231.00 feet to a point; thence along a line parallel with the North Right-of-way line of State Road 438, North 89'56'47" East, a distance of 205.00 feet to a point; thence along a line parallel to the West Right-of-way line of State Road 545, South 00'12'25" East, a distance of 231.00 feet to the above described POINT OF BEGINNING.

AND

That part of Section 21, Township 22 South, Range 27 East, Orange County, Florida, lying East of Lots 80 and 81, OAKLAND PARK UNIT 1B—1A, according to the Plat thereof, as recorded in Plat Book 76, Pages 8 through 10, of the Public Records of Orange County, Florida, South of the Westerly prolongation of the North line of Parcel 2 as described in Official Records Book 8753, Page 2851, of the Public Records of Orange County, Florida, West of said Parcel 2 as described in Official Records Book 8753, Page 2851, and North of the North right-of-way line of County Road 438 (Oakland Avenue) (formerly known as State Road No. 438), as recorded in Road Plat Book 2, Pages 1 through 8, of the Public Records of Orange County, Florida.

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

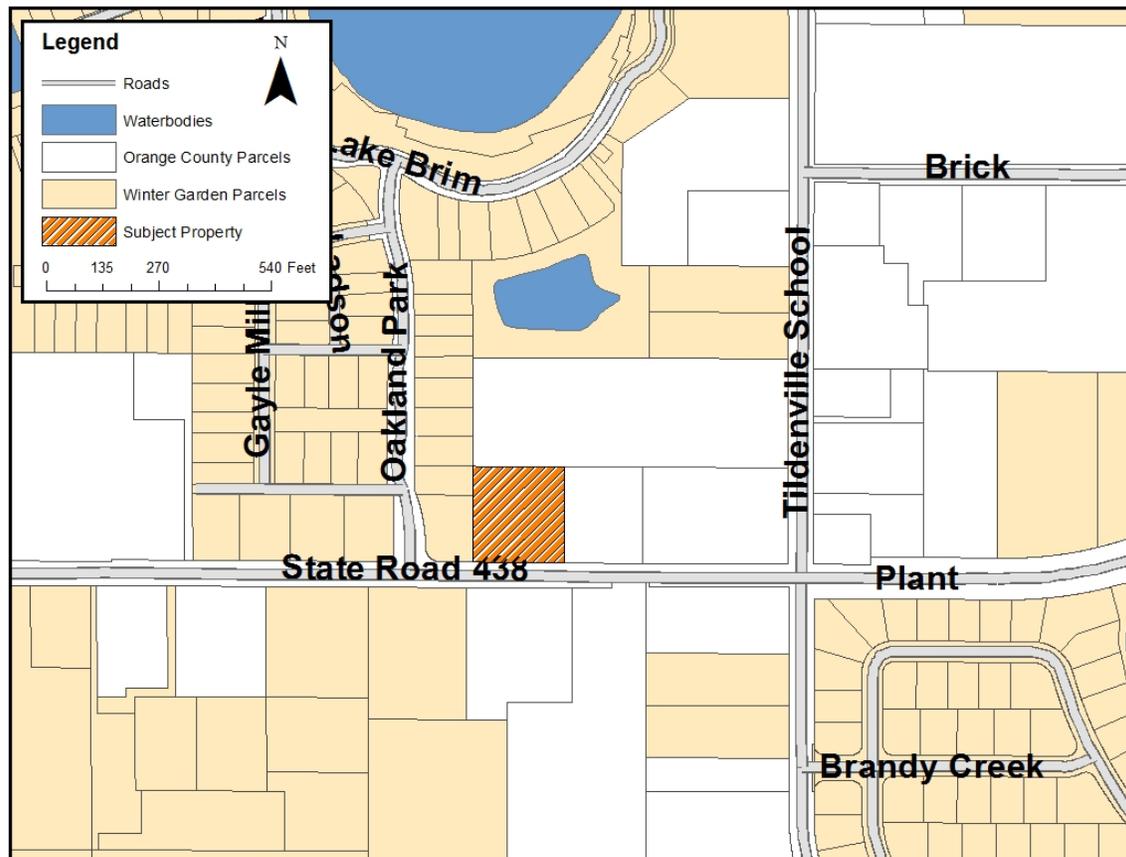
TO: PLANNING AND ZONING BOARD
PREPARED BY: Soraya Karimi, Planner I
DATE: December 2, 2019
SUBJECT: ANNEXATION – FLU—ZONING
E. Oakland Ave (1.16 +/- ACRES)
PARCEL ID # 21-22-27-0000-00-125

APPLICANT: Jesus F. Ramos

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property, located at E. Oakland Avenue, is approximately 1.16 ± acres. The map below depicts the proximity of the subject property to the City of Winter Garden municipal limits:



The applicant has requested annexation into the City, amendment to the Future Land Use Map (FLUM) of the City's Comprehensive Plan to designate the property as City Low Density Residential, and assigned zoning designation of R-1.

In accordance with the City's Comprehensive Plan, Properties designated with the Low Density Residential land use category are required to be developed at a gross residential density no greater than 6 dwelling units per acre and will be identified on the Future Land Use Map only in areas that are either similar in nature (i.e. have the same type of density of existing neighborhoods) or where environmental factors require low residential densities. Factors in determining this land use category included proximity to natural resources and urban services, availability of public facilities, and the characteristics of nearby existing and future neighborhoods. Churches and schools may be allowed via a Special Exception Permit. The zoning classifications that are consistent with the Low Density Residential classification are PUD, R-1A, R-1B, R-1, R-4, and R-5.

The City endorses infill of its jurisdictional limits through voluntary annexation of enclaves. The elimination of enclaves through voluntary annexation furthers the goals, objectives, and policies of the City's Comprehensive Plan.

EXISTING USE

The property located at E. Oakland Avenue currently is undeveloped non agricultural acreage. The gross land area is 1.16 +/- acres.

ADJACENT LAND USE AND ZONING

The properties to the west of the subject property are within the City's municipal boundaries, and are Oakland Park subdivision units, zoned PUD. The properties to the north of the subject property are unincorporated County land, zoned A-1, and Oakland Park subdivision units located in the City of Winter Garden municipal limits, zoned PUD. The properties to the south of the subject property are beyond SR 438 E. Oakland Avenue and are unincorporated County single family residential, zoned A-1, and vacant residential within City municipal limits, zoned R-1. The property to the east of the subject property is zoned County A-1 and is single family residential.

PROPOSED USE

The applicants are requesting to annex 1.16 ± acres of the subject property into the City in order to develop the property with a single family residential home.

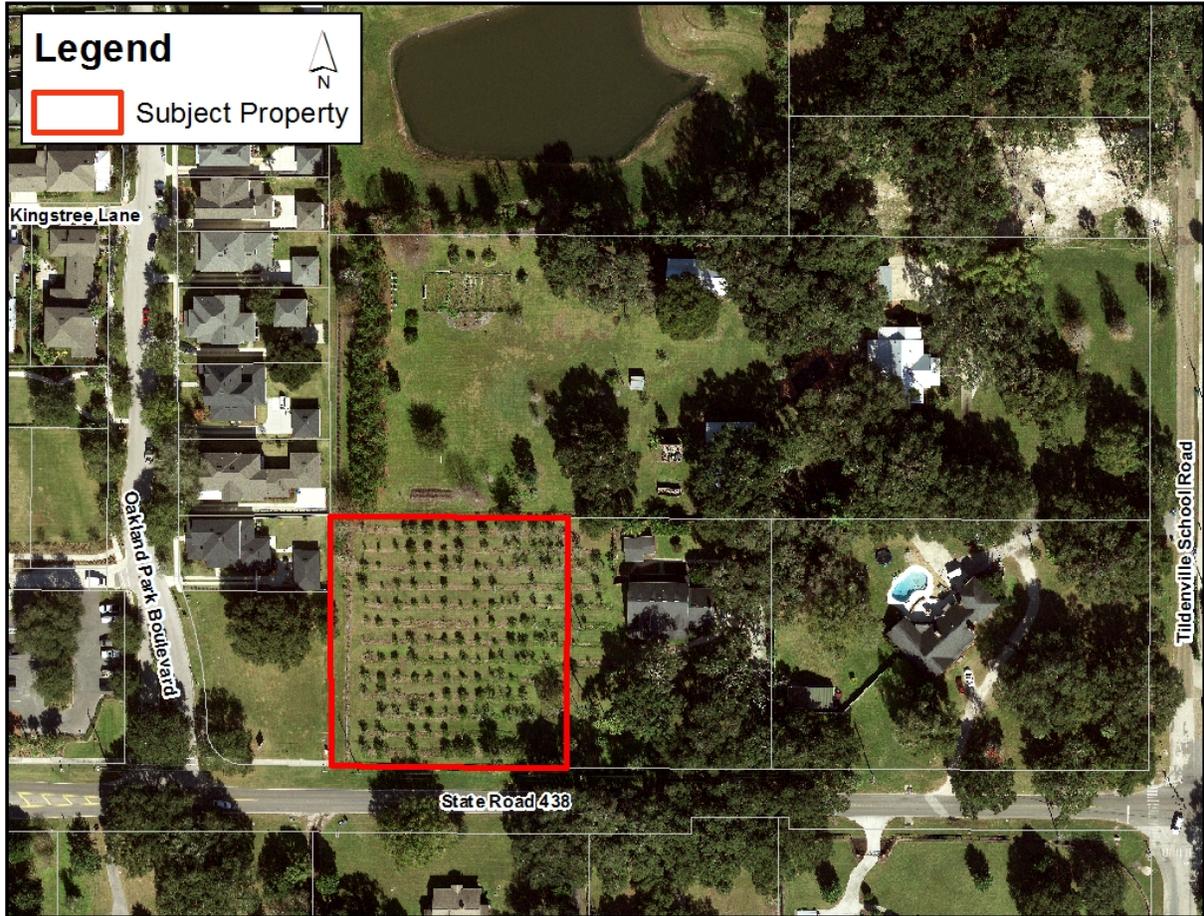
PUBLIC FACILITY ANALYSIS

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

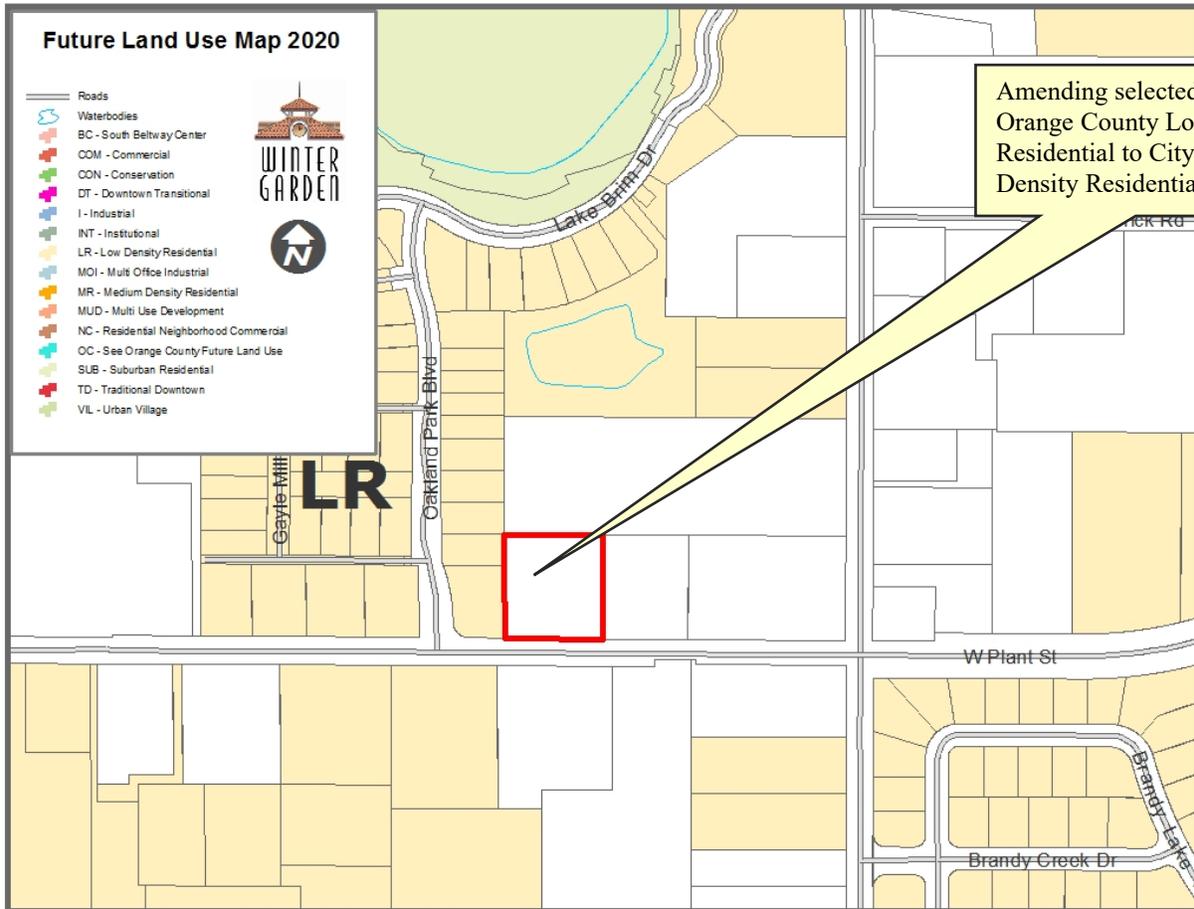
SUMMARY

Annexation will provide a more efficient delivery of services to the properties and further the goals and objectives of the City of Winter Garden's Comprehensive Plan.
City Staff recommends approval of Ordinances 20-01, 20-02, and 20-03.

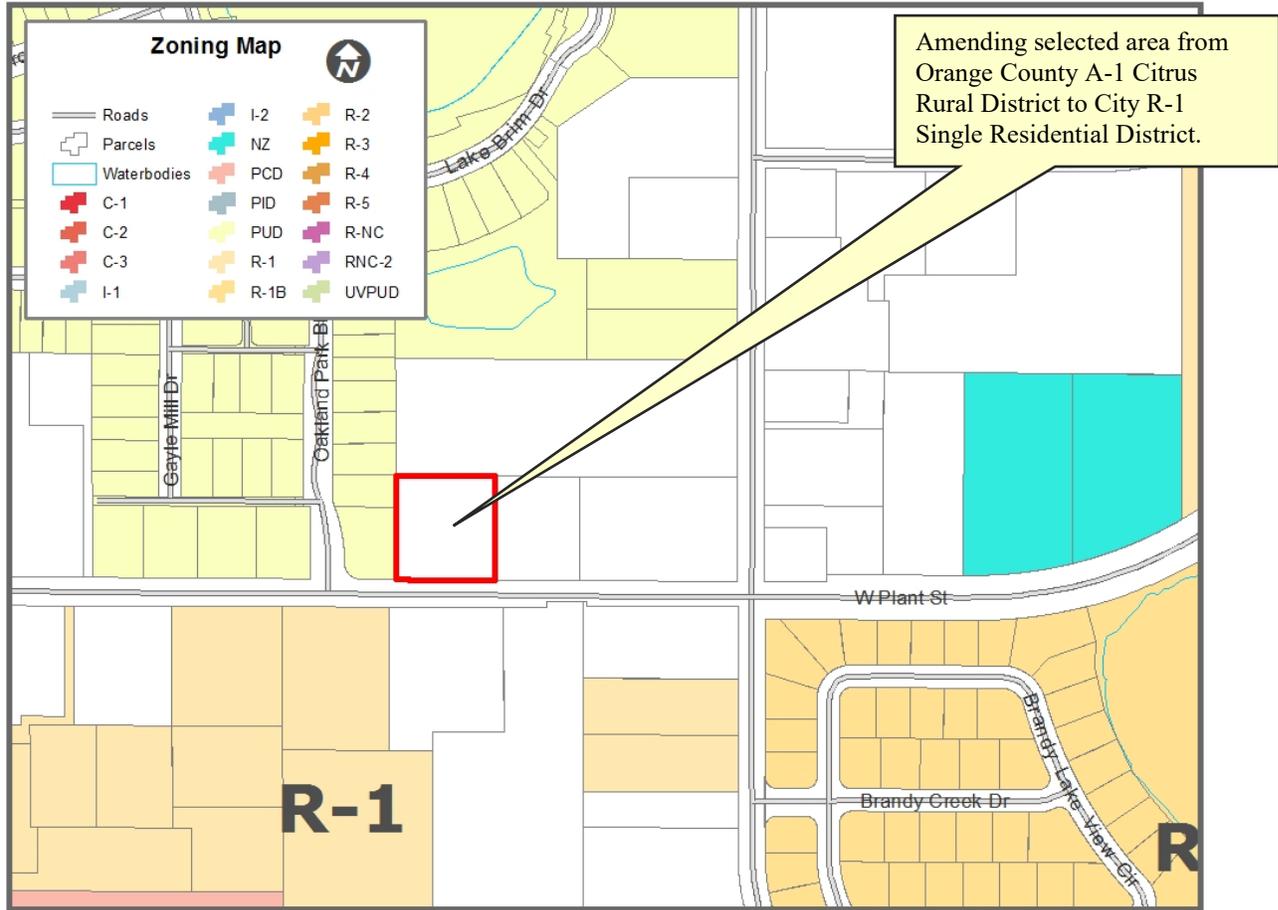
AERIAL PHOTO
E. Oakland Avenue



Future Land Use Map E. Oakland Avenue



Zoning Map E. Oakland Avenue



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: January 2, 2020 **Meeting Date:** January 9, 2020

Subject: 646 E Plant St
646 E Plant Street CAPUD Rezoning & FLU Amendment
Ordinances 20-05 & 20-06
PARCEL ID # 14-22-27-6576-00-090

Issue: At 646 E Plant St, the applicant is requesting to amend the property's Future Land Use Designation to Commercial and rezone the property to CAPUD (Character Area Planned Unit Development).

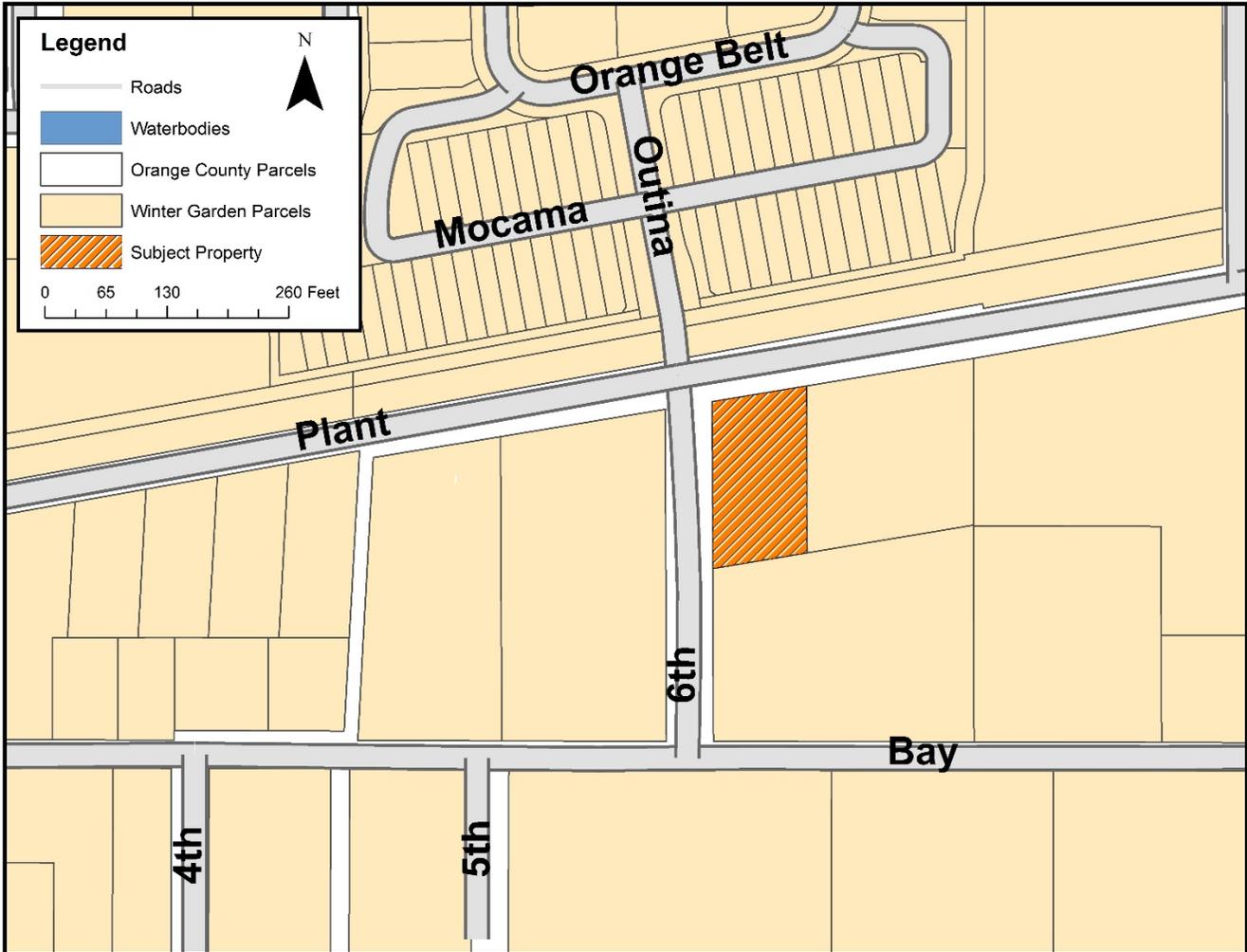
Discussion: The applicant is requesting amend the City's Comprehensive Plan to give the 0.41 acre property a FLU designation of Commercial and rezone to CAPUD to permit the redevelopment of the parcel, including demolishing a portion of the existing warehouse, renovating the interior of the remaining building, and constructing a new addition along E Plant Street. The project also includes associated site work such as new parking areas, streetscape improvements, a courtyard area, and landscaping (See Staff Report). The proposed FLU amendment and CAPUD rezoning is consistent with the City's Comprehensive Plan, the City's Code of Ordinances, and the Plant Street Character Area Overlay requirements.

Recommended Action:
Staff recommends approval and adoption of Ordinances 20-05 and 20-06.

Attachment(s)/References:
Location Map
Staff Report
Ordinance 20-06 and 20-06

LOCATION MAP

FLU & CAPUD Rezoning
646 E Plant St.



ORDINANCE 20-05

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.41 +/- ACRES OF LAND GENERALLY LOCATED AT 646 E PLANT STREET ON THE SOUTHEAST CORNER OF E PLANT STREET AND 6TH STREET, FROM INDUSTRIAL TO COMMERCIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on the 13th of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24th of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden;

WHEREAS, the owner of that certain real property generally described as approximately 0.41 ± acres located at 646 E Plant Street on the southeast corner of E Plant Street and 6th Street, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from Industrial to Commercial; and

WHEREAS, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by designating the aforesaid Property to Commercial as set forth in ATTACHMENT "B".

SECTION II. *Effective Date.* This Ordinance shall become effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order determining that the adopted Ordinance is in compliance.

SECTION III. *Severability.* Should any portion of this Ordinance be held invalid, then

such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2019.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

ATTACHMENT "A"
LEGAL DESCRIPTION

PARCEL ID#: 14-22-27-6576-00-090

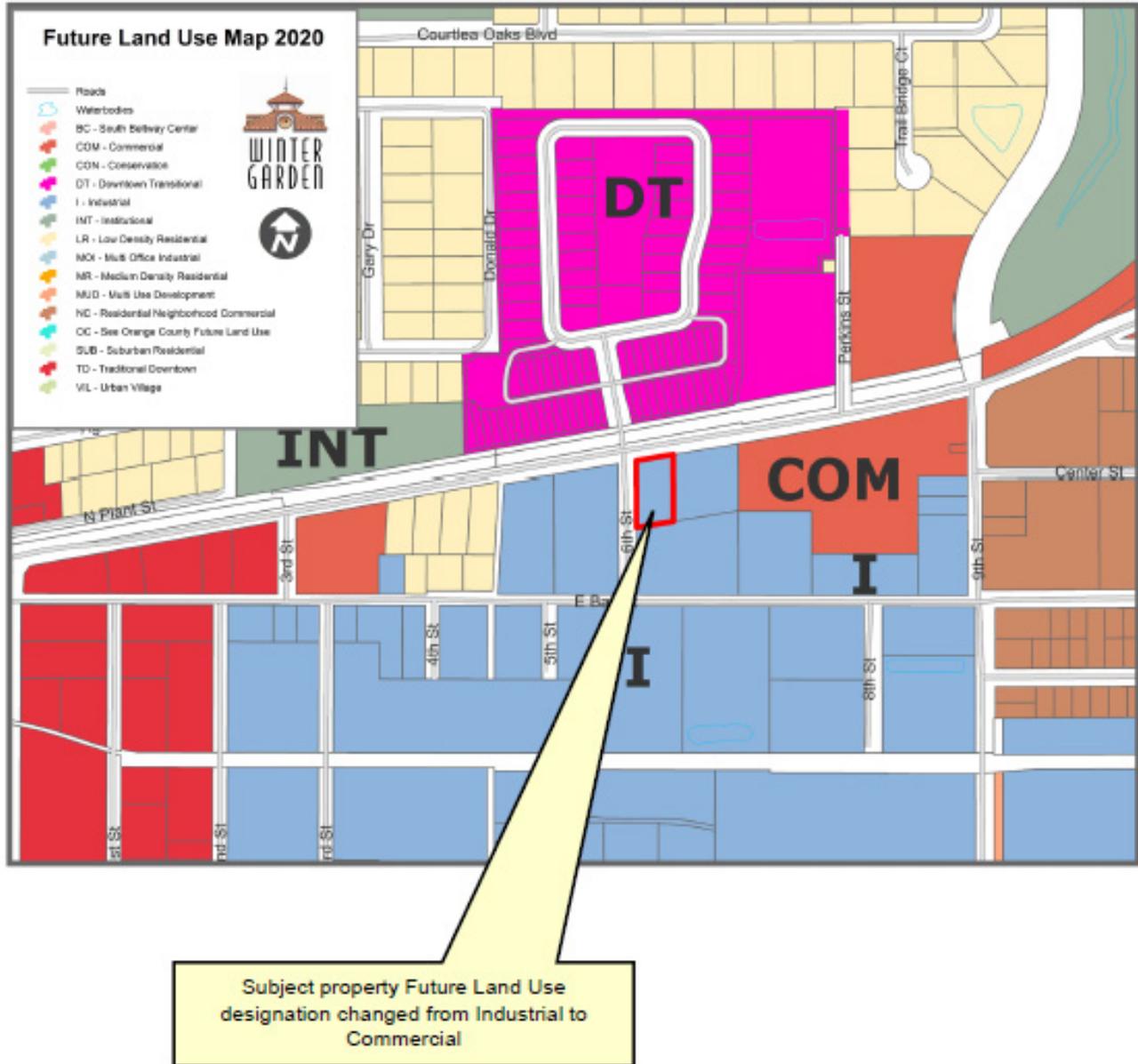
LEGAL DESCRIPTION:

LOT 9 AND LOT 10, PALM VISTA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK K, PAGE 141 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA CONTAINS 0.41 ACRES +/-

ATTACHMENT "B"

FUTURE LAND USE MAP

646 E Plant St



ORDINANCE 20-06

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.41 +/- ACRES OF LAND GENERALLY LOCATED AT 646 E PLANT STREET ON THE SOUTHEAST CORNER OF E PLANT STREET AND 6TH STREET, FROM I-2 (GENERAL INDUSTRIAL DISTRICT) TO CAPUD (CHARACTER AREA PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN CAPUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE 646 E PLANT STREET CAPUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner(s) of real property generally described as approximately 0.41 ± acres of certain real property generally located on the southeast corner of E Plant Street and 6th Street in Winter Garden, Florida, being more particularly described on Exhibit “A” attached hereto and incorporated herein by this reference (the “Property”), desire to rezone their property from I-2 (General Industrial) to CAPUD (Character Area Planned Unit Development”), and

WHEREAS, recently adopted Ordinance 17-06 amended Chapter 118 of the City of Winter Garden Code to add a new Article XIV to establish the East Plant Street Character Area, and to add a new Division 5 of Article V to establish the Character Area Planned Unit Development zoning district; and

WHEREAS, the Planning and Zoning Board has considered this Ordinance and made a recommendation to the City Commission concerning its adoption; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the land development regulations set forth in the City of Winter Garden Code of Ordinances; and

WHEREAS, based on competent substantial evidence in the record, the requested rezoning set forth in this Ordinance meets all applicable criteria specified in the City of Winter Garden Comprehensive Plan and the Code of Ordinances; Now therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Rezoning.* After due notice and public hearing, the zoning classification of the Property, as described in Exhibit “A” attached hereto, is hereby rezoned from I-2 to CAPUD in the City of Winter Garden, Florida subject to the

following conditions, provisions and restrictions:

- a. **Conceptual Plan-** All development on the Property must substantially conform to the requirements identified in the 646 E Plant Street Character Area Planned Unit Development Plan attached hereto as Exhibit "B." Should any conflict be found between this Ordinance and the 646 E Plant Street Character Area Planned Unit Development Plan attached hereto as Exhibit "B", then the standards and conditions established by this Ordinance shall control.
- b. **Zoning-** Unless specifically noted elsewhere in Exhibit "B" attached hereto, or expressly provided for herein, all development on the Property must comply with the general zoning requirements of the Character Area Planned Unit Development zoning district and the development standards of the East Plant Street Character Area and its East Plant District overlay area. These requirements include any approval procedures of the Planned Unit Development zoning district.
- c. **Permitted Uses-** The permitted uses for the Property are as follows:
 1. Professional Offices.
 2. Medical Offices.
 3. Retail.
 4. Personal Services.
 5. Food and beverage service such as cafes, coffee shops, etc.
 6. Customary accessory uses and structures clearly incidental and subordinate to a principal use.

Provided however, if a specific use is prohibited by subsection e., it shall not be permitted. Subsection e. shall control in the event of a conflict between subsection c. and subsection e. Further, subsection e. shall control in the event of a conflict between subsection d. and subsection e.

- d. **Special Exception Uses-** The special exception uses for the Property are as follows:
 1. Other uses which the Planning and Zoning Board determines are of the type and intensity of activity similar to and compatible with the East Plant Street Character Area.
- e. **Prohibited Uses-** The prohibited uses for all areas of the Property are as follows:
 1. Any use prohibited in the C-2 Zoning Districts not specifically outlined under the Permitted or Special Exception Uses.
 2. Daycares.

3. Laboratories or Medical Screening.
4. Automobile, motorcycle, recreational vehicle or boat sales, rental, storage, painting, service or repair or any combination thereof.
5. Mini / Self Storage Facilities.
6. Pawn Shops.
7. Billboards.
8. Body Art Establishments.
9. Adult entertainment establishments or pornographic book, magazine, video and novelty stores or sales.
10. Any building with a drive-in, drive-thru, or pick-up window.
11. Any use that requires outdoor storage of materials.
12. All uses not specifically or provisionally permitted in this Ordinance; any use not in keeping with a pedestrian-oriented commercial character.

f. Design Criteria/Architectural Standards-

1. **Architectural Standards-** Any new proposed buildings or structures on the property shall adhere to the aesthetic character and design quality of the proposed architectural renderings, attached hereto as Exhibit "C".
2. **Maximum Building Height-** The maximum building height shall not exceed 40 feet.
3. **Landscape Design-** The property shall be required to adhere to the landscape design standards outlined in the Plant Street Character Area Design Plan and in accordance with Chapter 118, Article XIV of the City of Winter Garden Code of Ordinances.
4. **Site Design-** Bicycle racks, benches, and trash receptacles are required to be provided on site.
5. **Parks-** A minimum of five percent of developable area shall be reserved for park use generally consistent with the park types standards set forth in the Plant Street Character Area Design Plan.
 - a) The seating area and courtyard area design shown in Exhibit "B" is conceptual. The final design will be developed during the Site Plan review.
6. **Setbacks and Required Yards-** All buildings and accessory structures shall adhere to the setbacks outlined in the Plant Street

Character Area Design Plan and its East Plant District and in accordance with Chapter 118, Article XIV of the City of Winter Garden Code of Ordinances, with the following exceptions:

- a) Front Yard: Max: 12.5'
 - b) Street Side Yard: Min: 1.5'
 - c) Frontage (%): Min: 70%
7. **Outdoor Storage-** Outdoor storage of materials or equipment is prohibited.
8. **Signage-** All signage proposed for the Property shall comply with the Plant Street Character Area sign standards in accordance with the Plant Street Character Area Design Plan and Chapter 118, Article XIV. The signage shall be reviewed at time of Site Plan Review.
9. **Impervious Surface Area Ratio-** The maximum impervious surface area ratio for the Property shall be consistent with the overall maximum impervious surface area ratio that the Character Area Planned Unit Development is permitted by Saint John's River Water Management District.
10. **Lighting-** all exterior lighting shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles.
- a) **Street Lighting:** All lighting provided along public streets shall comply with the requirements pertaining to construction and installation of public improvements in accordance with Appendix A, Article II, Section 2.
 - b) **Site Lighting:** Vehicular, building, and pedestrian site lighting shall be designed as dark skies lighting in a consistent and coordinated manner for the entire project in compliance with the requirements of Chapter 118, Article X, Division 4 of the City Code of Ordinances. During the site plan review, a photometric lighting plan will be required.
- g. **Staff Conditions-** All development on the Property must comply with the following staff conditions:
- 1. The design of the area where the existing sidewalk meets the new proposed sidewalk will be reviewed in further detail during the Site Plan review.
 - 2. 100% of the water/sewer impact fees shall be paid prior to site or building permit issuance or execution of FDEP permit applications by the City. Sanitary laterals and pipes shall be SDR 26 per City

standards. Use City Standard Detail Sheets for utilities and public works. All on-site utilities shall be privately owned and maintained.

3. All dumpsters shall be enclosed and shall provide 12' minimum inside clearance (each way inside of bollards), and access by solid waste vehicles.
4. Permits or exemptions shall be required from SJRWMD (stormwater) and FDEP for water and sewer and FDEP NPDES NOI as may be applicable.
5. Any screen walls or retaining walls shall require a separate permit from the Building Department.
6. Fire Department shall review and comment on the rolling gate that is shown for emergency access.
7. All utilities shall conform to Chapter 78 of the City Code. Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all required water, irrigation and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.
8. If thermoplastic pipe is being specified, it shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe, laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).
9. Site lighting will be required as well as street lighting on all street frontages if not existing; all lighting shall meet dark skies requirements per City Code.
10. Minimum 5' wide concrete sidewalks shall be constructed along all street frontages pursuant to City Code, except along E Plant Street where the minimum sidewalk width shall be 12'. Existing sidewalks, curbs, & pavement will be checked at completion and any damaged sections shall be replaced.
11. Internal sidewalks shall connect to the public sidewalks in the right-of-way per ADA.
12. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
13. All work shall conform to City of Winter Garden standards and specifications.
14. The Contractor is responsible for the notification, location and

protection of all utilities that may exist within the project limits.

15. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others, including by way of any development order or permit issued. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City shall not be responsible and any corrective measures required will be the responsibility of the Owner/Developer. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
16. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

SECTION 2: *General Requirements.*

- a. **Development Agreement-** If deemed necessary by City Staff, a Development Agreement shall be drafted, approval obtained and recorded prior to approval of any site or building permits for the Property.
- b. **Stand Alone Clause-** Each phase of development of the Property must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.
- c. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- d. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major

amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.

- e. **Expiration/Extension-** Expiration of this CAPUD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION 3: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 4: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 5: Effective Date. This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2019.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

Exhibit "A"

PARCEL ID#: 14-22-27-6576-00-090

LEGAL DESCRIPTION:

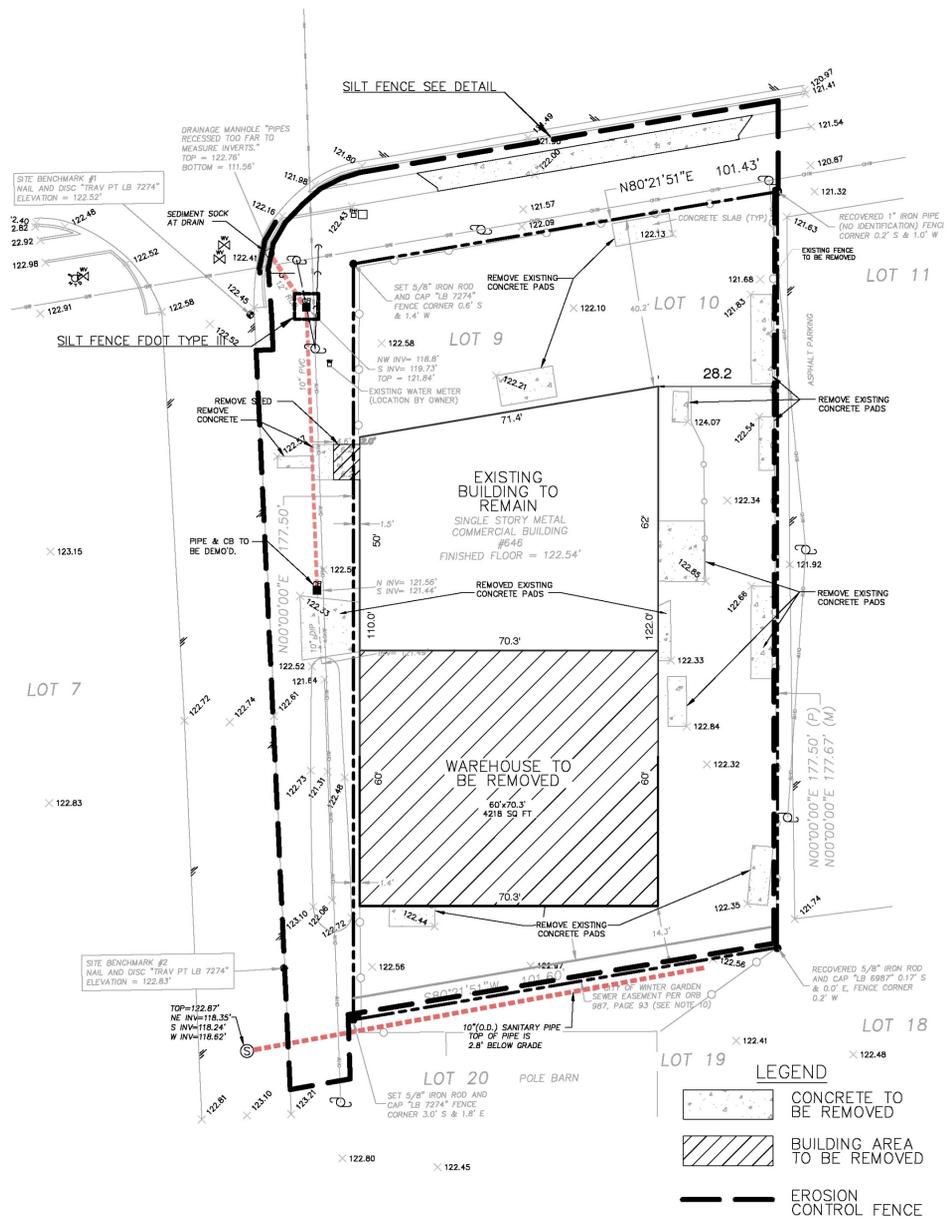
LOT 9 AND LOT 10, PALM VISTA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK K, PAGE 141 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA CONTAINS 0.41 ACRES +/-

Exhibit "B"

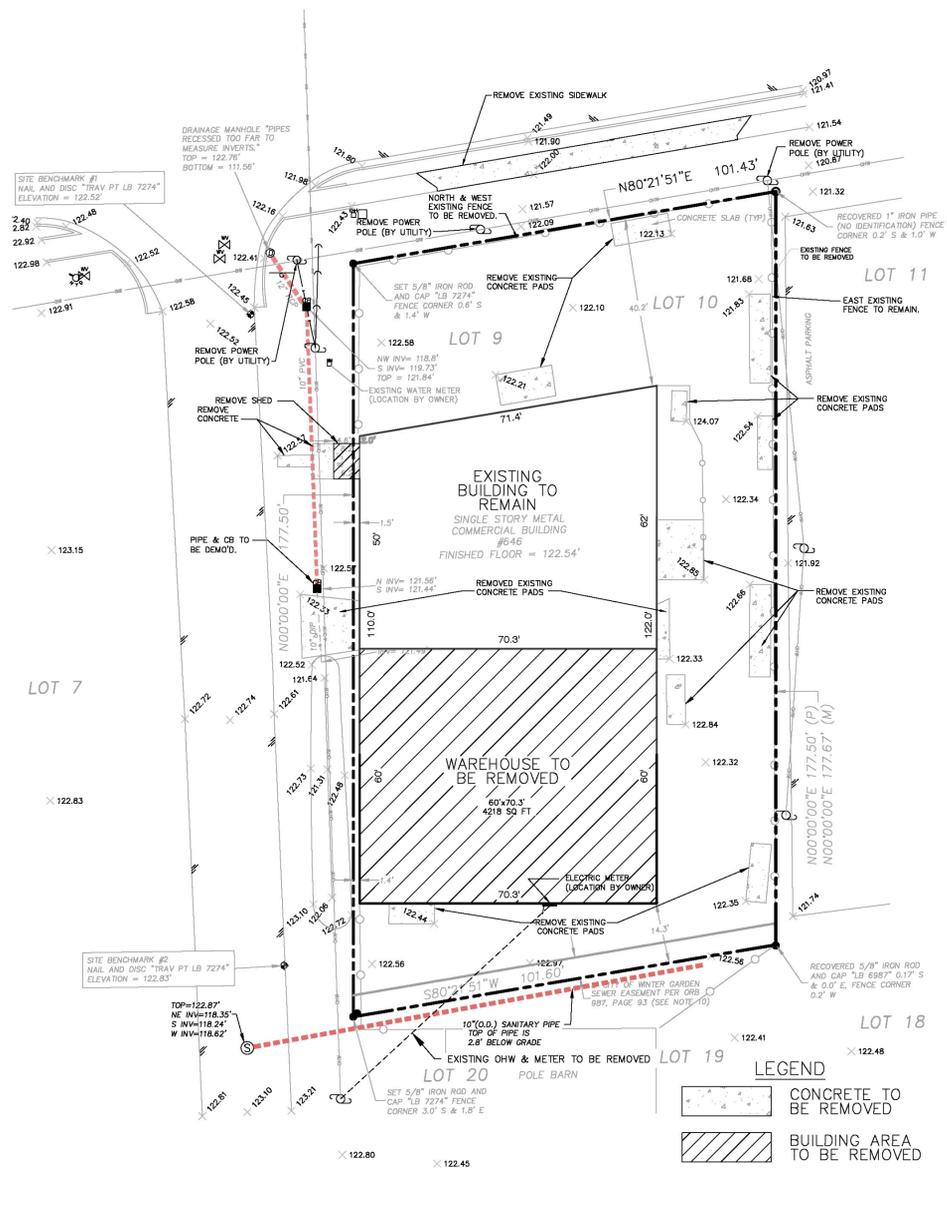
COVER PAGE

**646 E Plant Street
CAPUD PLAN**

(11 PAGES - ATTACHED)

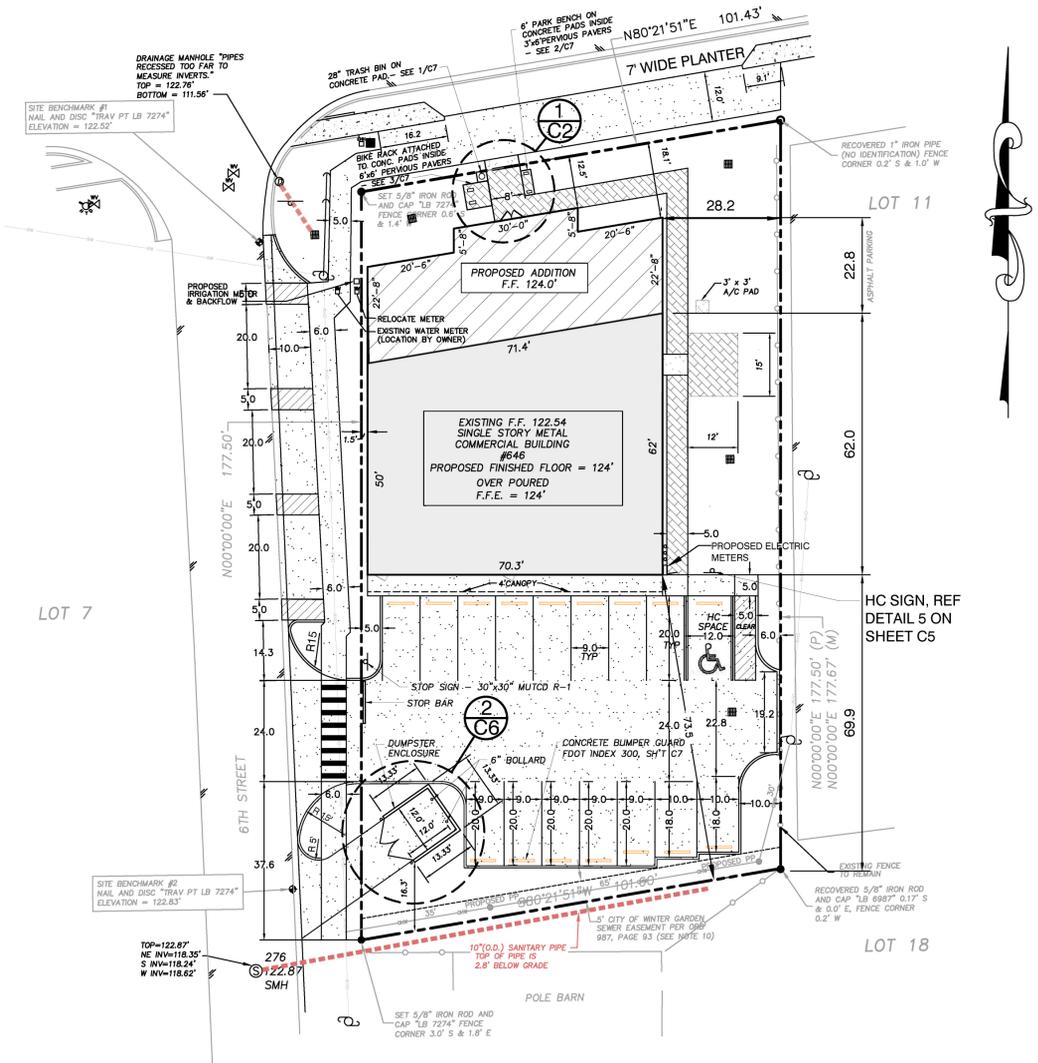


EROSION CONTROL PLAN
SCALE: 1:20



DEMOLITION PLAN
SCALE: 1:20

PROJECT IDENTIFICATION	
THIS PLAN IS FOR CONSTRUCTION ON PROPERTY AT:	
646 EAST PLANT STREET WINTER GARDEN, FL 34787	
NO RESPONSIBILITY IS ACCEPTED BY RICHARDSON ENGINEERING FOR ANY OTHER LOCATION. LOCATION OF PROJECT IS REQUIRED PER DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION RULE 61G1-16.004 REQUIRING PROJECT IDENTIFICATION.	
DO NOT MASTER FILE THIS DRAWING	
 RICHARDSON ENGINEERING SEALED BY RICHARD B. RICHARDSON, P.E. 131 ZELMA STREET ORLANDO FLORIDA 32803 (407) 425 - 4002 LIC# 00012380 ID# EB 26251	
PROJECT: WINGATE OFFICE	
CLIENT: DON WINGATE	
JOB#: 170077	DATE: 8/21/2018
SHEET C1 OF 12	DRAWN BY: WRJ

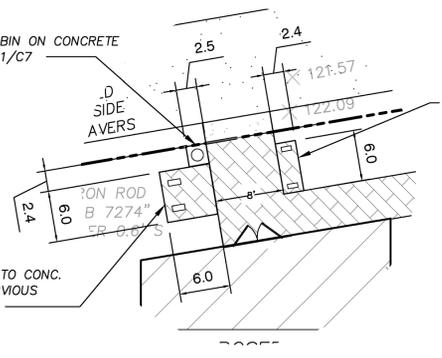


GEOMETRY, PARKING & STRIPING PLAN

SCALE: 1:20

NOTE: ALL WORK SHALL CONFORM TO CITY OF WINTER GARDEN STANDARDS AND SPECIFICATIONS.

BIKE RACK ATTACHED TO CONC. PADS INSIDE 6'x6' PERVIOUS PAVERS - SEE 3/C7

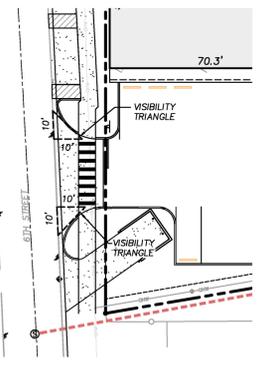


GEOMETRY DETAIL

SCALE: 1:30

LINE OF SIGHT PLAN

SCALE: 1:30



EXISTING NORTH ELEVATION

SITE DATA

EXISTING DEVELOPED CONDITIONS:

TOTAL GROSS AREA 0.41 ACRES +/-	17859.6 SQ.FT.
TOTAL BUILDING AREA	8225.1 SQ.FT.
FLOOR AREA RATIO	8225.1/17859.6=0.46 = 46%
TOTAL IMPERVIOUS AREA	9022.1 SQ.FT.
IMPERVIOUS SURFACE RATIO	9022.1/17859.6=0.51 = 51%

PROJECT DESCRIPTION: THE PROJECT INCLUDES CONSTRUCTION OF A BUILDING ADDITION TO AN EXISTING WAREHOUSE, WITH AN OVERPOUR OF THE EXISTING WAREHOUSE FLOOR. THE PLANT STREET SIDEWALK MEETING PLANT STREETSCAPE STANDARDS. CONSTRUCTION OF SIDEWALK ON 6TH AND THE STREETSIDE PARKING THAT IS INCLUDED IN REQUIRED PARKING FOR THE BUILDING. CONSTRUCTION OF A SEWER LATERAL CONNECTION TO AN EXISTING SANITARY MAIN IN THE EXISTING EASEMENT. CONSTRUCTION OF POWER POLES AND ELECTRIC SERVICE BY DUKE ENERGY IN THE EXISTING EASEMENT. CONSTRUCTION OF A STORM SYSTEM, CONNECTION TO THE EXISTING STORM MANHOLE ON 6TH. PRE-APPROVED PER CITY OF WINTER GARDEN, DRAINAGE FROM EXISTING AND PROPOSED IMPROVEMENTS ARE ALLOWED TO CONTINUE TO DRAIN TO THE PLANT STREET SYSTEM, PRE-POST DISCHARGE RATE AND WATER QUALITY REQUIREMENTS ARE EXEMPTED FOR THIS PROJECT, PER-APPLICATION MEETING REVIEW.

DEMOLITION INCLUDES OF A PORTION OF THE WAREHOUSE, ATTACHED BUILDING SHED, SEPTIC SYSTEM AND VARIOUS CONCRETE SLABS ON THE PROJECT SITE. DEMOLITION OF POWER POLES ON PLANT STREET AND

PROPOSED DEVELOPMENT

TOTAL GROSS SITE AREA 0.41 ACRES +/-	17859.6 SQ.FT.
BUILDING ADDITION	1758 SQ.FT.
OVERPOURED/EXISTING WAREHOUSE FLOOR	3800 SQ.FT.

TOTAL BUILDING AREA	5558 SQ.FT.
BUILDING HEIGHT	30 FT. MAXIMUM PER ARCHITECTURAL PLAN
FLOOR AREA RATIO	5558/17859.6 = 0.31 = 31%
TOTAL IMPERVIOUS AREA	11910 SQ. FT.
TOTAL IMPERVIOUS INCREASE	2888 SQ.FT.
IMPERVIOUS SURFACE RATIO	11910/17859.6 = 0.67 = 67%
TOTAL PERVIOUS AREA	5949.6 SQ.FT.
OPEN SPACE RATIO	5949.6/17859.6 = 0.33 = 33%
PLANT STREET AREA OVERLAY 5%	17859.6 x 0.05 = 892.98 = 893 SQ.FT.

FUTURE ZONING CPD

PROPOSED SETBACKS:

FRONT: 12.5 FT.

STREET SIDE: 1.5 FT.

SIDE: 28.2 FT.

REAR: 73.5 FT.

PROPOSED PARKING:

ONSITE: 15 REGULAR + 1 HANDICAP = 16 SPACES

STREET SIDE: 4 REGULAR PARKING SPACES

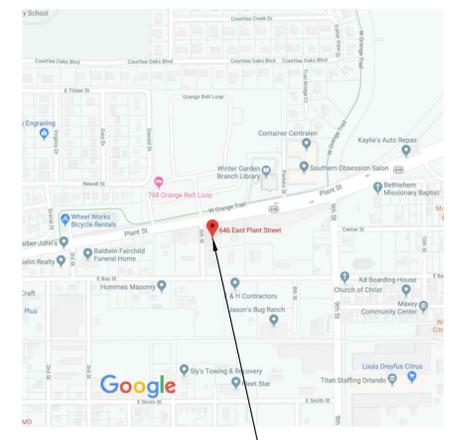
TOTAL PARKING PROVIDED: 20 PARKING SPACES

DESCRIPTION:

LOT 9 AND LOT 10, PALM VISTA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK K, PAGE 141 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA CONTAINS 0.41 ACRES +/-

SURVEYORS NOTES:

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD, BY THIS FIRM.
- REVISIONS DO NOT CONSTITUTE A RECERTIFICATION OF THE EXISTING FIELD CONDITIONS.
- BEARINGS SHOWN HEREON ARE BASED ON THE EASTERLY RIGHT-OF-WAY LINE OF 6TH STREET, BEING N00°00'00"E, AN ASSUMED DATUM.
- THE DESCRIPTION SHOWN HEREON WAS SUPPLIED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS AND INSTALLATIONS HAVE NOT BEEN LOCATED.
- THE LANDS SHOWN HEREON LIE ENTIRELY WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN) ACCORDING TO "FIRM" MAP NO. 12095C0205F, COMMUNITY NO. 120179 0205 F, DATED SEPTEMBER 25, 2009.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON NGS DATUM, PER BENCHMARK NUMBER GIS 0114, ELEVATION = 124.35' (NAVD88)
- THE ELECTRONIC FILE FOR THIS PROJECT IS THE PROPERTY OF BISHMAN SURVEYING AND MAPPING, INC. AND IS NOT THE PROPERTY OF THE CLIENT.
- THE PARCEL OF LAND AS DESCRIBED HEREON IS SUBJECT TO THAT CERTAIN CITY OF WINTER GARDEN SEWER EASEMENT SHOWN HEREON AS RECORDED IN ORB 987, PAGE 93 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



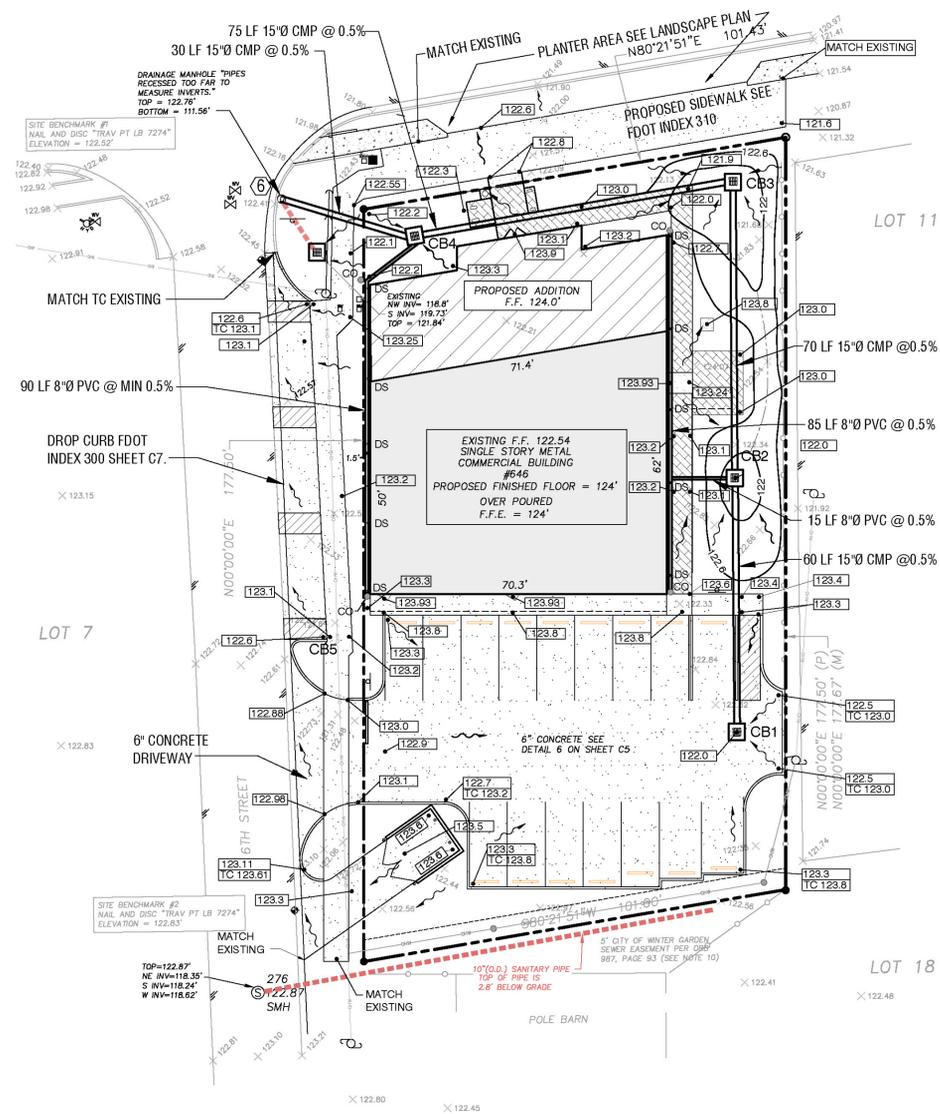
VICINITY MAP

N.T.S.

SITE: 646 E. PLANT ST.

LEGEND:

R	RADIUS	⊙	WELL
Δ	CENTRAL ANGLE	⊖	ELECTRICAL OUTLET
L	LENGTH	⊕	TELEPHONE RISER
CH	CHORD	⊖	FIRE HYDRANT
CH	CHORD BEARING	⊕	MASTER WATER ASSEMBLY
T.B.	TANGENT BEARING	⊖	SEWER VALVE
(M)	MEASURED	⊕	WATER VALVE
(P)	PLAT	⊖	RECLAIMED WATER VALVE
(C)	CALCULATED	⊕	IRRIGATION VALVE
(D)	DESCRIPTION	⊖	POWER MANHOLE
POB	POINT OF BEGINNING	⊕	GREASE TRAP MANHOLE
POC	POINT OF COMMENCEMENT	⊖	POWER MANHOLE
O.R.	OFFICIAL RECORDS BOOK	⊕	WATER SHUT-OFF VALVE
PG	PAGE	⊖	POWER TRANSFORMER
TYP.	TYPICAL	⊕	WATER METER
P.T.	POINT OF TANGENCY	⊖	GAS METER
P.C.	POINT OF CURVATURE	⊕	POWER METER
●	IRON ROD & CAP	⊖	WATER BLOW-OFF VALVE
⊙	NAIL & DISC	⊕	CLEAN-OUT
⊖	4"x4" CONCRETE MONUMENT	⊖	FIRE DEPARTMENT CONTROL VALVE
⊕	IRON PIPE	⊕	ELECTRIC HAND HOLE
⊖	BARRIED WIRE FENCE	⊖	CABLE TELEVISION RISER
⊕	WOOD FENCE	⊕	TELEPHONE ACCESS CABINET
⊖	CHAIN LINK FENCE	⊖	CATCH BASIN
⊕	EDGE OF ASPHALT PAVEMENT	⊕	DRAIN
⊖	CENTERSLINE	⊖	CURB INLET
⊕	LICENSED BUSINESS	⊕	CURB INLET WITHOUT MANHOLE
PSM	PROFESSIONAL SURVEYOR & MAPPER	⊖	METRED END SECTION
PLS	PROFESSIONAL LAND SURVEYOR	⊕	UTILITY VALVE
PVC	POLYVINYL CHLORIDE PIPE	⊖	AIR CONDITIONER
RCP	REINFORCED CONCRETE PIPE	⊕	POWER BOX
CMP	CORROSION RESISTANT METAL PIPE	⊖	POWER RAISER
DIP	DUCTILE IRON PIPE	⊕	MONITORING WELL
VSP	VITRIFIED CLAY PIPE	⊖	LIGHT POLE
CP	CONCRETE PIPE	⊕	WALKWAY LIGHT
HDP	HIGH DENSITY POLYETHYLENE PIPE	⊖	TRAFFIC SIGNAL BOX
NHW	NORMAL HIGH WATER	⊕	BOLLARD
OHW	OVERHEAD UTILITY WIRES	⊖	FLAG POLE
UGP	UNDERGROUND POWER LINE	⊕	PARKING METER
UGG	UNDERGROUND GAS LINE	⊖	TRAFFIC FLOW ARROW
UGT	UNDERGROUND TELEPHONE LINE	⊕	SOIL BORING
UGC	UNDERGROUND CABLE TELEVISION	⊖	DRAINAGE DIRECTION
FOC	FIBER OPTIC CABLE	⊕	
WL	WATER LINE	⊖	
CU	WOODEN UTILITY POLE	⊕	
⊕	CONCRETE UTILITY POLE	⊖	
⊖	GLY PILE	⊕	
⊖	QUILT ANCHOR	⊖	
⊕	INVERT ELEVATION	⊕	
⊖	EXISTING GROUND ELEVATION	⊖	
⊕	UNDERGROUND GAS LINE	⊕	
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PAVING, GRADING & DRAINAGE PLAN

SCALE: 1:20

NOTE:
ALL WORK SHALL CONFORM TO
CITY OF WINTER GARDEN
STANDARDS AND SPECIFICATIONS.

DRAINAGE STRUCTURE TABLE				
STRUCTURE NUMBER	STRUCTURE TYPE	TOP RIM ELEV	STRUCTURE BOTTOM ELEV	PIPE INVERT ELEV
CB1	TYPE 'C' INLET	122.0	120.0	N 119.7
CB2	TYPE 'C' INLET	121.9	119.65	N 119.35 S 119.40 W 119.35
CB3	TYPE 'C' INLET	121.5	119.25	S 119.0 W 118.90
CB4	TYPE 'C' INLET	122.0	118.65	NE 118.5 NW 118.40 SW 118.40
⑥	EXISTING CURB INLET	122.76	111.56	PROPOSED SE 118.4
ADJUST PIPE INVERT ELEVATION BASED ON EXISTING INLET PIPE				

- ALL DRAINAGE STRUCTURES TO BE BUILT IN ACCORDANCE WITH 2016 F, D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
STRUCTURE TYPE INDEX NO.
TYPE 'C' INLET 200 & 232
- ALL DRAINAGE STRUCTURE GRATES TO BE STEEL TRAFFIC RATED.
- CONTRACTOR TO VERIFY ALL EXISTING STORM STRUCTURES TO REMAIN.
- PROVIDE SHOP DRAWINGS TO ENGINEER FOR APPROVAL.

LEGEND

- PROPOSED CONCRETE
- EXISTING CONCRETE TO REMAIN
- PROPOSED BUILDING ADDITION
- EXISTING BUILDING TO REMAIN
- PERVIOUS PAVERS (OWNER SELECTION)
- PROPOSED OVERHEAD AND POWER POLE
- PROPOSED CLEAN OUT
- PROPOSED DOWN SPOUT
- DRAINAGE FLOW
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- DRAINAGE INLET

DESCRIPTION:

LOT 9 AND LOT 10, PALM MSTA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK K, PAGE 141 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA
CONTAINS 0.41 ACRES +/-

SURVEYORS NOTES:

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LEGEND:

- R RADIUS
- Δ CENTRAL ANGLE
- L LENGTH
- CH CHORD
- CB CHORD BEARING
- T.B. TANGENT BEARING
- ME MEASURED
- (P) PLAT
- (C) CALCULATED
- (D) DESCRIPTION
- P.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- O.R. OFFICIAL RECORDS BOOK
- P.C. PAGE
- T.P. TYPICAL
- P.T. POINT OF TANGENCY
- P.C. POINT OF CURVATURE
- IRON ROD & CAP
- NAIL & DISC
- 4"X4" CONCRETE MONUMENT
- IRON PIPE
- BARBED WIRE FENCE
- WOOD FENCE
- CHAIN LINK FENCE
- EDGE OF ASPHALT PAVEMENT
- CONTINUING
- LB LICENSED BUSINESS
- PSM PROFESSIONAL SURVEYOR & MAPPER
- PLS PROFESSIONAL LAND SURVEYOR
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE
- CMP CORRUGATED METAL PIPE
- DIP DUCTILE IRON PIPE
- VCP VITRIFIED CLAY PIPE
- CPP CORRUGATED PLASTIC PIPE
- HDP HIGH DENSITY POLYETHYLENE PIPE
- NHW NORMAL HIGH WATER
- OHW OVERHEAD UTILITY WIRES
- UGP UNDERGROUND POWER LINE
- UGG UNDERGROUND GAS LINE
- UGT UNDERGROUND TELEPHONE LINE
- UGCT UNDERGROUND CABLE TELEVISION
- FCC FIBER OPTIC CABLE
- WL WATER LINE
- WUP WOODEN UTILITY POLE
- CUP CONCRETE UTILITY POLE
- OP OUT POLE
- OA OUT ANCHOR
- INV-89.73 INVERT ELEVATION
- + 68.51 EXISTING GROUND ELEVATION
- 80 EXISTING GROUND CONTOUR
- SINGLE POST SIGN
- DOUBLE POST SIGN
- HANDICAPPED PARKING SPACE (H/C)
- SEM - SITE BENCH MARK
- ⊙ WELL
- ⊙ ELECTRICAL OUTLET
- ⊙ TELEPHONE RISER
- ⊙ FIRE HYDRANT
- ⊙ MASTER WATER ASSEMBLY
- ⊙ SEWER VALVE
- ⊙ WATER VALVE
- ⊙ RECLAIMED WATER VALVE
- ⊙ IRRIGATION VALVE
- ⊙ GAS VALVE
- ⊙ SANITARY MANHOLE
- ⊙ DRAINAGE MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ GREASE TRAP MANHOLE
- ⊙ POWER MANHOLE
- ⊙ WATER SHUT-OFF VALVE
- ⊙ POWER TRANSFORMER
- ⊙ WATER METER
- ⊙ GAS METER
- ⊙ POWER METER
- ⊙ WATER BLOW-OFF VALVE
- ⊙ CLEAN-OUT
- ⊙ FIRE DEPARTMENT CONTROL VALVE
- ⊙ ELECTRIC HAND HOLE
- ⊙ CABLE TELEVISION RISER
- ⊙ TELEPHONE ACCESS CABINET
- ⊙ CATCH BASIN
- ⊙ DRAIN
- ⊙ CURB INLET
- ⊙ CURB INLET WITHOUT MANHOLE
- ⊙ MITERED END SECTION
- ⊙ UTILITY VAULT
- ⊙ AIR CONDITIONER
- ⊙ POWER BOX
- ⊙ POWER RASER
- ⊙ MONITORING WELL
- ⊙ LIGHT POLE
- ⊙ MOUNTAIN LIGHT
- ⊙ TRAFFIC SIGNAL BOX
- ⊙ BOLLARD
- ⊙ FLAG POLE
- ⊙ PARKING METER
- ⊙ TRAFFIC FLOW ARROW
- ⊙ SOL BORING
- ⊙ DRAINAGE DIRECTION

PROJECT IDENTIFICATION

THIS PLAN IS FOR CONSTRUCTION ON PROPERTY AT:

**646 EAST PLANT STREET
WINTER GARDEN, FL 34787**

NO RESPONSIBILITY IS ACCEPTED BY RICHARDSON ENGINEERING FOR ANY OTHER LOCATION. LOCATION OF PROJECT IS REQUIRED PER DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION RULE 61G1-16.004 REQUIRING PROJECT IDENTIFICATION

DO NOT MASTER FILE THIS DRAWING

RICHARDSON ENGINEERING

SEALED BY RICHARD B. RICHARDSON, P.E.
131 ZELMA STREET
ORLANDO FLORIDA 32803
(407) 425 - 4002
LIC# 00012380 ID# EB 26251

PROJECT: WINGATE OFFICE

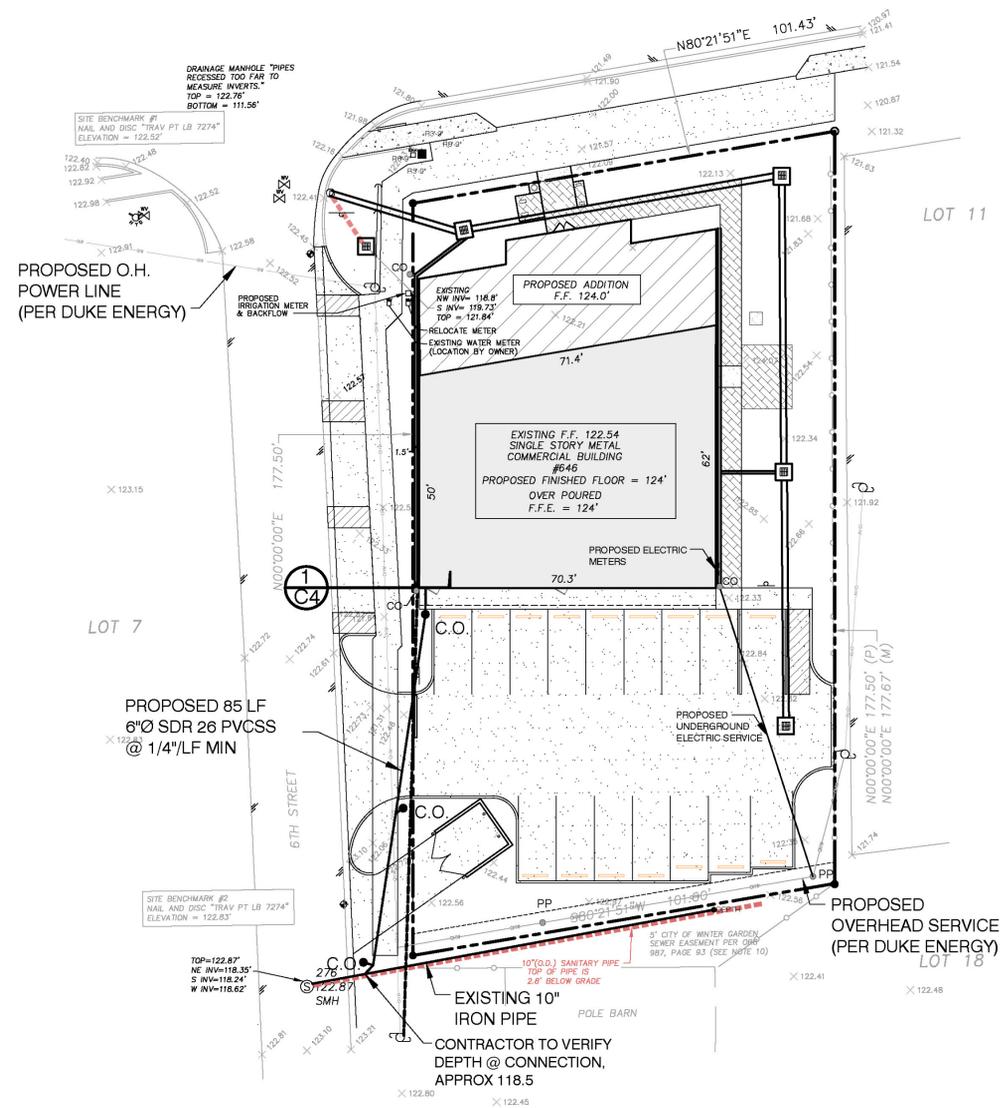
CLIENT: DON WINGATE

JOB#: 170077 DATE: 5/24/2018

SHEET **C3** OF 12 DRAWN BY: WRJ

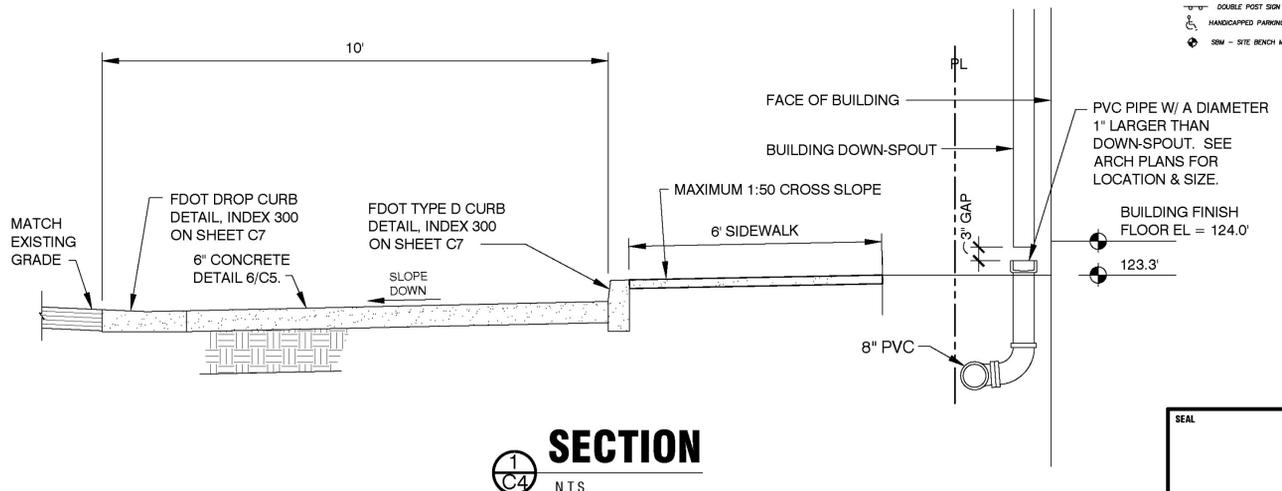
DESCRIPTION:
 LOT 9 AND LOT 10, PALM VISTA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK K, PAGE 141 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA
 CONTAINS 0.41 ACRES +/-

- SURVEYORS NOTES:
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
 - LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD, BY THIS FIRM.
 - REVISIONS DO NOT CONSTITUTE A RECERTIFICATION OF THE EXISTING FIELD CONDITIONS.
 - BEARINGS SHOWN HEREON ARE BASED ON THE EASTERLY RIGHT-OF-WAY LINE OF 6TH STREET, BEING N00°00'00"E, AN ASSUMED DATUM.
 - THE DESCRIPTION SHOWN HEREON WAS SUPPLIED BY THE CLIENT.
 - UNDERGROUND IMPROVEMENTS AND INSTALLATIONS HAVE NOT BEEN LOCATED.
 - THE LANDS SHOWN HEREON LIE ENTIRELY WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN) ACCORDING TO "FIRM" MAP NO. 1209500205F, COMMUNITY NO. 120179 0205 F, DATED SEPTEMBER 25, 2009.
 - THE ELEVATIONS SHOWN HEREON ARE BASED ON NGS DATUM, PER BENCHMARK NUMBER GIS 0114, ELEVATION = 124.35' (NAVD88)
 - THE ELECTRONIC FILE FOR THIS PROJECT IS THE PROPERTY OF BISHMAN SURVEYING AND MAPPING, INC. AND IS NOT THE PROPERTY OF THE CLIENT.
 - THE PARCEL OF LAND AS DESCRIBED HEREON IS SUBJECT TO THAT CERTAIN CITY OF WINTER GARDEN SEWER EASEMENT SHOWN HEREON AS RECORDED IN ORB 987, PAGE 93 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



LEGEND:

R	RADIUS	⊗	WELL
Δ	CENTRAL ANGLE	⊖	ELECTRICAL OUTLET
L	LENGTH	⊕	TELEPHONE RISER
OH	CHORD	⊗	FIRE HYDRANT
OB	CHORD BEARING	⊕	MASTER WATER ASSEMBLY
T.B.	TANGENT BEARING	⊗	SEWER VALVE
(M)	MEASURED	⊕	WATER VALVE
(P)	PLAT	⊗	RECLAIMED WATER VALVE
(C)	CALCULATED	⊕	IRRIGATION VALVE
(D)	DESCRIPTION	⊗	GAS VALVE
POB	POINT OF BEGINNING	⊕	SANITARY MANHOLE
POC	POINT OF COMMENCEMENT	⊗	DRAINAGE MANHOLE
PR	OFFICIAL RECORDS BOOK	⊕	TELEPHONE MANHOLE
PL	PLAT	⊗	GREASE TRAP MANHOLE
TP	TYPICAL	⊕	POWER MANHOLE
P.T.	POINT OF TANGENCY	⊗	WATER SHUT-OFF VALVE
P.C.	POINT OF CURVATURE	⊕	POWER TRANSFORMER
⊕	IRON ROD & CAP	⊗	WATER METER
⊙	NAIL & DISC	⊕	GAS METER
⊠	4"x4" CONCRETE MONUMENT	⊗	POWER METER
—	IRON PIPE	⊕	WATER BLOW-OFF VALVE
—	BARRIED WIRE FENCE	⊗	CLEAN-OUT
—	WOOD FENCE	⊕	FIRE DEPARTMENT CONTROL VALVE
—	CHAIN LINK FENCE	⊗	ELECTRIC HAND HOLE
—	EDGE OF ASPHALT PAVEMENT	⊕	CABLE TELEVISION RISER
⊕	CENTERLINE	⊗	TELEPHONE ACCESS CABINET
LB	LOCKED BUSINESS	⊕	CATCH BASIN
PSM	PROFESSIONAL SURVEYOR & MAPPER	⊗	GRAB
PLS	PROFESSIONAL LAND SURVEYOR	⊕	CURB INLET
PVC	POLYVINYL CHLORIDE PIPE	⊗	CURB INLET WITHOUT MANHOLE
RPC	REINFORCED CONCRETE PIPE	⊕	METERED END SECTION
CMP	CORRUGATED METAL PIPE	⊗	UTILITY VAULT
DRP	DUCTILE IRON PIPE	⊕	AIR CONDITIONER
VCP	VITRIFIED CLAY PIPE	⊗	POWER BOX
CPP	CORRUGATED PLASTIC PIPE	⊕	POWER RAISER
HDPE	HIGH DENSITY POLYETHYLENE PIPE	⊗	MONITORING WELL
NHW	NORMAL HIGH WATER	⊕	LIGHT POLE
OWH	OVERHEAD UTILITY WIRES	⊗	GUY ANCHOR
UGP	UNDERGROUND POWER LINE	⊕	INVERT ELEVATION
UGG	UNDERGROUND GAS LINE	⊗	EXISTING GROUND ELEVATION
UGT	UNDERGROUND TELEPHONE LINE	⊕	EXISTING GROUND CONTOUR
UGC	UNDERGROUND CABLE TELEVISION	⊗	SINGLE POST SIGN
FOC	FIBER OPTIC CABLE	⊕	DOUBLE POST SIGN
WL	WATER LINE	⊗	HANDICAPPED PARKING SPACE (1/20)
WU	WOODEN UTILITY POLE	⊕	SM - SITE BENCHMARK
CU	CONCRETE UTILITY POLE		
GP	GUY POLE		
GA	GUY ANCHOR		
INVA-68.73	INVERT ELEVATION		
+ 88.51	EXISTING GROUND ELEVATION		
60	EXISTING GROUND CONTOUR		
—	SINGLE POST SIGN		
—	DOUBLE POST SIGN		
—	HANDICAPPED PARKING SPACE (1/20)		
⊕	SM - SITE BENCHMARK		



UTILITIES
 SCALE: 1:20

NOTE:
 SITE LIGHTING BY OTHERS.

NOTE:
 ALL WORK SHALL CONFORM TO CITY OF WINTER GARDEN STANDARDS AND SPECIFICATIONS.

SECTION
 N.T.S.

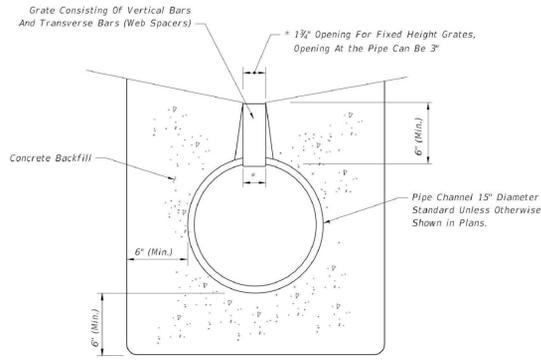
PROJECT IDENTIFICATION
 THIS PLAN IS FOR CONSTRUCTION ON PROPERTY AT:
**646 EAST PLANT STREET
 WINTER GARDEN, FL 34787**

NO RESPONSIBILITY IS ACCEPTED BY RICHARDSON ENGINEERING FOR ANY OTHER LOCATION. LOCATION OF PROJECT IS REQUIRED PER DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION RULE 61G1-16.004 REQUIRING PROJECT IDENTIFICATION

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RICHARDSON ENGINEERING
 SEALED BY RICHARD B. RICHARDSON, P.E.
 131 ZELMA STREET
 ORLANDO FLORIDA 32803
 (407) 425 - 4002
 LIC# 00012380 ID# EB 26251

PROJECT: WINGATE OFFICE
 CLIENT: DON WINGATE
 JOB#: 170077 DATE: 5/24/2018
 SHEET **C4** OF 12 DRAWN BY: WRJ



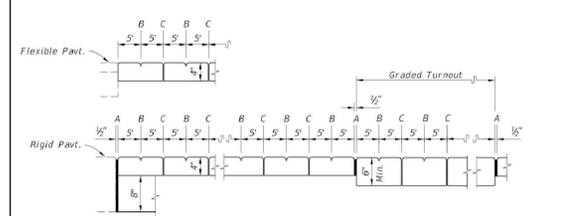
ROUND ALTERNATE

SEE SHEET 2 FOR TYPICAL LOCATIONS
TYPE I (NON-REMOVABLE GRATE)

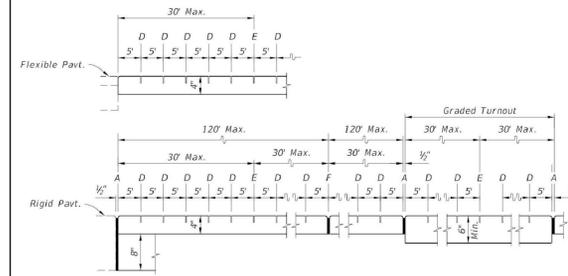
GENERAL NOTES

- Trench drain is intended for use in gutters and driveways as shown on the typical locations on Sheet 2. Type I is intended for use in Type E, F and drop curbing, and adjacent to traffic separators and standard barrier walls. The width of the channel grate for Type I Trench Drain shall be 1 1/2' throughout, varying the depth of the channel neck. Type II may also be used in those locations if an independent laboratory certifies that the grating used has an open area equal to at least 0.27 square feet per linear foot. Type II is primarily intended for use in valley gutter across driveway openings and drop curbing; Type I may also be used in those locations. The width of the channel grate for Type II Trench Drain shall be the same as the width of the channel. The linear slope or gradient for Type II may be manufactured by varying the depth of the channel. Trench Drain shall not be placed in pedestrian paths unless ADA compliant grates are used.
- Unless shown in the plans, outlet pipes and preformed channel inverts shall be sloped 0.6% or steeper toward the outlet regardless of the surface slope.
- Trench drain may be stubbed directly into drainage structures, or outlet pipes may be used to connect trench drain to drainage structures.
- A cleanout port compatible with the manufactured system shall be provided for Type I drains at the upstream end and at intervals not to exceed 50 feet. The cleanout port shall provide an opening 6" to 10" wide (transverse to the trench drain length) and 18" to 24" long. Where cleanouts are placed adjacent to raised curb or separator, the curb or separator shall be formed around the cleanout. The cleanout shall have a removable load resistant cover or grate.
- Trench excavation must allow for a minimum of 6" of concrete to be placed under and alongside the trench drain channel system. Concrete backfill shall meet the requirements of Section 347 of the Standard Specifications. At the end of all units (Type I or II), the concrete backfill shall extend 6" minimum past the end of the drain opening.
- Transverse bars for Type I Trench Drain shall be spaced 4" to 6" on center.
- Whenever the work disturbs existing conditions or work already completed, restore the same to its original condition in every detail. All such repair and replacement shall meet the approval of the Engineer.

LAST REVISION 11/01/16	DESCRIPTION:	FDOT FY 2017-18 DESIGN STANDARDS	TRENCH DRAIN	INDEX NO. 206	SHEET NO. 1 of 2
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OPEN JOINTS



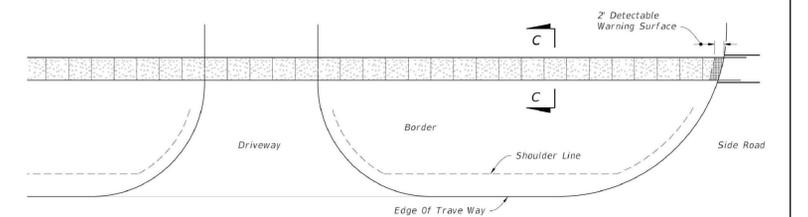
SAWED JOINTS

LONGITUDINAL SECTION

- LEGEND:**
- A- 1/2" Expansion Joints (Preformed Joint Filler)
 - B- 1/2" Dummy Joints, Tooled
 - C- 1/2" Formed Open Joints
 - D- 1/8" Saw Cut Joints, 1 1/2" Deep (within 96 hours) Max. 5' Centers
 - E- 3/8" Saw Cut Joints, 1 1/2" Deep (within 12 hours) Max. 30' Centers (Joint(s) Required When Length Exceeds 30')
 - F- 1/2" Expansion Joint When Run Of Sidewalk Exceeds 120'. Intermediate locations when called for in the plans or at locations as directed by the Engineer.

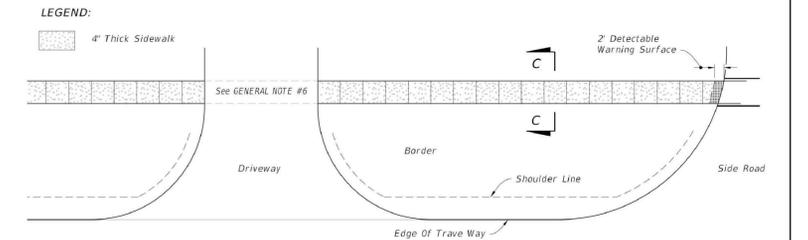
SIDEWALK JOINTS

LAST REVISION 11/01/16	DESCRIPTION:	FDOT FY 2017-18 DESIGN STANDARDS	CONCRETE SIDEWALK	INDEX NO. 310	SHEET NO. 2 of 2
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PLAN

CONTINUOUS SIDEWALK



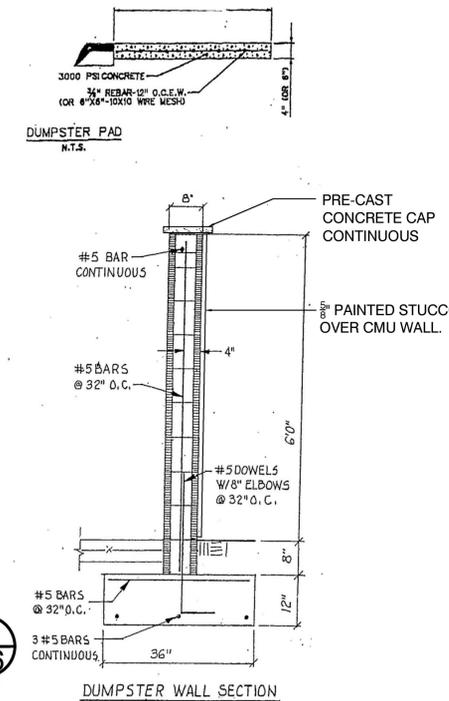
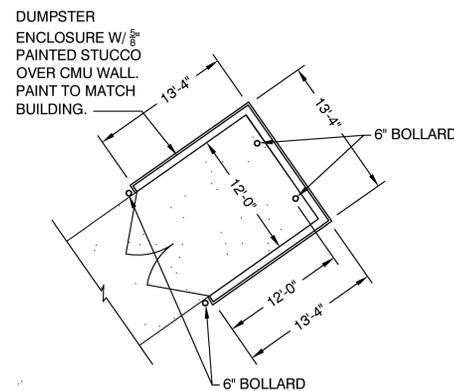
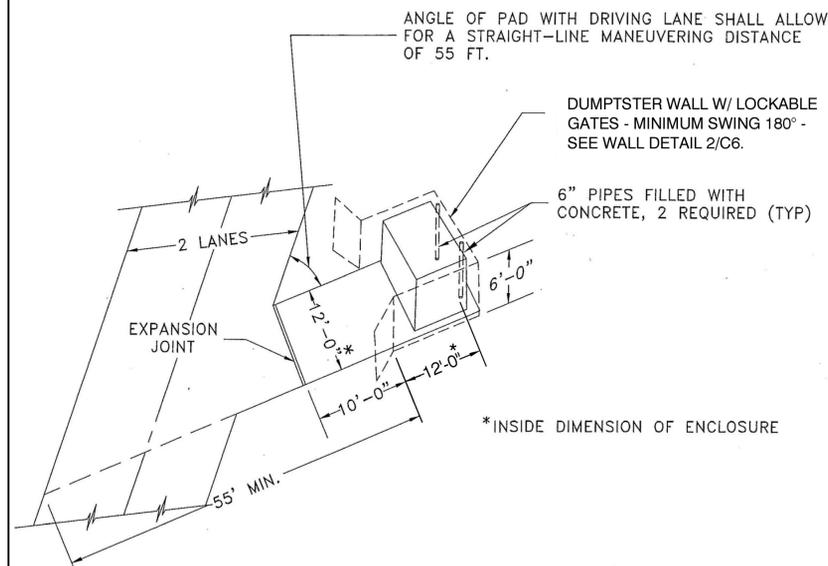
PLAN

DISCONTINUOUS SIDEWALK



SECTION C-C

CONCRETE SIDEWALK ON FLUSH SHOULDER ROADWAYS



DUMPSTER WALL SECTION

PROJECT IDENTIFICATION

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 WINTER GARDEN, FL 34787**

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RICHARDSON ENGINEERING

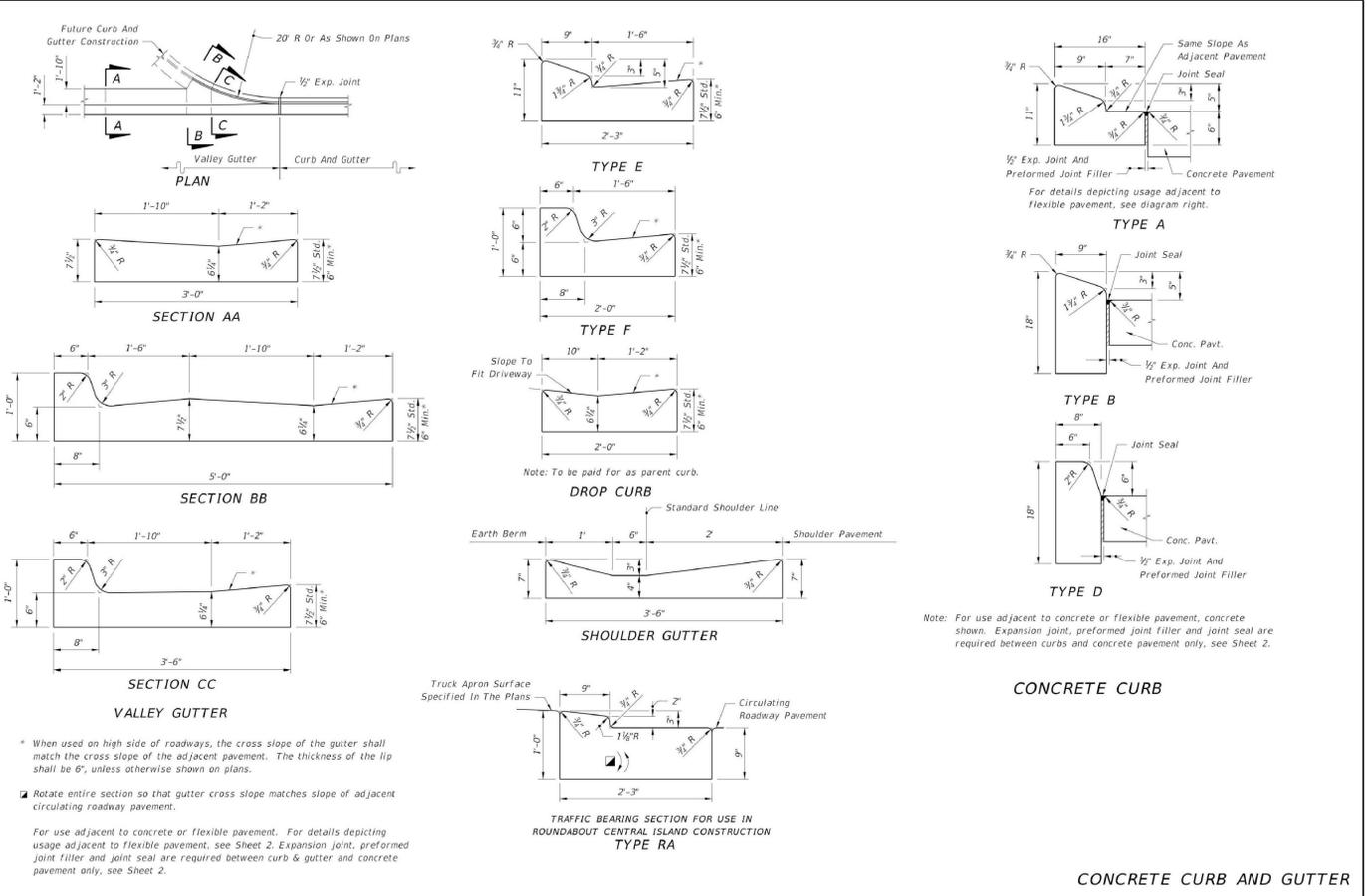
SEALED BY RICHARD B. RICHARDSON, P.E.
 131 ZELMA STREET
 ORLANDO FLORIDA 32803
 (407) 425-4002
 LIC# 00012380 ID# EB 26251

PROJECT: WINGATE OFFICE

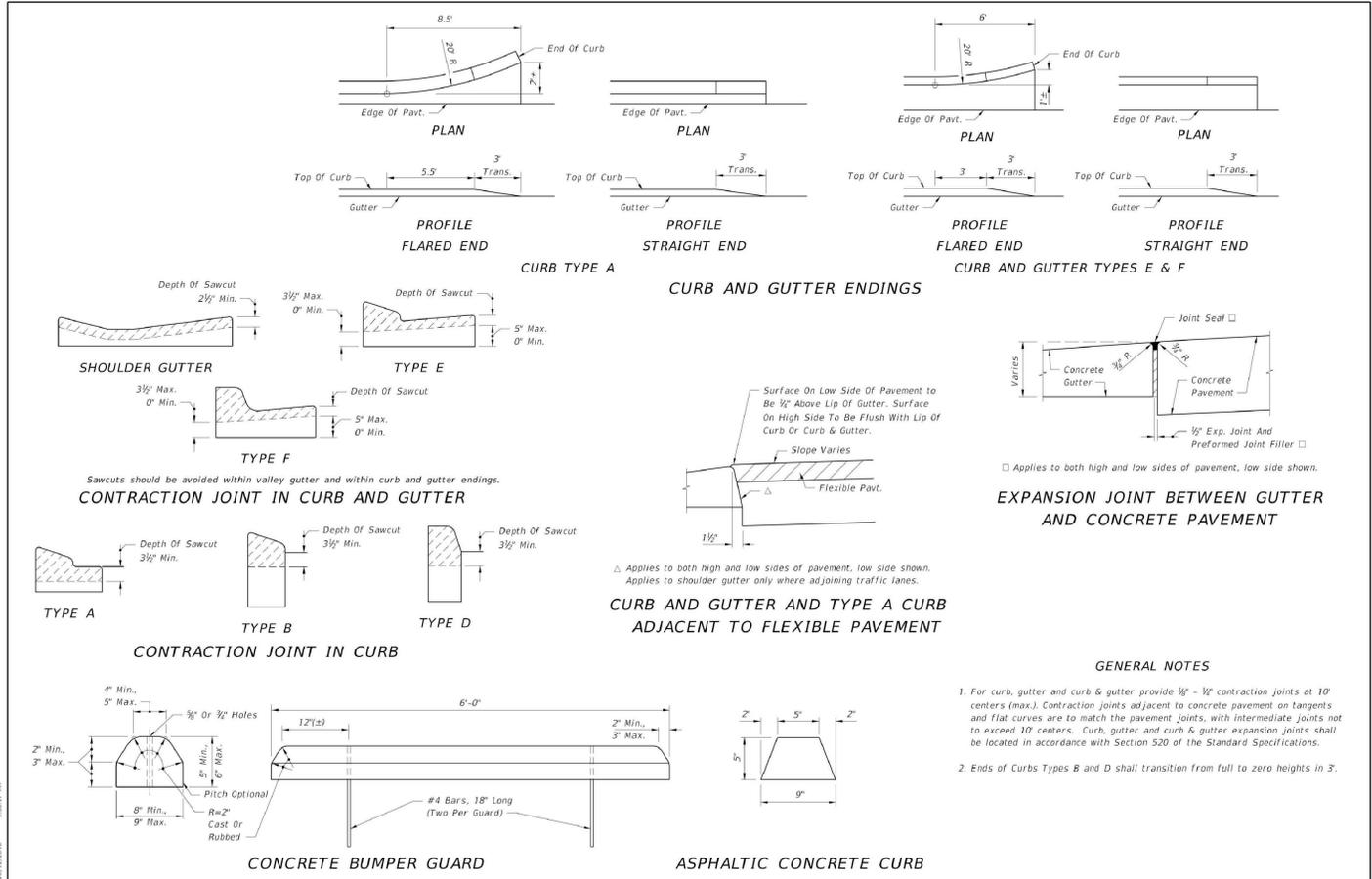
CLIENT: DON WINGATE

JOB#: 170077 DATE: 8/20/2018

SHEET **C6** OF 12 DRAWN BY: WRJ



LAST REVISION 07/01/00	DESCRIPTION:	FDOT FY 2017-18 DESIGN STANDARDS	CURB & CURB AND GUTTER	INDEX NO. 300	SHEET NO. 1 of 2
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LAST REVISION 07/01/00	DESCRIPTION:	FDOT FY 2017-18 DESIGN STANDARDS	CURB & CURB AND GUTTER	INDEX NO. 300	SHEET NO. 2 of 2
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Product Specifications

- HEIGHT INCHES: 36
- COLOR FINISH: Black
- CONSTRUCTION: Steel
- LID: Flat Top
- LINER: Plastic
- OPENING: 15-1/4" Dia.
- TYPE: Slatted
- DESCRIPTION: Receptacle
- DIAMETER INCHES: 28
- CAPACITY GALLONS: 36
- BRAND: Global Industrial™



1
C7

Product Specifications

- LENGTH INCHES: 72
- WIDTH INCHES: 27
- HEIGHT INCHES: 31
- COLOR FINISH: Black
- ASSEMBLY: Assembled
- BRAND: Global Industrial™
- CONSTRUCTION: Steel
- DESCRIPTION: 6' Slatted Metal Bench
- FRAME COLOR: Black
- FRAME CONSTRUCTION: Steel
- MANUFACTURERS PART #: 694854BK
- SEAT LENGTH INCHES: 65
- SEAT HEIGHT INCHES: 17
- TOP FINISH: Outdoor Powder Coating
- TYPE: Steel Slat Bench
- WEIGHT LBS: 192
- WEIGHT CAPACITY: 600 lbs
- STYLE: Backed Bench with Arms
- MOUNT TYPE: Surface



2
C7

Product Specifications

- LENGTH INCHES: 45-7/8
- WIDTH INCHES: 14-7/16
- HEIGHT INCHES: 14-3/8
- CAPACITY: 3 Bikes
- COLOR FINISH: Black Powder Coat
- BRAND: Vaidl
- DESCRIPTION: Single Side City Rack
- MANUFACTURERS PART #: BR-MSS-BK
- MODEL: BR-MSS-BK
- MOUNT TYPE: Ground Flange
- TYPE: Single Side
- WEIGHT LBS: 28



3
C7

PROJECT IDENTIFICATION

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PROJECT: WINGATE OFFICE

CLIENT: DON WINGATE

JOB#: 170077 DATE: 8/20/2018

SHEET C7 OF 12 DRAWN BY: WRJ

SEAL

**CITY OF WINTER GARDEN
CONSTRUCTION REQUIREMENTS**

ARTICLE 12

CULVERTS AND STORM SEWERS

Section 12.01 - Scope of Work

The work in this Section shall consist of furnishing culverts and storm sewers with appurtenances in conformance with the specifications here after described and of the sizes and dimensions shown on the plans. The minimum pipe size allowed under the pavement shall be 18 inches in diameter.

Section 12.02 - Pipe

12.02.01 - Concrete Pipe

Concrete pipe shall be of first quality, conforming to the latest revision of ASTM C-76 for round pipe and ASTM C-507 for elliptical pipe. The size and class shall be as shown on the plans. Lifting holes are prohibited. Joints for all round pipe shall be sealed by the use of round rubber gaskets and shall conform to the applicable provisions of ASTM C-443. Joints for elliptical pipe may be a tongue and groove type and sealed with a preformed gasket material. The preformed gasket shall be applied to form a continuous gasket around the leading edges of both the primed tongue and groove in a manner that when the pipes are joined, the entire annular space will be filled with gasket material and there will be evidence of squeeze out of gasket material for the entire internal and external circumference of the joint.

The jointing system shall prevent soil infiltrating into the pipes. All joints shall be water tight. Joints for all round pipe within the limits of the City of Winter Garden shall be wrapped with filter fabric. Joints for all elliptical pipe, regardless of location, shall be wrapped with filter fabric.

The fabric shall extend a minimum of three (3) feet on both sides of the joint and shall have a two (2) foot overlap on the top of the joint. Banding of the filter fabric may be required at the discretion of the City Engineer.

12.02.02 - Corrugated Metal Pipe

(NOT USED)

12.02.03 - Polyvinyl Chloride Pipe

All polyvinyl chloride (PVC) pipe and fittings shall conform to current AASHTO Standard Specification M-304. The pipe and the fittings shall be made of PVC having a minimum cell classification of 12454C or 12364C as specified in ASTM D1784. Pipe ends shall not be permanently exposed to direct sunlight, and shall be protected by a metal or concrete end treatment.

Joints shall be of an integral bell gasketed design, and shall be gasketed with a rubber or neoprene gasket. The jointing system shall prevent soil and water infiltrating into the pipe. All joints within the limits of the City of Winter Garden Right-of-Way shall be watertight in

12-1 Culverts and Storm Sewers

accordance with ASTM D-3212 and shall be wrapped with filter fabric. The fabric shall extend a minimum of three (3) feet on both sides of the joint and shall have a two (2) foot overlap on the top of the joint. Banding of the filter fabric may be required at the discretion of the City Engineer.

Corrugated Polyvinyl Chloride Pipe

PVC corrugated pipe with a smooth interior shall conform to the requirements of ASTM designation F949. Pipe and fittings shall be homogeneous throughout and free from visible cracks, holes, foreign inclusions or other injurious defects. Pipe shall be manufactured to 46 psi stiffness when tested in accordance with ASTM test method D2412. There shall be no evidence of splitting, cracking or breaking when the pipe is tested per ASTM test method D2412 in accordance with ASTM F949 section 7.5 and ASTM F794 section 8.5. The pipe shall be made of PVC compound having a minimum cell classification of 12454 as defined in ASTM specification D1784

All fittings for PVC corrugated sewer pipe with a smooth interior shall conform to ASTM F949, section 5.2.3 or F 794, section 7.2.4. To insure compatibility, the pipe manufacturer shall provide all fittings.

All joints shall be made with integrally-formed bell and spigot gasketed connections. The manufacturer shall provide documentation showing no leakage when gasketed pipe joints are tested in accordance with ASTM test method D3212. Elastomeric seals (gaskets) shall meet the requirements of ASTM designation F477.

Installation shall be in accordance with ASTM D2321 and the pipe manufacturer's recommended installation guidelines. ASTM D2321 is a widely accepted method for installation of thermoplastic pipe. It is critical the Engineer require that all sections of the specification be adhered to and realize the Engineer is ultimately responsible for all aspects of the soil/pipe system performance. Class I backfill shall be used for all PVC stormsewer installed within the City of Winter Garden. Water stop gaskets shall be installed at all structures per the manufactures guidelines. Only non-shrink grout shall be used when connecting to drainage structures.

12.02.04 - Ductile Iron Pipe

All Ductile Iron pipes shall conform to the current requirements of ANSI/AWWA Standard A21.51/C151 and the joints shall meet ANSI Standard A21.11.

12.02.05 - High Density Polyethylene Pipe (ADS N-12 HP)

Polypropylene compound for pipe and fitting production shall be impact modified copolymer meeting the material requirements of ASTM F2736, Section 4, ASTM F2881, Section 5 and AASHTO MP-21-11, Section 6.1, for the respective diameters.

Pipe requirements are as follows: 12 inch through 30 inch pipe shall have a smooth interior and annular exterior corrugations and meet or exceed ASTM F2736 and AASHTO MP-21-11. 36 inch and 48 inch pipe shall have a smooth interior and annular exterior corrugations and meet or exceed ASTM F2881 and AASHTO MP-21-11.

12-2 Culverts and Storm Sewers

Pipe shall be joined with a gasketed integral bell and spigot joint meeting the requirements of ASTM F2736 and F 2881, for the respective diameters. 12 inch through 48 inch shall be watertight according to the requirements of ASTM D3212. 12 inch through 48 inch shall have a reinforced bell with a polymer composite band installed by the manufacturer. Spigots shall have gaskets meeting the requirements of ASTM F477. Gasket shall be installed by the pipe manufacturer and covered with a removable protective wrap. A joint lubricant available from the manufacturer shall be used on the gasket and bell during assembly.

To assure watertightness, field performance verification may be accomplished by testing in accordance with ASTM F2487. Contact the manufacturer for recommended leakage rates.

Installation shall be in accordance with ASTM D2321 and the pipe manufacturer's recommended installation guidelines. ASTM D2321 is a widely accepted method for installation of thermoplastic pipe. It is critical the Engineer require that all sections of the specification be adhered to and to realize the Engineer is ultimately responsible for all aspects of the soil/pipe system performance. Class I backfill shall be used for all high density polyethylene pipe installed within the City of Winter Garden. Water stop gaskets shall be installed at all structures per the manufactures guidelines. Only non-shrink grout shall be used when connecting to drainage structures. No pipe joints shall be permitted under the roadway within residential subdivisions. All road crossings within residential subdivisions shall be constructed such that a continuous length of pipe spans the distance between drainage structures.

Any contractor installing HDPE pipe within the City of Winter Garden shall be certified by the pipe manufacturer as qualified to install said piping material. A copy of the certification must be presented to the city prior to the issuance of the site permit.

12.02.06 - Alternate Pipe Material

Alternate pipe materials will be considered on a case by case basis. Final approval of pipe material and backfill will be determined by the City Engineer.

Section 12.03 - Laying Pipe

All pipe shall be carefully laid, true to the lines and grades as shown on the plans. All pipe shall be laid "in the dry". Pipe shall be laid in compliance with the manufacturers recommended installation guidelines.

12.03.01 - Concrete Pipe

The joint shall be thoroughly lubricated and assembled according to the manufacturer's recommendations so that the maximum width of the joint opening shall not exceed that shown below:

Pipe Diameter	Maximum Joint Opening
12	5/8"
15	5/8"
18	5/8"
24	7/8"

12-3 Culverts and Storm Sewers

Backfilling shall progress as rapidly as the construction and testing of the work will permit. All backfill material shall be suitable and free of deleterious material 5 percent passing - 200. The initial backfill shall be carefully deposited on both sides of the pipe at the same time and uniformly compacted around the barrel of the pipe until enough has been placed to provide a cover of one (1) foot above the crown of the pipe. In no case, shall backfill material be placed in the trench in a manner that will cause shock to, or unequal pressure on the pipe. The backfill shall be placed and compacted to a minimum of ninety-eight (98%) percent of maximum density as determined by AASHTO T-180 under and within six (6) feet of the traveled way and under other existing hard surfaced or previously compacted areas. In all areas except for those stated, compaction must be a minimum ninety-eight (98%) percent of maximum density as determined by AASHTO T-180, or as directed by the City Engineer. Under no condition is construction debris, concrete, etc., to be included with the backfill. (As per manufacturer's specifications.)

Section 12.05 - Pipe Foundations

Where the nature of the foundation materials is of poor supporting value, the foundation material shall be replaced with sand or other material, or as approved by the City Engineer. The foundation material shall be consolidated by mechanical methods to specified densities.

Section 12.06 - Tests

12.06.01 - Compaction Tests

Compaction tests shall be required for each three hundred (300) linear feet or three (3) per day of pipe as a minimum. The City Engineer may determine that more compaction tests are required to certify the installation depending on field conditions. The locations of compaction tests within the trench shall be in conformance with the following schedule:

- One (1) test at the springline of the pipe.
- One (1) test at an elevation one (1) foot above the pipe crown.
- One (1) test for each one (1) feet of backfill placed above one (1) foot above the pipe crown to subgrade elevation.
- All structures shall be tested every six (6) inches from the bottom of the structure to the top of the structures, alternating sides.
- Compaction test shall be performed as lifts go in. City Inspector shall be informed of testing as it's done. Done during regular business hours. No testing after hours or after three (3) lifts are placed.

12.06.02 - Pipe Certification

A pipe certification shall be submitted to the City Engineer for all pipe furnished or as approved by the City Engineer. The certification shall be signed and sealed by a registered professional engineer for the State of Florida. The certification shall state that the

12-5 Culverts and Storm Sewers

pipe installed and materials supplied comply with all applicable specifications contained herein.

12.06.03 - Acceptance of Concrete Pipe Prior to Installation

In addition to any deficiencies not covered by the applicable ASTM specifications, individual concrete pipe sections shall be subject to rejection due to any of the following:

- Surface defects indicating honeycombed or open texture that would adversely affect the function of pipe sections. On-site repairs may be made, if approved by the City Engineer.
- Damaged ends, where such damage would prevent making a satisfactory joint.
- Pipe which has been excessively patched or repaired. Pipe damaged during shipment or construction may be repaired with the approval of the City Engineer.
- Exposure of the reinforcement. The exposure of the ends of longitudinals, stirrups and spacers used to position reinforcement shall not be cause for rejection.
- Concrete pipe that has been delivered to the jobsite prior to being at least seven (7) days (168 hours) old.

Acceptance of the pipe at point of delivery will not relieve the Contractor of full responsibility for any defects in materials due to workmanship.

12.06.04 - Process for Storm Pipe Inspection / Rejection

Upon arrival of pipe to be used on a project the following criteria shall be used to assess the product.

- The pipe shall be unloaded prior to inspection by project personnel.
- Manufactured defects shall be inspected for including: broken bells and spigots, excessive honeycombing, exposed reinforcing steel, cracks of any type, tears, deformation in excess of 5 percent, and any other structural defects.
- In the event that a defect is found, the following markings will be placed on the defective pipe:
 - For complete rejection of a piece of pipe an orange dot with an X through it will be placed on the center of the top, outside surface of the pipe. In addition, the same marking will be placed on the inside of the pipe. (Please note that if any pipe is found to have this marking during the TV inspection, this pipe shall be removed and replaced. There will be no exceptions. See Note 5.)
 - When a bell or spigot is damaged, and the Inspector deems it can

12-6 Culverts and Storm Sewers

be used for: 1) a piece coming out or into a structure; 2) a repair can be made to the piece; a small orange dot will be placed near the defective area.

- When rejected pipe is found, it shall be marked, separated, and removed from the project as soon as possible.
- Any pipe found to be rejected with the orange dot covered by an X during TV inspection shall be removed and replaced at no expense to the City of Winter Garden. In the event that there is rejected product in the ground, there will be no exceptions given for any reason to leave this pipe in place.

12.06.05 - Testing and Inspection for Acceptance of Storm Sewer Systems

CLOSED CIRCUIT TELEVISION INSPECTION OF STORMWATER SYSTEMS

PART 1 - GENERAL

1.1 DESCRIPTION

- Section Includes: Requirements to execute internal closed circuit television (CCTV) survey to inspect storm sewer.

All culverts and storm sewer systems shall be inspected by an internal closed circuit television survey prior to initial acceptance by the City. This inspection shall include the use of laser profile technology for all thermoplastic pipe.

All culverts and storm sewer systems shall be inspected by an internal closed circuit television survey as part of the end of warranty inspection. The end of warranty video inspection shall be performed on all storm sewer systems whether they are public or private (gated community). This inspection shall utilize laser profile technology for all thermoplastic pipe. The cost of this survey shall be borne fully by the developer of the project. All repairs (if needed) shall be completed and re-inspected prior to the end of the warranty period.

1.2 SUBMITTALS

- Submit following:

- Sample of television survey log, DVD/CD-ROMs, and equipment list for approval before commencement of work.

PART 2 - PRODUCTS

2.1 MATERIALS

- General

12-7 Culverts and Storm Sewers

30	7/8"
36	7/8"
42	7/8"
48	7/8"
54	7/8"
60	7/8"
66	7/8"
72	1"

If, while making the joint, the gasket comes loose and can be seen through the exterior joint recess when the joint is pulled up within one (1) inch of closure, the dry pipe shall be removed and the joint remade.

12.03.02 - Corrugated Metal Pipe

(NOT USED)

12.03.03 - Polyvinyl Chloride Pipe

Pipe interior shall be reasonably uniform and as nearly circular as possible. Structure shape shall be checked regularly during backfilling and upon completion of installation to verify acceptability of the construction method used. At the discretion of the City Engineer, deflection measurement or testing may be required. Pipes should not deflect more than five (5) percent in any direction. Testing equipment and test supervision will be provided by the Contractor. Testing will be done using a mandrel having a diameter equal to ninety-five (95) percent of the inside diameter of the pipe.

The test shall be performed without mechanical pulling devices or re-rounders. Measuring devices other than a mandrel may be used for measuring deflection in pipe forty-two (42) inches or larger, as approved by the City Engineer.

12.03.04 - Pipe Inlet/Manhole Joints

The joints of pipe and inlet/manhole shall be carefully cleaned and completely filled with non-shrink mortar applied and cured in accordance with the manufacturer's recommendations. An asphaltic mastic material shall be applied twelve (12) inches in width from the joint around the exterior of the pipe(s) and on the exterior wall(s) of the inlet/manhole. A continuous twenty-four (24) inch width of filter fabric shall be wrapped around each joint and shall have a two (2) foot overlap on the top of the pipe inlet manhole joint. All pipes shall be carefully laid, true to the lines and grades as shown on the plans. All pipes shall be laid "in the dry".

PVC and HDPE pipe shall be installed with water stop gaskets.

12.03.05 - Right-of-Way and Easements

Trees shall not be planted within any rights-of-way, utility easements, or drainage easements that are dedicated to the City of Winter Garden.

Section 12.04 - Backfilling

12-4 Culverts and Storm Sewers

PROJECT IDENTIFICATION

THIS PLAN IS FOR CONSTRUCTION ON PROPERTY AT:

**646 EAST PLANT STREET
WINTER GARDEN, FL 34787**

NO RESPONSIBILITY IS ACCEPTED BY RICHARDSON ENGINEERING FOR ANY OTHER LOCATION. LOCATION OF PROJECT IS REQUIRED PER DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION RULE 61G1-16.004 REQUIRING PROJECT IDENTIFICATION

DO NOT MASTER FILE THIS DRAWING



SEALED BY RICHARD B. RICHARDSON, P.E.
131 ZELMA STREET
ORLANDO FLORIDA 32803
(407) 425 - 4002
LIC# 00012380 ID# EB 26251

PROJECT: WINGATE OFFICE

CLIENT: DON WINGATE

JOB#: 170077

DATE: 5/14/2019

SHEET **C8** OF 12 DRAWN BY: BER

SEAL

CITY OF WINTER GARDEN
CONSTRUCTION REQUIREMENTS

1. Provide equipment to perform inspections of sewer mains located in streets, street rights-of-way, and off road easements.
 - a. Including but not limited to portable CCTV equipment, vehicles capable of transporting TV equipment and accessing remote easements, and adequate cleaning equipment.
 - b. Pipe plugs, pumps, equipment, and operators as needed to prepare and maintain sewer system conditions for test period.
 2. Certify that backup equipment is available and can be delivered to site within 48 hours.
- B. Software Requirements: PACP certification and video recording.
- C. CCTV
1. Color Video Camera
 - a. Specifically designed and constructed for this application.
 - b. Camera, 17-inch minimum, Closed Circuit, Color Television Monitor, and Other Components: Capable of producing a color video picture with a standard resolution of 720 x 480.
 - c. Produce 720 x 480 line resolution minimum.
 - d. Pan and tilt type, capable of turning at right angles to pipe's axis over an entire vertical circle (minimum pan of 270 degrees and rotation of 360 degrees).
 - e. Lighting: Suitable to allow clear picture of entire inner pipe wall extending at least 20 feet in front, including black High Density Polyethylene (HDPE) pipe.
 - f. Operative in 100 percent humidity conditions.
 - g. Image: Capable of self righting itself.
 - h. Include data view display feature capable of showing on tape following information.
 - 1) City and state.
 - 2) Date and time.
 - 3) Project name.
 - 4) Contractor's name.
 - 5) Inside pipe diameter and type.
 - 6) Manhole identification (upstream manhole to downstream manhole).
 - 7) On-going footage counter accurate within 0.2 foot, per 100 feet.

12-8 Culverts and Storm Sewers

- 2) Measurement Meters: Accurate to 0.2 foot over length of section being televised.
 - 3) Use measuring target in front of television as exact measurement reference point.
- B. Field Documentation
1. Mainline
 - a. Submit original records, logs, DVD's, CD-ROMs, and electronic data for sewer line inspection to City Inspector at end of day's inspection. Copies of the inspection will be provided by the City at Contractor's request.
 - b. Include, but not be limited to following information:
 - 1) Project Number.
 - 2) Basin Name.
 - 3) Owner.
 - 4) Date, time (begin to end inspections).
 - 5) Weather condition.
 - 6) Operator name.
 - 7) QA reviewer name.
 - 8) DVD/CD number and index.
 - 9) Manhole number to manhole number.
 - 10) Manhole depths.
 - 11) Length of pipe segment.
 - 12) Direction of CCTV (Upstream or Downstream).
 - 13) Pipe size.
 - 14) Pipe material.
 - 15) General physical conditions.
 - 16) Footage locations, clock position, descriptions, and estimated leakage rates for visible point sources of infiltration/inflow.

12-11 Culverts and Storm Sewers

- 8) Include operator narration, in format approved by City Inspector, using Commission approved terminology.
 - 9) Recording of single section of storm sewer onto 2 DVD/CD-ROMs will not be acceptable.
 - 10) Clearly label each DVD/CD-ROM as approved by the City Inspector.
- D. Recording Media
1. Provide a high quality DVD in a MPEG2 format video with a standard resolution of 720 x 480.
 2. Camera, Television Monitor, and Other Components: Capable of producing a minimum 720 x 480 line resolution color video picture.

PART 3 - EXECUTION

3.1 PRE-CONSTRUCTION SURVEY

A. Procedure

1. CCTV

a. Mainline

- 1) Before repair work, clean and inspect storm line from manhole to manhole, preferably upstream to downstream, one section at a time. Lines shall be completely cleaned prior to TV.
- 2) Maintain main isolation by plugging or bypass pumping while camera is moving and recording.
 - a) Plugs: Secured so as to remain in place during inspection.
 - b) Conduct operations to prevent building backups from rain events.
 - c) Be responsible for cleanup, repair, fines, property damage costs and claims for any storm backups.

2. Placement of camera

a. Manhole

- 1) Place at center of manhole and commence video recording before entering pipe.

12-9 Culverts and Storm Sewers

- 17) Footage locations, clock position, and descriptions of defects such as obstructions, root intrusion, blockages in pipe, deteriorated joints, offset joints, holes, breaks, cracks, collapses, bends or sags in alignment.
 - 18) Footage locations, clock position, and descriptions of other defects, features and points of interest found.
 - 19) Whether CCTV was complete or incomplete.
 - 20) All thermoplastic pipe shall be inspected utilizing laser profile technology per FDOT's Standard Specifications for Road and Bridge Construction - latest edition.
- c. DVD/CD-ROM Recording/Playback
- 1) At same speed that it was recorded.
 - 2) Supply slow motion or stop motion playback features.
 - 3) Once recorded, DVD/CD-ROM becomes property of the Commission.
 - 4) Have DVD/CD-ROM and necessary playback equipment readily accessible for review by City Inspector during Project.
- d. Observation Terminology Utilized During Audio Narration: Follow the Commission approved terminology.
- e. DVD/CD-ROMs displaying poor video quality refers to, but is not limited to grease or debris on lens, camera under water, image too dark, washed-out, distorted, or out of focus, lines improperly cleaned, and poor/no audio.
- 1) Re-televiser line if necessary and resubmit DVD/CD-ROM.

3.2 POST-CONSTRUCTION SURVEY

A. Procedure: Follow procedures as specified for pre-construction survey above and as specified below.

1. Stop camera (minimum 10 seconds) at beginning and end of repairs and inspect repaired section.
2. Appropriate reinspections fees will be charged for inspection of repairs.

12-12 Culverts and Storm Sewers

- 2) Start footage counter at beginning of pipe run at edge of manhole.
- b. Mainline: Mount on a transport platform that will keep it centered along longitudinal axis of storm mainline and above water.
 - 1) Place camera into connection and commence video recording before entering connection.
 - 2) Start footage counter at connection.

3. Operation of Camera

- a. Provide full 360 degree pan of all pipe joints. Camera shall be located precisely at each joint. Film the entire circumference at each joint.
- b. Show inside of manhole walls, manhole channel, and pipe connection to wall at both upstream and downstream manhole.
- c. Camera shall be centered and proceed at speed no greater than 30' / min.
- d. Maintain technical quality, sharp focus, and distortion free picture.
- e. Videotape a section of storm in its entirety with no breaks or interruptions.
- f. Pan, tilt, and rotate as necessary to best view and evaluate defects, features, and points of interest.
- g. Use power winches, powered rewinds, tractors, or other devices that do not obstruct camera view or interfere with proper documentation of storm line conditions to move camera through storm lines.
 - 1) Whenever non-remote powered and controlled winches are used provide suitable means of communication between manholes to insure good communications.
- h. Use hydraulic jet nozzle if necessary to remove standing water from line.
 - 1) Utilize blower as needed to defog storm line.
- j. Measurement for location of defects and service laterals
 - 1) At ground level by means of City Inspector-approved footage counter or metering device.

12-10 Culverts and Storm Sewers

ARTICLE 13

INLETS AND MANHOLES

Section 13.01- Scope of Work

The work specified in this Section shall consist of construction inlets and manholes. These structures shall be constructed of Portland Cement Concrete and reinforcing steel with the necessary metal frames and gratings. They shall be constructed in conformity with the detailed plans and in accordance with these specifications.

Section 13.02 - Materials

Concrete shall have a minimum compressive strength of 3,000 psi at twenty-eight (28) days. The mortar for masonry shall be of Portland Cement and sand, mixed in the proportions of one part cement to three parts sand. At the option of the Contractor, high early strength cement may be used.

Section 13.03 - Forms

Forms shall be built true to line and grade, braced in a substantial and unyielding manner and so designed and constructed that they may be removed without injury to the concrete.

Section 13.04 - Placing and Curing Concrete

The concrete shall be placed in the form to the depth shown on the plans and thoroughly tamped and spaded. After the concrete has hardened sufficiently, it shall be covered with suitable material and kept moist for a period of three (3) days or longer, if necessary, and shall be protected in a satisfactory manner from the elements until thoroughly cured.

Section 13.05 - Masonry Construction

Masonry construction shall be limited to completion of doghouses around pipes, adjusting manhole covers, etc., or as approved by the City Engineer. It is the intent of the specification that structures be constructed of precast concrete or cast-in-place concrete. All clay brick used shall conform to the current ASTM Designation C-55 Grade P-11. (Bricks shall be soaked prior to placement for a minimum of one (1) hour.)

Section 13.06 - Precast Inlets and Manholes

Precast manholes, inlets and junction boxes shall be in accordance with ASTM C-478 or the standard specifications.

Section 13.07 - Placing Pipes

The inlet and outlet pipes shall be flush with the inside face of the wall. The joints of pipe and inlet/manhole shall be carefully cleaned and completely filled with non-shrink mortar applied and cured in accordance with the manufacturer's recommendations. An asphaltic mastic material shall be applied twelve (12) inches in width from the joint around the exterior of the pipe(s) and on the exterior wall(s) of the inlet/manhole. A continuous twenty-four (24) inch width or filter

13-1 Inlets and Manholes

SEAL

PROJECT IDENTIFICATION

THIS PLAN IS FOR CONSTRUCTION ON PROPERTY AT:

646 EAST PLANT STREET
WINTER GARDEN, FL 34787

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RICHARDSON ENGINEERING

SEALED BY RICHARD B. RICHARDSON, P.E.
131 ZELMA STREET
ORLANDO FLORIDA 32803
(407) 425 - 4002
LIC# 00012380 ID# EB 26251

PROJECT: WINGATE OFFICE

CLIENT: DON WINGATE

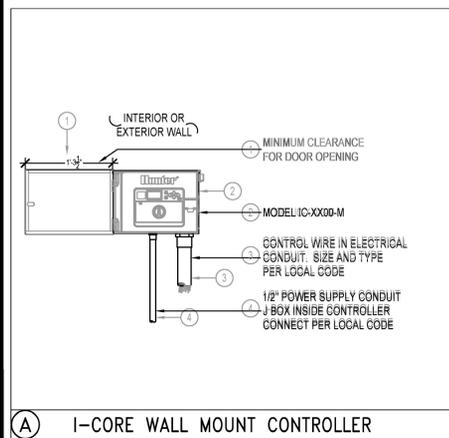
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DATE: 5/14/2019

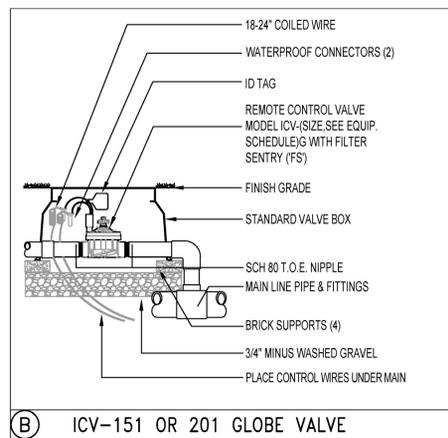
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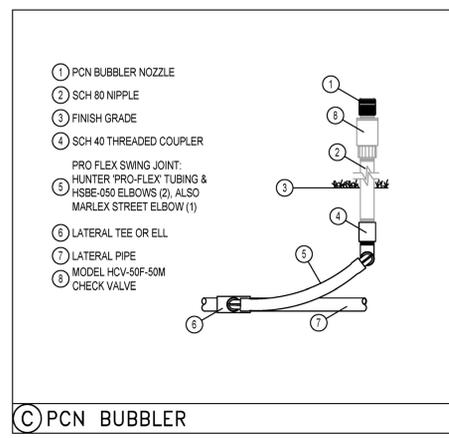
IRRIGATION DETAILS



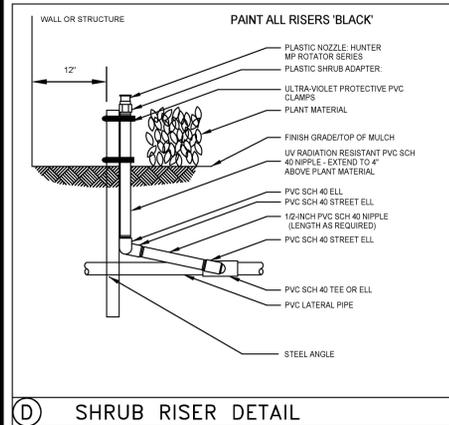
A I-CORE WALL MOUNT CONTROLLER



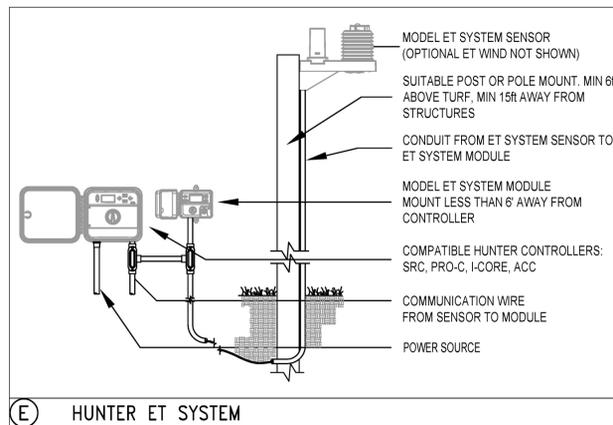
B ICV-151 OR 201 GLOBE VALVE



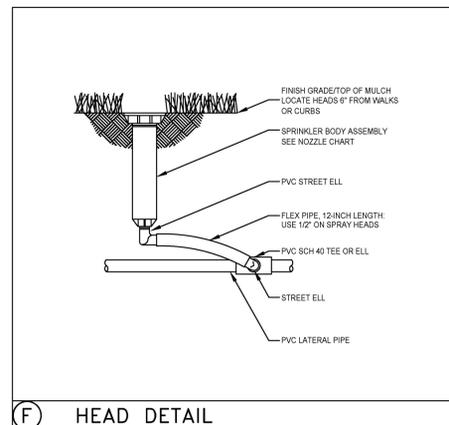
C PCN BUBBLER



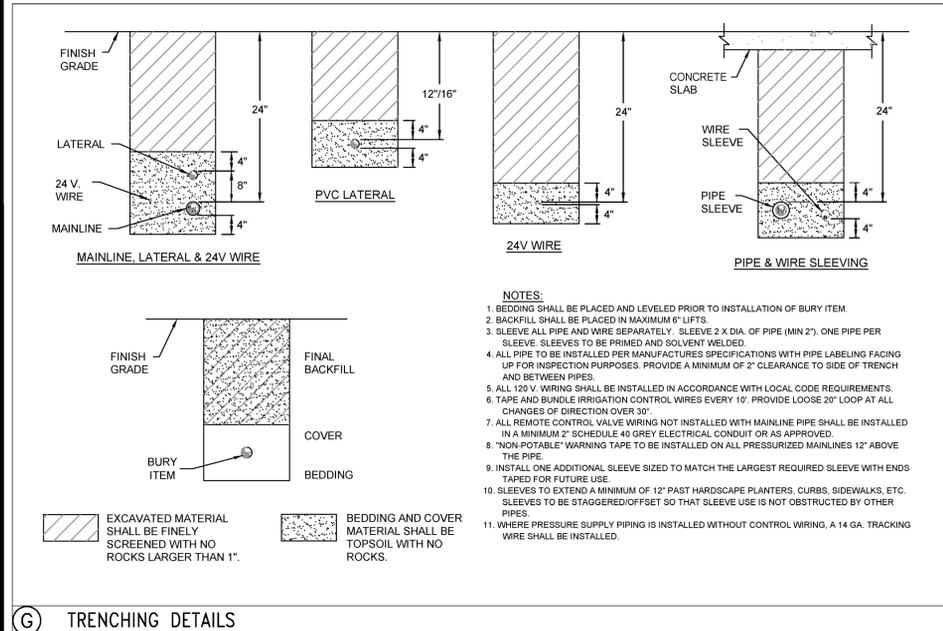
D SHRUB RISER DETAIL



E HUNTER ET SYSTEM



F HEAD DETAIL



G TRENCHING DETAILS

SPRAY NOZZLE CHART

	SYM	NOZZLE	NOZZLE PATTERN	GPM
MP1000 8'-15' radius	A	MAROON	90° ADJUSTABLE ARC	.19
	B	MAROON	180° ADJUSTABLE ARC	.37
	C	LT. BLUE	210° ADJUSTABLE ARC	.43
	D	LT. BLUE	270° ADJUSTABLE ARC	.57
	E	OLIVE	360° ARC	.75
MP2000 13'-21' radius	F	BLACK	90° ADJUSTABLE ARC	.40
	G	BLACK	180° ADJUSTABLE ARC	.74
	H	GREEN	210° ADJUSTABLE ARC	.86
	I	GREEN	270° ADJUSTABLE ARC	1.10
	J	RED	360° ARC	1.47
MP3000 22'-30' radius	K	BLUE	90° ADJUSTABLE ARC	.86
	L	BLUE	180° ADJUSTABLE ARC	1.82
	M	YELLOW	210° ADJUSTABLE ARC	2.12
	N	YELLOW	270° ADJUSTABLE ARC	2.73
	O	GRAY	360° ARC	3.64
STRIPS & CORNERS	P	TURQUOISE	45°-105° ADJUSTABLE ARC	.45
	Q	IVORY	5x15' LEFT STRIP	.22
	R	COPPER	5x15' RIGHT STRIP	.22
	S	BROWN	5x30' SIDE STRIP	.44
	BUBBLERS AND MICRO-SPRAYS	T	PCN10	1.00 GPM FLOOD BUBBLER
U		PCN50	.50 GPM FLOOD BUBBLER	.50
V		SR-2Q	90° 2' RADIUS	.11
W		SR-2H	180° 2' RADIUS	.16
X		MS-F	360° 5' RADIUS	.50

EQUIPMENT LIST

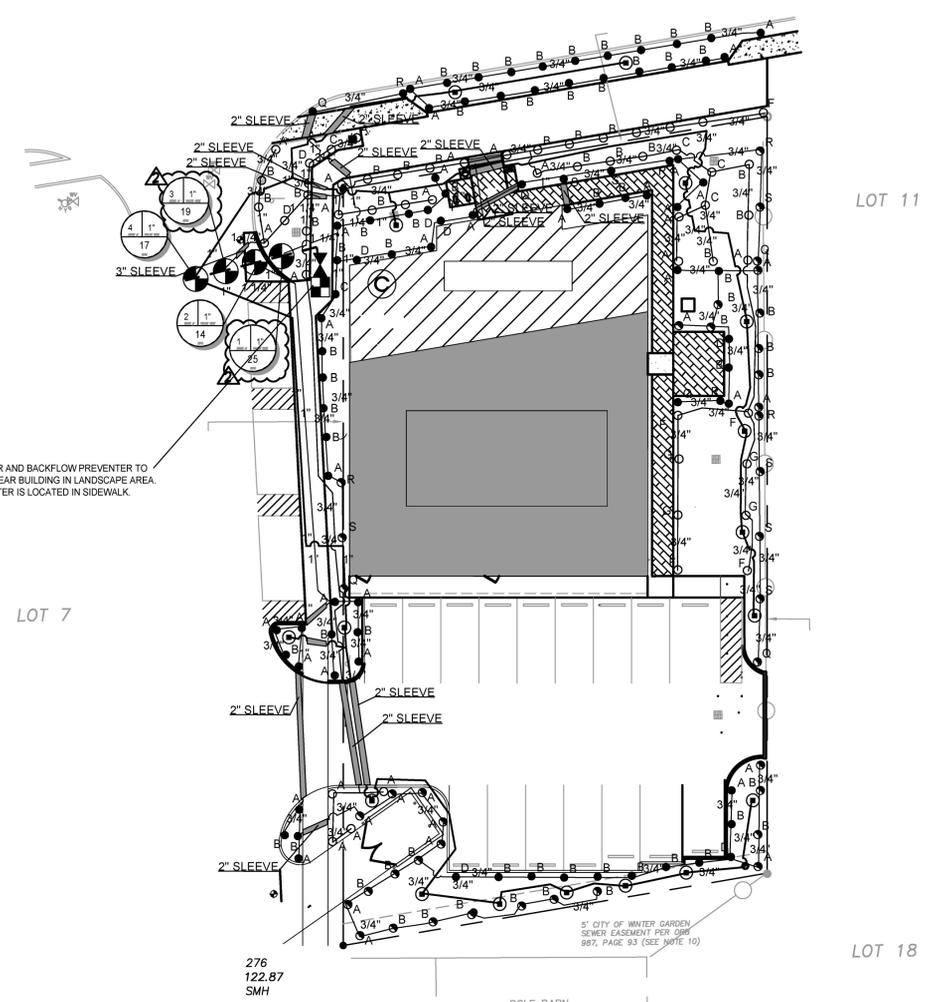
SYMBOL	DESCRIPTION	QUANTITY
■	0.50 GPM BUBBLER (2 PER TREE)	34
○	6" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 WMP2000 NOZZELS	53
●	12" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 WMP2000 NOZZELS	85
●	SPRAY ON RISER - HUNTER INDUSTRIES INST-00-CV-MP2000	39
▲	HUNTER INDUSTRIES - 4" POP-UP PGP ROTORS- PART RADIUS	0
▲	HUNTER INDUSTRIES - 4" POP-UP PGP ROTORS- FULL RADIUS	0
⊕	HUNTER '1CV' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR	1"
⊕	HUNTER '1CV' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR	3/4"
⊙	HUNTER ICC 8 STATION CONTROLLER, 120VOLT INSTALL WITH A ET SENSOR AND BY-PASS BOX. GROUND WITH AN 8' COPPER CLAD ROD.	1
⊗	1" POTABLE IRRIGATION METER TO PROVIDE 30 GPM AT 40 PSI	1
⊗	1" DOUBLE CHECK VALVE BACKFLOW PREVENTOR	1
—	LATERAL LINE SIZE PER PLAN	SEE PLAN
—	1-1/2" MAINLINE CLASS 200 P.V.C. SIZE PER PLAN	SEE PLAN
—	SLEEVING - SCH. 40 P.V.C. MIN. DEPTH OF 24" (ALL 3" SLEEVES TO HAVE ACCOMPANYING 2" SLEEVE FOR WIRES)	SEE PLAN

IRRIGATION NOTES

- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTORS AND SPRAY HEADS SHALL BE INSTALLED USING AN 18" P.V.C. FLEX PIPE CONNECTION. DO NOT USE FUNNY PIPE.
- ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES AND BUILDING WALLS.
- THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
- ALL RISERS SHALL BE PAINTED BLACK.
- ALL RISERS SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH ULTRA-VIOLET LIGHT PROTECTED P.V.C. CLAMPS.
- ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS AND SEALANT.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR) SHOWING ALL INSTALLED IRRIGATION. A MYLAR OR SEPIA OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.
- ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.
- ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
- ALL RISERS SHALL BE INSTALLED 12" FROM ANY WALL AND A MINIMUM OF 36" FROM ANY SIDEWALK, PATIO OR ROAD.
- THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY HIS WORK.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- CONTRACTOR TO USE MIN. OF 12 GAUGE WIRE FOR ALL COMMON WIRES AND 14 GAUGE WIRE FOR ALL CONTROL WIRES. CONTRACTOR ALSO TO PROVIDE 3 SPARE CONTROL WIRES FOR ANY FUTURE USE.
- CONCRETE THRUST BLOCKS ARE TO BE UTILIZED AT ALL MAINLINE DIRECTION CHANGES.
- ALL IRRIGATION SHOWN ON PLANS IS SCHEMATIC AND DOES NOT REFLECT ALL FITTINGS AND APPURTENANCES WHICH SHALL BE INCLUDED TO PROVIDE A FULLY FUNCTIONAL IRRIGATION SYSTEM CAPABLE OF PROVIDING 100 PERCENT COVERAGE WITH A 50 PERCENT OVERLAP.

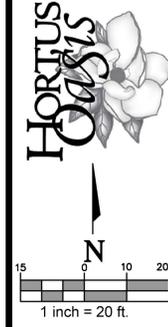
Zone Chart

Zone#	GPM	Water Use	Program
1	25	Shrubs	A
2	14	Shrubs	A
3	19	Sod	B
4	17	Bubblers	C



REVISIONS:
DATE NOTE
1 04-29-19 Revised Base
2 09-26-19 City Comments

STEPHEN G. PATEGAS, R.I.A., A.S.I.A.
Landscape Architect - L.C.0600010
KRISTIN G. PATEGAS, A.P.L.D., P.C.I.D.
Landscape Designer
407.622.4886
1425 BERSHIRE AVENUE
WINTER PARK, FL 32789
garder@hortusois.com
www.hortusois.com



15 10 20
1 inch = 20 ft.

Irrigation Plan
646 E. Plant St.
 Winter Garden, Florida

DESIGN | DRAFT | CHECK
SP | JB | SP
PROJECT #: 217-053
DATE: 05/22/18
SCALE: 1:20
SHEET: L2
TOTAL: L1 - L2

48 HOURS BEFORE YOU DIG
CALL SUNSHINE
1-800-432-4770 or 811
IT'S THE LAW IN FLORIDA
FLORIDA LAW REQUIRES EXCAVATORS TO NOTIFY OWNERS OF UNDERGROUND FACILITIES NO LESS THAN TWO (2) DAYS PRIOR TO EXCAVATION

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Exhibit "C"

COVER PAGE

**646 E Plant Street
Architectural Renderings**

(5 PAGES - ATTACHED)



WG PLANT, LLC 646 E. PLANT ST.
WINTER GARDEN, FL 34787



Concept Illustration by Lion's Breath Studio
Consult Architects,
Engineering and Landscape Plans for accuracy.

OFFICE ADDITION & RENOVATION FOR: WG PLANT, LLC 646 E. PLANT ST. WINTER GARDEN, FL 34787

Stephen Davis Architects



Stephen Davis
Architects

**OFFICE ADDITION & RENOVATION FOR:
WG PLANT, LLC
646 E. PLANT ST.
WINTER GARDEN, FL 34787**

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CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

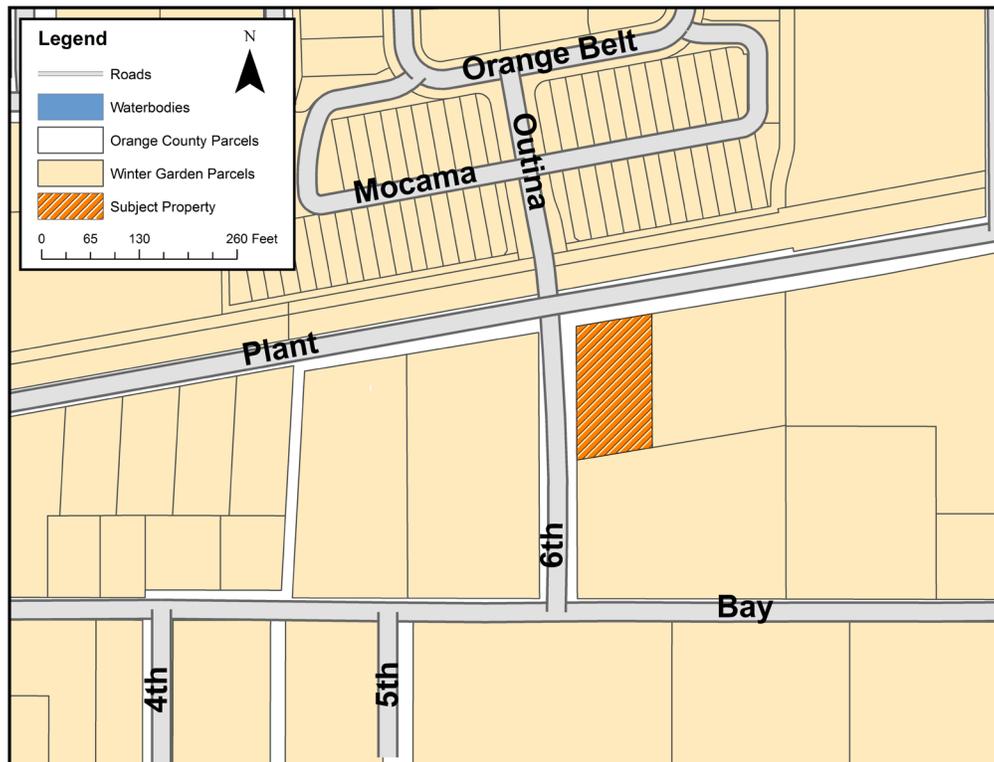
TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: NOVEMBER 25, 2019
SUBJECT: FLU AMENDMENT & CAPUD REZONING (ORDS 20-05 & 20-06)
646 E Plant St (0.41 +/- ACRES)
Parcel ID# 14-22-27-6576-00-090

APPLICANT: WG PLANT LLC // DON WINGATE

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Land Development Regulations and Comprehensive Plan.

The subject property, located at the southeast corner of E Plant Street and 6th Street, is approximately 0.41 ± acres in size. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property is located within the City of Winter Garden's municipal limits, and currently carries the zoning designation I-2 (General Industrial District). The subject property is designated (I) Industrial on the Future Land Use Map of the Comprehensive Plan. The applicant is requesting to amend the City's Comprehensive Plan to give the property a Future Land Use designation of COM Commercial and rezone 0.41 ± acres of land to CAPUD (Character Area Planned Unit Development).

The subject property is located within the East Plant District of the Plant Street Character Area overlay. The Character Area Planned Unit Development zoning district was established by Ordinance 17-06 and was adopted by City Commission on June 22, 2017.

EXISTING USE

The property currently contains a 7,800 +/- square foot warehouse building that was constructed in 1931. It is commonly referred to as the American Water Flow (AWF) Building because it formerly housed a company that provided irrigation materials and installation services. There is an existing driveway on 6th Street that accesses a warehouse roll-up door as well as a chain link gate on the south side of the building leading to a second warehouse roll-up door.

ADJACENT LAND USE AND ZONING

The properties to the north of the subject property contain townhome units that are part of the Heritage at Plant Street subdivision. These properties are zoned PUD and are located within the City of Winter Garden's municipal limits. The property to the west of the subject property is developed with a professional office building and open trailer storage in the rear yard, is zoned I-2, and is located in Winter Garden. The property to the east is developed with a commercial building that houses the Local Carpenters Union, is zoned I-2, and is located in Winter Garden. The property to the south is developed with several metal covered storage structures, is zoned I-2, and is located in Winter Garden.

PROPOSED USE

The applicant is requesting CAPUD rezoning to permit the redevelopment of the +/- 0.41 acre site, which includes demolishing a portion of the existing warehouse, renovating the interior of the remaining building, and constructing a new addition to the structure along the E Plant Street frontage. The owner is proposing to maintain a portion of the existing warehouse building because the old growth wood used for framing the interior is still in great shape and will be a striking aesthetic feature for future tenants. The new building will feature a total of 5,558 square feet of area, which consists of 3,800 square feet of existing building and 1,758 square feet of the new addition in the front.

The building will house one or more commercial uses, although the specific commercial occupant or occupants have yet to be determined. The development also includes associated site development such as a new off-street parking area with 16 spaces the south side of the building, three new parallel street parking spaces on 6th Street, pedestrian-oriented streetscape improvements, an internal courtyard area, and landscaping. The project has been designed to meet the pedestrian-oriented design requirements of the Plant Street Character Area Overlay.

COMMUNITY MEETING

On November 6, 2019, a community meeting was held in the City Commission Chambers to discuss the proposed CAPUD rezoning with surrounding property owners. The meeting attendees were mostly curious about the project, asking questions about the proposed uses, but had no major concerns or objections to the proposed rezoning.

APPROVAL CRITERIA

In accordance with the City's Comprehensive Plan and Land Development Regulations, a proposed planned unit development and its associated preliminary development plan may be approved only after competent, substantial evidence has been presented which allows the following determinations to be made: (staff conclusions/findings are underlined)

- (1) The proposed PUD is consistent with the land development regulations, comprehensive plan and the future land use map;

The proposed CAPUD is consistent with the land development regulations, comprehensive plan, and the future land use map. See other portions of this report concerning consistency with the land development regulations.

- (2) The proposed PUD will not substantially devalue or prevent reasonable use and enjoyment of the adjacent properties;

The proposed CAPUD project will not deprive or prevent adjacent property owners of any rights or abilities to enjoy or continue existing uses of their property or to develop their property in accordance with the city's land development regulations and comprehensive plan goals, objectives, and policies. Further, in accordance with land development regulations and the comprehensive plan, the proposed CAPUD will provide for adequate buffering against adjoining properties and rights-of-way in the form either landscaping to create a visual screen and/or perimeter knee wall.

- (3) Adequate public infrastructure facilities and water and sewer service to support the development of the proposed PUD are available or an agreement or binding conditions have been established that will provide these facilities, improvements and services in a reasonable time frame;

At such time that the property is redeveloped, all necessary utility lines (water, sewer, and reclaimed water) will be extended and connections made to serve the development of the property, all extension and connection costs shall be borne by the property owner.

Prior to any board approvals, a Developer's Agreement detailing the obligations of the developer associated with the proposed CAPUD may be required. The requirement for a Developer's Agreement will be determined during Site Plan Review.

- (4) The proposed PUD will not allow a type or intensity of development that is premature or presently out of character in relationship to the surrounding area;

The proposed CAPUD project is consistent with the comprehensive plan's goals, objectives and policies for the Commercial future land use designation; the CAPUD zoning criteria; and the City's land development regulations. The proposed building will not cause the property to have a floor area ratio that exceeds 0.35, which is consistent

with the Comprehensive Plan policy for the Commercial FLU. The proposed project reduced the square footage of the building (7,800 square feet existing and 5,558 square feet proposed), while adding off-street parking to support the end users, which the property currently does not have.

The proposed CAPUD is not premature or presently out of character in relationship to the surrounding area. The proposed change from Industrial to Commercial is consistent with the trend of development in the area. With the development of the Plant Street Character Area overlay, the properties located directly adjacent to E Plant Street are envisioned to be a mix of commercial and residential buildings, designed to promote a vibrant streetscape and increase pedestrian activity.

- (5) The rezoning will not interfere with an adjacent property owner's reasonable expectation of use or enjoyment; and

In accordance with the City's comprehensive plan, the zoning designations permitted within the Commercial future land use designation include Planned Development zoning designations. Further, in accordance with land development regulations and the comprehensive plan, the proposed CAPUD will provide for adequate buffering against adjoining properties and rights-of-way.

- (6) There is availability and adequacy of primary streets and thoroughfares to support traffic to be generated within the proposed PUD and the surrounding area, or an agreement or binding conditions have been established that will provide such transportation facilities to support said traffic in a reasonable time frame.

The current conceptual layout depicts transportation access being provided by a driveway that accesses 6th Street, which includes three street parking spaces along 6th Street. The driveway location is an adequate distance from adjacent intersection and should pose no issues with turning conflicts or sight distances. Additional pedestrian and bike amenities such as a wider (12') sidewalk on E Plant Street and bike racks are being provided to increase pedestrian access to the property.

The renovation of the property is not anticipated to have a significant impact on local traffic. The future uses are limited by the number of parking spaces that could be located on or adjacent to the site (19), so the impact should not be significant.

All driveway improvements will be constructed at the owner's expense and in compliance with City concurrency standards for transportation.

- (7) The degree of departure or conformity of the proposed PUD with surrounding areas in terms of character and density.

The proposed CAPUD project is consistent with the comprehensive plan's goals, objectives and policies for the Commercial future land use designation and the CAPUD zoning criteria and land development regulations. Only commercial uses such as office and retail will be permitted, and the property will not have a floor area ratio that exceeds 0.35. This is consistent with the Comprehensive Plan policy for the Commercial FLU.

- (8) Compatibility of uses and improvements within the PUD and the relationship with surrounding existing or proposed developments.

The proposed CAPUD project integrates several elements that provide for cohesion between existing natural features/resources and the uses surrounding the property. The project includes significant pedestrian improvements, especially along E Plant Street, including a wide 12' +/- multi-modal sidewalk with street tree plantings and other pedestrian furnishings and amenities. This new sidewalk ties into the existing concrete sidewalks located within the adjacent rights-of-way. These improvements will enhance pedestrian and bicycle circulation in the area.

Only 67% of the project area will be covered by impervious surfaces, leaving the other 33% of the property consisting of pervious green areas. A courtyard area on the east side of the building and seating area close to the E Plant Street building entrance will satisfy the 5% land area for parks requirement of the Plant Street Character Area overlay.

- (9) Prevention of erosion and degrading or enhancement of the surrounding areas.

To the greatest extent possible, stormwater management features will be designed as landscape amenities. Proper erosion and sedimentation control measures will be taken during the construction process.

- (10) Provision for recreation facilities, surface drainage, flood control and soil conservation as shown in the preliminary development plan.

The subject property complies with the impervious surface maximum requirements of the Land Development Code (80%) and a courtyard area on the east side of the building and seating area close to the E Plant Street building entrance will satisfy the parks requirement of the Plant Street Character Area overlay.

Stormwater management for the proposed PUD project will be required to satisfy the City of Winter Garden's requirements and the St. John's Water Management District.

- (11) The nature, intent and compatibility of any common open space, including the proposed method for the maintenance and conservation of the common open space.

The subject property will feature various open spaces including landscape areas, a courtyard area, and seating area. There are no current or future plans to develop the designated open space areas – they will remain open in perpetuity under single ownership.

- (12) The feasibility and compatibility of the specified stage(s) or phase(s) contained in the preliminary development plan to exist as an independent development.

The proposed project will be completed in one phase.

- (13) The availability of existing or planned reclaimed water service to support the proposed PUD.

Reclaimed water service is not currently available to serve the property on which the CAPUD is proposed to be developed. However, Staff will require that the property be set up to easily connect to reclaimed water service once it becomes available in the area. All other necessary utility lines (water, sanitary sewer, etc.) will be connected to serve the development of the property, and all connection costs shall be borne by the property owner.

- (14) The benefits within the proposed PUD development and to the general public to justify the

requested departure from standard land use requirements inherent in a PUD classification.

The proposed CAPUD includes requirements regarding specific development and architectural standards, as outlined in an exhibit that is part of the CAPUD ordinance. The building architecture must adhere to the rendering exhibited with the PUD ordinance, and the site must be developed in a way that is consistent with the exhibited site plan. Staff has worked closely with the applicant to ensure the project achieves pedestrian-oriented design, architectural quality, adequate buffering, streetscape amenities, and aesthetic harmony with surrounding properties.

- (15) The conformity and compatibility of the proposed common open space, residential and/or nonresidential uses within the proposed PUD.

The proposed open spaces, which include the streetscape improvements, the courtyard, and the seating area, are inclusive, pedestrian friendly, and meet all requirements of City Code and the Comprehensive Plan.

- (16) Architectural characteristics of proposed residential and/or nonresidential development.

Staff has coordinated closely with the applicant to ensure the redeveloped building exhibits quality architectural design and will fit in harmoniously with the character of surrounding properties and the architectural standards of the Plant Street Character Area overlay. The building is required to be consistent with the rendering exhibited in the CAPUD, which features a modern commercial building that maintains the historic structure's industrial flavor. The building will feature vertical hardboard siding, sloped metal roof, factory-style windows with metal casing, a double door entry with transom, and sliding wood doors on a metal track system. Many of the most significant building features will be oriented towards E Plant Street, presenting a quality "front" face to the larger community.

- (17) A listing of the specific types of nonresidential uses to be allowed.

The permitted uses in the proposed CAPUD include office, retail/mercantile, food service such as cafes or coffee shops, personal services, and medical offices (excluding laboratories). The property has a Commercial Future Land Use designation which permits "...retail, service, and professional activities". Furthermore, the CAPUD zoning designation permits commercial uses.

PLANT STREET CHARACTER AREA REQUIREMENTS

In addition to the rezoning criteria, when considering a rezoning to character area planned unit development that incorporates deviations from the development standards of City of Winter Garden Code Chapter 118, Article XIV, the city shall consider the extent to which the proposed development, taken as a whole (staff conclusions/findings are underlined):

- (1) Advances the stated vision and principles of the character area, including:

- a. Promotes modes of transportation other than the automobile, including walking and transit;

The project includes significant streetscape improvements along E Plant Street including a wide 12'+/- multi-use sidewalk, street tree and other street landscaping,

as well as pedestrian furnishings and amenities. The proposed pedestrian improvements will tie into other existing adjacent pedestrian and bicycle facilities, and it is located across the street from the West Orange trail. The parking area is located primarily in the rear portion of the property away from the street, deemphasizing the automobile as the sole transportation option.

- b. Creates a built environment that is in scale with pedestrian-oriented activities and provides visual interest and orientation for pedestrians; and

The design of the building is centered on enhancing the pedestrian experience. The new E Plant Street elevation features a series of tall angled windows, a new double entry door with transom window, and a window above the entrance, all of which increase building transparency and create an inviting entrance. New windows are also proposed to be added along the 6th Street elevation as well as the east side of the building. Two wood sliding doors flank the entrance, which provide functionality while highlighting the industrial flavor of the existing structure. Additionally, by creating a seating area along E Plant Street and a courtyard space on the east side of the building, pedestrians are invited to stay and interact with the site, creating a sense of place and contributing to the vibrancy of the area.

- c. Contributes to a mix of uses in the area that are compatible with each other and work together to support the stated vision.

The proposed development will attract high-quality commercial businesses, which will fit in well among the other existing and proposed uses in the area, which includes a mix of residential, commercial and industrial buildings.

- (2) Is consistent with the intent of the standards applicable to the sub-district and district in which it is located.

The proposed development is consistent with the standards and overall vision of the East Plant District.

- (3) Is physically and functionally integrated with the built environment in which it is located; and

The proposed development will integrate seamlessly with the built environment, responding to the existing street alignment by pushing the building closer to the roads than the building does currently and providing an outward-facing community-oriented space in the form of a seating area along E Plant Street.

- (4) The potential impacts of the proposed deviation on surrounding properties and the extent to which any adverse impacts from such deviation can be mitigated.

No adverse impacts to surrounding properties are anticipated to be created by the proposed development.

SUMMARY

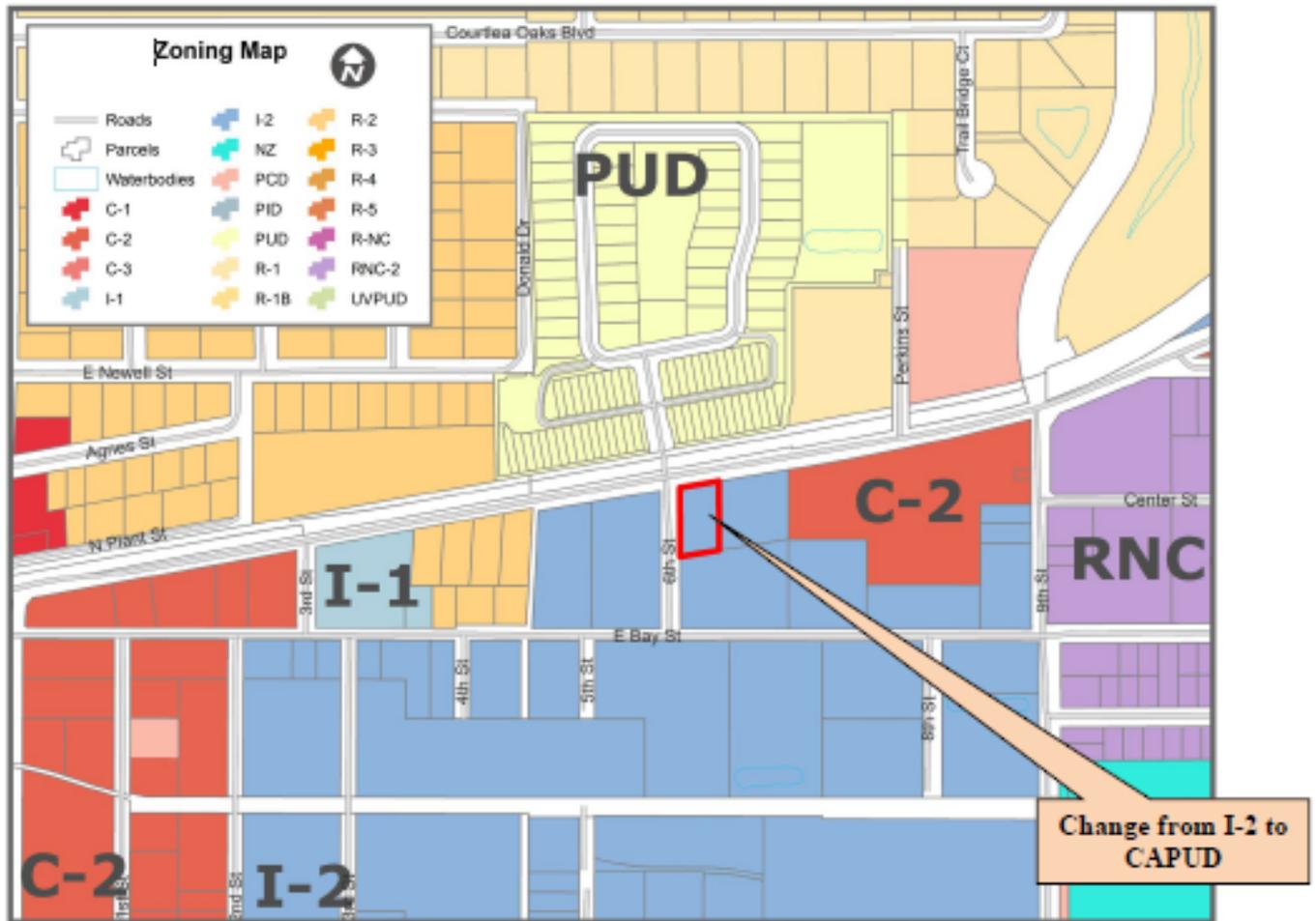
City Staff recommends approval of the proposed Ordinances 20-05 and 20-06. Changing the future land use designation of the subject property from Industrial to Commercial and rezoning

the subject property from I-2 to CAPUD is consistent with the City’s Comprehensive Plan, Future Land Use Map, land development regulations, Plant Street Character Area Design Criteria, and is consistent with the trend of development in the area.

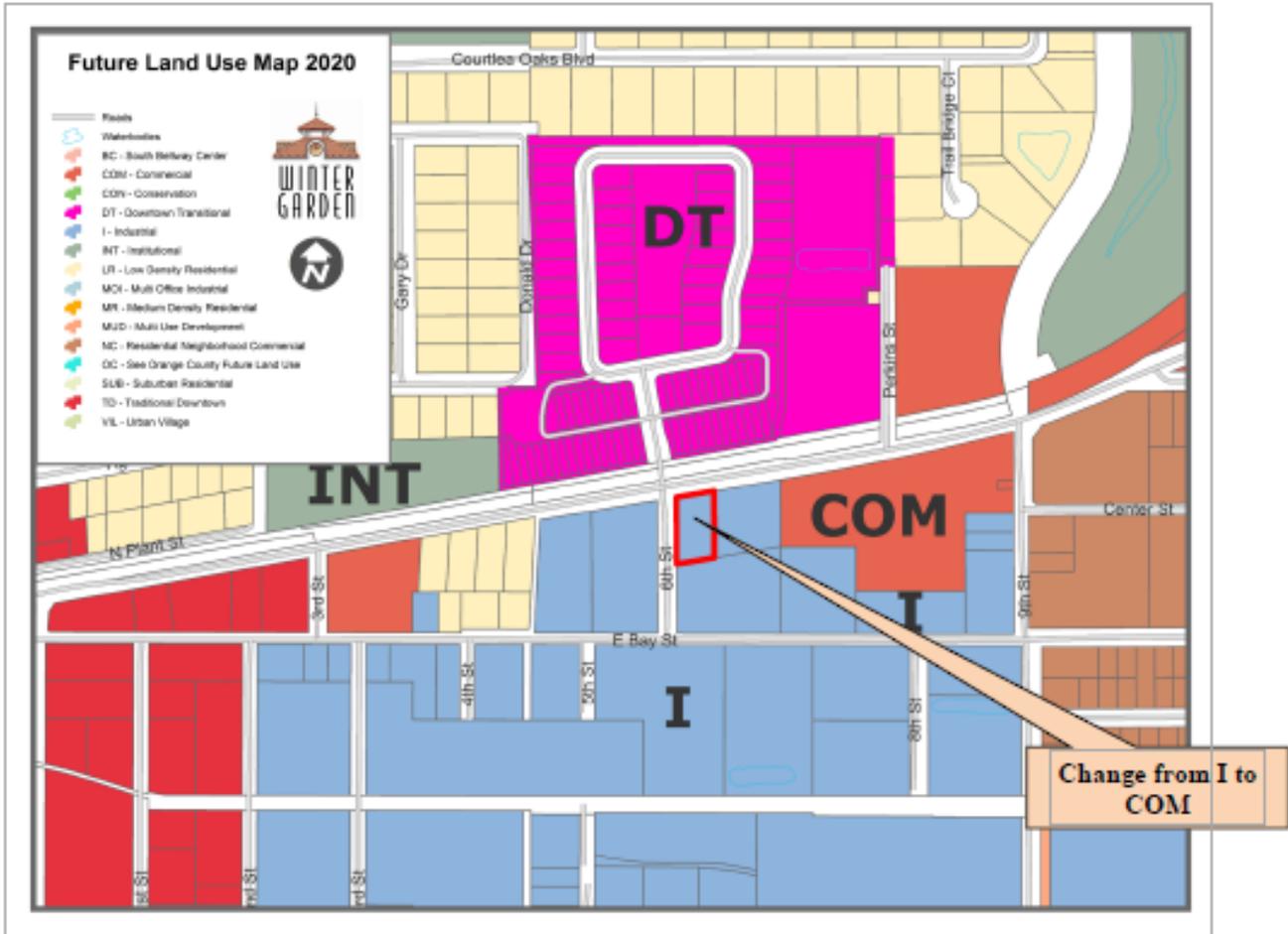
AERIAL PHOTO
646 E Plant Street



ZONING MAP
646 E Plant Street



FUTURE LAND USE MAP
646 E Plant Street



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: Mike Bollhoefer, City Manager

Date: January 2, 2020

Meeting Date: January 9, 2020

Subject: Final Plat
Dillard Pointe
555 N Dillard St. (2.286 +/- Acres)

Issue: Applicant is requesting to record the Final Plat of 12 single-family lots in the Dillard Pointe subdivision.

Discussion:

The applicant is developing the property known as Dillard Pointe with 12 single-family lots. The plat is consistent with the subdivision's preliminary plat and the property's PUD zoning requirements (Ordinance 17-04, amended by Resolution 17-11).

Recommended action:

Staff recommends approval of the final plat.

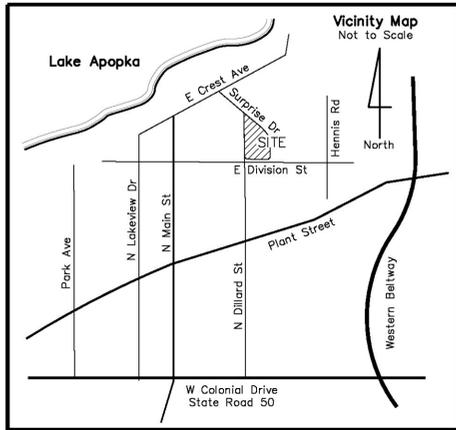
Attachments/References:

Location Map
Dillard Pointe Final Plat
DRC Staff Report

LOCATION MAP

Dillard Pointe Subdivision





Dillard Pointe

Replat of Lots 135 through 146, REPLAT WINTER GARDEN SHORES, Plat Book M, Page 76 Section 14, Township 22 South, Range 27 East City of Winter Garden, Orange County, Florida

Sheet 1 of 1

PLAT BOOK PAGE

Dillard Pointe (A Replat) DEDICATION

Description

Lots 135 through 146, REPLAT WINTER GARDEN SHORES, according to the plat thereof as recorded in Plat Book "M", Pages 76 and 77, of the Public Records of Orange County, Florida.

Being more particular described as follows:

BEGIN at the most Northerly corner of Lot 146 of said REPLAT WINTER GARDEN SHORES, thence South 58°56'55" East, along the Easterly line of the block of lots being Lots 135 through 146 of said REPLAT WINTER GARDEN SHORES and Westerly right of way line of Surprise Drive, a distance of 72.42 feet to a point of curvature of a curve concave Westerly and having a radius of 336.35 feet; thence, through a delta angle of 59°04'07" run Southerly, along the Easterly line of said block of lots and said Westerly right of way line, along the arc of said curve a distance of 346.76 feet to a point of tangency; thence South 00°07'13" West, along the Easterly line of said block of lots and said Westerly right of way line, a distance of 96.00 feet to a point of curvature of a curve concave Northwesterly and having a radius of 25.00 feet; thence, through a delta angle of 89°52'47" run Southwesterly, along the Easterly line of said block of lots and said Westerly right of way line, along the arc of said curve a distance of 39.22 feet to a point of tangency, said point being on the South line of said block of lots and North right of way line of E. Division Street; thence North 90°00'00" West, along the South line of said block of lots and North right of way line of E. Division Street, a distance of 219.94 feet to a point of curvature of a curve concave Northeasterly and having a radius of 25.00 feet; thence, through a delta angle of 89°57'59" run Northwesterly, along the South line of said block of lots and said North right of way line, along the arc of said curve a distance of 39.26 feet to a point of tangency, said point being on the West line of said block of lots and East right of way line of N. Dillard Street; thence North 00°02'01" West, along said West line of said block of lots and said East right of way line, a distance of 396.45 feet to a point of curvature of a curve concave Southeasterly and having a radius of 30.00 feet; thence, through a delta angle of 121°05'06" run Easterly, along said West line of said block of lots and said East right of way line, along the arc of said curve a distance of 63.40 feet to the POINT OF BEGINNING.

Contains 2.286 acres, more or less.

Notes

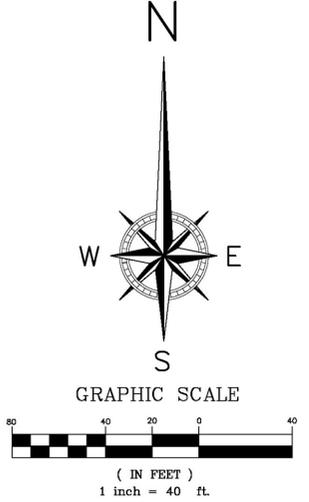
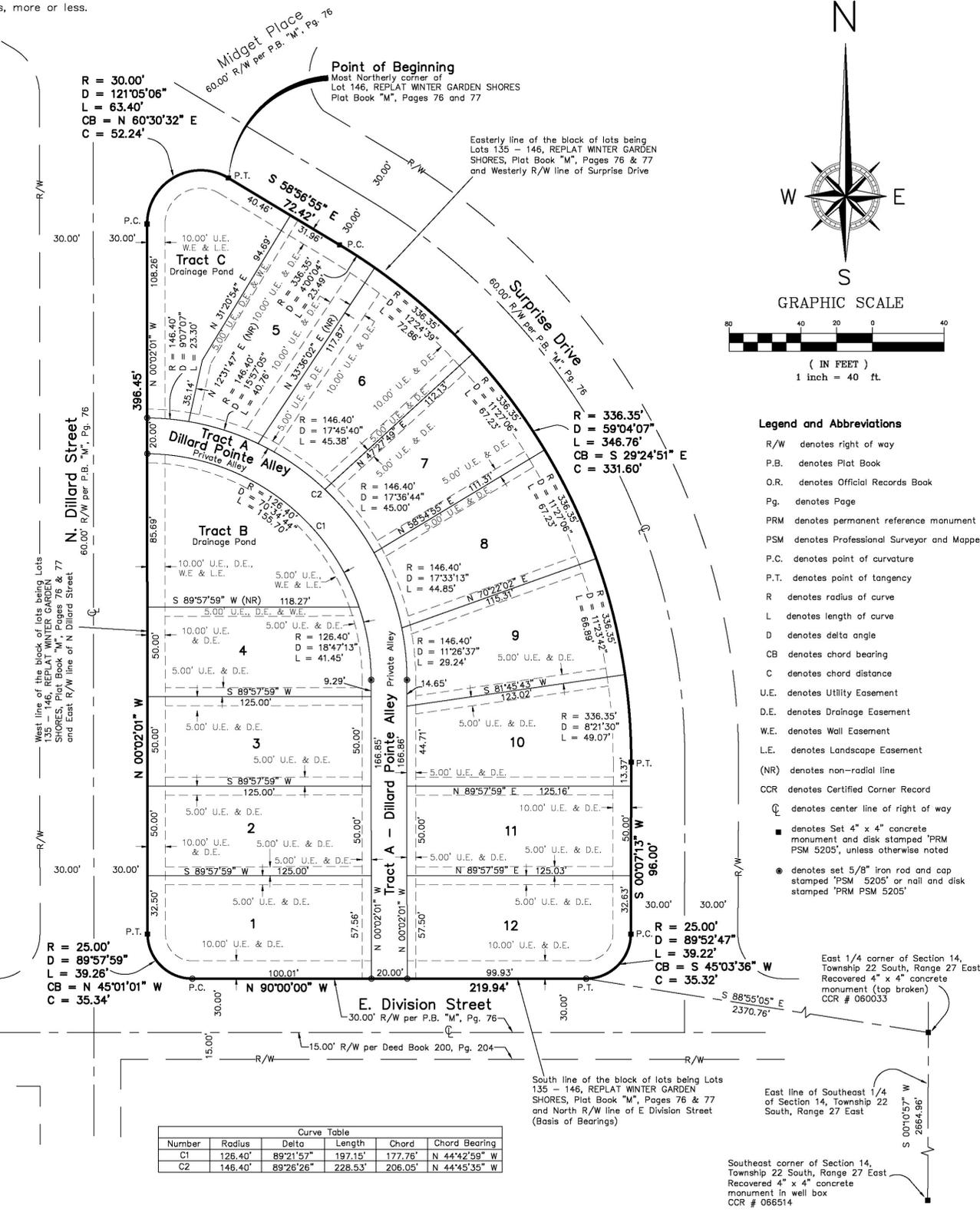
- Bearings shown hereon are based on the North right of way line of E. Division Street being assumed as North 90°00'00" West.
- All lines are radial to curve except those that are labeled not radial (NR).
- Tract A is a private alley tract to be owned and maintained by the Dillard Pointe Homeowners Association, Inc. A drainage and utility easement is hereby dedicated to the City of Winter Garden over, under and through Tract A, except for the maintenance of utilities and drainage facilities that the city installs or accepts for maintenance, the city shall have no maintenance responsibilities for Tract A or any improvement thereon. The City of Winter Garden's rights in the drainage and utility easements dedicated by this plat shall be superior to all others and no utilities or other improvements shall be permitted to conflict or interfere with the city's utility improvements within such utility easement areas.
- Tracts B and C are private drainage pond areas to be operated, owned and maintained by the Dillard Pointe Homeowners Association, Inc. The City of Winter Garden is hereby dedicated a non-exclusive drainage easement over, under and through Tracts B and C for the benefit of public rights-of-way and lands draining thereto. The City shall not be responsible for the operation, maintenance and repair of Tracts B and C and the stormwater drainage improvements thereon.
- There is a 5.00' wide Utility and Drainage Easement along all side lot lines. There is a 5.00 Utility Easement along the rear of all lots adjacent to Tract A. There is a 10.00' wide Utility and Drainage Easement along the front of all lots and tracts that are along the perimeter of this plat. These utility and drainage easements are dedicated to the City of Winter Garden.
- The Wall Easements (W.E.) on Lots 4 and 5 are dedicated to and maintained by the Dillard Pointe Homeowners Association, which is responsible for maintaining the retaining walls located thereon.
- Landscape Easements are dedicated to and maintained by the Dillard Pointe Homeowners Association for access and maintenance.
- All platted utility easements shall also be easements for the construction, installation, maintenance, and operation of cable television services; provided, however, no such construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. This paragraph shall not apply to those private easements granted to or obtained by a particular electric, telephone, gas, or other public utility. Further, such construction, installation, maintenance, and operation shall comply with the National Electrical Safety Code as adopted by the Florida Public Service Commission.
- The City of Winter Garden shall have the right, but not the obligation, to access, maintain, repair, replace and otherwise care for or cause to be cared for the common area tracts A, B, and C that are to be owned by the Dillard Pointe Homeowners Association, Inc., which are not dedicated to the public use or the City of Winter Garden. In the event any or all of the said common area tracts are not maintained, repaired, or replaced in accordance with the standards of the City of Winter Garden Code of Ordinances, good engineering practices, or become a nuisance or in the event the City of Winter Garden exercises its aforementioned right, each of the lot owners of the subdivision are hereby ultimately responsible for payment of the cost of maintenance, repair, replacement and care provided by the City of Winter Garden or its contractors and agents, plus administrative costs and attorneys' fees and costs incurred by the City of Winter Garden. If said costs are not paid within 15 days of invoicing, then said costs shall constitute a lien on the property of the owners which fail to pay such costs and may be enforced, without limitation, by foreclosure, special assessments, or as may otherwise be permitted by the Association's Declaration of Covenants, Conditions, Restrictions and Easements or by law. This right, and the City of Winter Garden's exercise of said right, shall not impose any obligation on the City of Winter Garden to maintain, repair, replace, or otherwise care for said common area tracts.
- The Dillard Pointe Homeowners Association, as owner of the subdivision infrastructure not otherwise dedicated to the public use or the City of Winter Garden, common properties, and amenities, and the individual lot owners to extent of their interest in the foregoing, shall release, defend, indemnify and hold the City of Winter Garden, other governmental entities and public utilities harmless from any and all costs, expenses, suits, demands, liabilities, damages, injuries (including death), or otherwise including attorneys' fees and costs of suit, in connection with the reasonable use of said subdivision infrastructure, common areas, or amenities, or said parties' maintenance thereof, or said parties' exercise of rights permitted in the declaration of the homeowners association, this plat, or as otherwise permitted by law.
- The lots within this subdivision are governed by Dillard Pointe Homeowners Association requiring the payment of fees and with the power to assess the lots. The homeowners association is the owner of and/or responsible for the maintenance, repair, and replacement of all private areas, drainage systems, including without limitation, Tracts A, B and C and the improvements thereon and other subdivision infrastructure not otherwise dedicated to the public use or the City of Winter Garden. Every lot owner within this subdivision must be a member of the Dillard Pointe Homeowners Association. Failure to pay such fees or assessments shall result in the attachment of a lien on the property of the owner which fails to pay such fees or assessments by the homeowners association, which may result in the foreclosure of said property.
- There is hereby granted and dedicated to the City of Winter Garden and other public service and emergency service providers, a non-exclusive easement over and through Tract A (Private Alley) and any other privately owned internal roads, alleys, paved areas and sidewalks for vehicular and pedestrian ingress and egress access for the purpose of providing public and emergency services to the subdivision, including but not limited to, postal, fire protection, police protection, emergency medical transportation, code enforcement, garbage, utilities and other public and emergency services.
- All utility easements created by this plat (including those utility easements within the above referenced easements) are dedicated to the City of Winter Garden and the perpetual use of the public. The City of Winter Garden's rights in the utility easements dedicated by this plat shall be superior to all others and no utilities or other improvements shall be permitted to conflict or interfere with the city's utility improvements within such utility easement areas. The City of Winter Garden shall only be responsible for the maintenance of utilities it accepts and/or installs within the utility easement areas.
- No easement dedicated by this plat, including without limitation, to the City of Winter Garden, the public, or to any homeowners' association, shall be terminated or modified without the prior written approval of the City of Winter Garden.
- Vehicular access locations from lots 1 through 4 to N. Dillard Street, lots 5 through 12 to Surprise Drive and lots 1 and 12 to E. Division Street are dedicated to the City of Winter Garden through the City of Winter Garden permitting process.

NOTICE:

This plat, as recorded in its graphic form, is the official depiction of the subdivided lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital form of the plat. There may be additional restrictions that are not recorded on this plat that may be found in the public records of this county.

Benchmark Surveying & Mapping, LLC
Certificate of Authorization Number - LB-7874

Post Office Box 771065, Winter Garden, Florida 34777-1065
3110 Red Fox Run, Kissimmee, Florida 34746
(407) 654-6183
www.benchmarksurveyingandmapping.com



- Legend and Abbreviations**
- R/W denotes right of way
 - P.B. denotes Plat Book
 - O.R. denotes Official Records Book
 - Pg. denotes Page
 - PRM denotes permanent reference monument
 - PSM denotes Professional Surveyor and Mapper
 - P.C. denotes point of curvature
 - P.T. denotes point of tangency
 - R denotes radius of curve
 - L denotes length of curve
 - D denotes delta angle
 - CB denotes chord bearing
 - C denotes chord distance
 - U.E. denotes Utility Easement
 - D.E. denotes Drainage Easement
 - W.E. denotes Wall Easement
 - L.E. denotes Landscape Easement
 - (NR) denotes non-radial line
 - CCR denotes Certified Corner Record
 - ☉ denotes center line of right of way
 - denotes set 4" x 4" concrete monument and disk stamped 'PRM PSM 5205', unless otherwise noted
 - denotes set 5/8" iron rod and cap stamped 'PSM 5205' or nail and disk stamped 'PRM PSM 5205'

QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

This plat was prepared under my direction and supervision and complies with all of the survey requirements of Chapter 177, Florida Statutes.

Billy Joe Jenkins, Jr. _____ Date _____
Florida Professional Surveyor and Mapper License # 5205

Benchmark Surveying and Mapping, LLC
Licensed Business Number 7874
3110 Red Fox Run, Kissimmee, Florida 34746
P.O. Box 771065, Winter Garden, Florida 34777-1065

CERTIFICATE OF REVIEW BY CITY SURVEYOR

I hereby certify that I have reviewed the foregoing plat and find that it is in conformity with Chapter 177, Florida Statutes.

City Surveyor's Signature _____ Date _____
Printed Name: _____
Company: _____
Address: _____
Registration Number: _____

CERTIFICATE OF APPROVAL BY MUNICIPALITY

This is to certify that on _____, 2019, the foregoing plat was approved by the City Commissioners of Winter Garden, Florida.

City Clerk _____ Mayor of Winter Garden _____

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY that the foregoing plat was recorded in the Orange County Official Records on _____ as File No. _____
County Comptroller in and for Orange County, Florida.
By: _____

CITY OF WINTER GARDEN

DEVELOPMENT REVIEW COMMITTEE

300 West Plant Street - Winter Garden, Florida 34787-3011
(407) 656-4111

MEMORANDUM

TO: STEVE PASH, COMMUNITY DEVELOPMENT DIRECTOR
FROM: DEVELOPMENT REVIEW COMMITTEE
DATE: JANUARY 2, 2020
SUBJECT: DILLARD POINTE – 555 N DILLARD STREET
FINAL PLAT APPROVAL

We recommend approval of the final plat, subject to the following conditions and comments:

ENGINEERING

1. Final signed mylar, along with all other original executed documents, will be required prior to scheduling for the City Commission meeting, after Staff approval.
2. Tracts that contain required landscape buffers, drainage, walls (retaining or screen), community signage, etc. shall be so noted (i.e. Wall, landscape, and drainage easement), to be maintained by the HOA.
3. Transfer of all common areas, tracts, and rights-of-way to the HOA and the City shall take place prior to or with final plat recording (via deed). Quit claim deeds have been provided to the City Attorney and City's Reviewing Surveyor for review.
4. City Attorney shall review and approve the Dedication, HOA/CCR's, and Surveyors Notes for maintenance responsibilities and City's ability to lien individual lot owners if City performs maintenance, etc.
5. Performance Bond: The improvements are not completed. A Performance bond or letter of credit in the amount of **120%** of the cost of all incomplete improvements shall be provided to the City, based on the Design Engineer's certification, executed construction contract, and latest payment application. Performance Bond/LOC amount shall include cost of street lighting from Duke Energy; street and regulatory signs, required landscaping, second lift of asphalt, walls, amenities, etc. City Attorney shall approve the form of the bond or letter of credit prior to final plat recording. Final plat will not be forwarded to the City Commission for approval without performance bond. The form of the bond or letter of credit shall be approved by the City Attorney (see City website for form).

Per the response, the improvements will be completed and the C of C issued prior to final plat recording. C of C is being issued effective 10/18/19.

6. Maintenance Bond: A maintenance bond or letter of credit is required in the amount of **20%** of the cost of the improvements and shall comply with the City's ordinance concerning duration (2 years). This item can be delayed until the improvements have been installed as a condition of issuing the Certificate of Completion. Design Engineer shall provide the total cost of the project, including Contractor's final pay application, for determination of Maintenance Bond amount. The form of the bond or letter of credit shall be approved by the City Attorney (see City website for form).

Based on the Design Engineer's certification of cost of **\$366,622.05**, the Maintenance Bond amount shall be **\$73,324.41**, representing 20% of the cost, and will be due as a condition of issuing the C of C. Maintenance Bond #SEIFSU 0752844 in the aforesaid amount has been received by the City (10/7/19) and is on file in the City Clerk's office.

7. The Certificate of Completion has not been issued for this phase. Upon completion of all improvements, the Design Engineer shall provide signed and sealed as-built record drawings (2

sets), electronic copies of record drawings (pdf and CAD), all permitting clearances, and a certification letter stating that all improvements have been completed in substantial compliance with the approved plans and specifications. Copies of all clearances, certifications, etc. from other permitting agencies shall be provided to the City.

8. Approval of Certificate of Completion will be contingent upon having all improvements, fire protection, street lighting, street signs and regulatory signage and striping installed, approved and accepted by the City of Winter Garden. Other than for model homes as specified in Code, no additional building permits and no certificates of occupancy will be issued for any structure until the Certificate of Completion for the infrastructure has been issued.
9. Sidewalks internal to the development shall be constructed adjacent to all lands not containing building lots prior to final acceptance. This shall include all stormwater, conservation, lift station, or recreation tracts, abutting roadways, pedestrian walkways, etc. Sidewalks external to the development shall be constructed upon final completion.
10. Streetlighting must be installed and operating as a condition of issuing the Certificate of Completion. Other than for model homes as specified in Code, no building permits or certificates of occupancy will be granted on any house until all of the above have been completed and accepted by the City and the Certificate of Completion has been issued.
11. Documentation that all outstanding fees owed the City for review by legal, surveying and engineering consultants shall be provided prior to final plat recording.
12. Design Engineer has provided certification that he has reviewed the plat and that it provides all necessary easements for drainage, access and utilities.

LEGAL

13. Please see attached memorandum from City Attorney Dan Langley. Note: per an email sent to Urban Designer Kelly Carson on 12-19-2019, the comment regarding the Partial Release of Mortgage document has since been sufficiently addressed.

SURVEY

14. Please see attached memorandum from City Surveyor Ed Johnson.

STANDARD GENERAL CONDITIONS

15. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
16. All work shall conform to City of Winter Garden standards and specifications.
17. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
18. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
19. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 -

Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

20. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the site or building permit (less what has already been paid).

Additional comments may be generated at subsequent reviews

Please review this information and contact our office if you have any questions. Thank you.

END OF MEMORANDUM

FISHBACK DOMINICK

ATTORNEYS AT LAW

1947 LEE ROAD

WINTER PARK, FLORIDA 32789-1834

G. BEN FISHBACK (1893-1983)
JULIAN K. DOMINICK (1924-2003)

MARK F. AHLERS
* A. KURT ARDAMAN
CHRISTOPHER R. CONLEY
KURT H. GARBER
* RICHARD S. GELLER
ERIC B. JONTZ
J. MICHAEL KELLY
LANCE D. KING
* DANIEL W. LANGLEY
THU PHAM, D.O.
MICHAEL D. TEMPKINS

OF COUNSEL

JOHN F. BENNETT
JEFFRY R. JONTZ
DAVID H. POPPER
CHARLES R. STEPTER, JR.

TEL (407) 262-8400
FAX (407) 262-8402
WWW.FISHBACKLAW.COM

FLORIDA BAR BOARD CERTIFIED IN
* CITY, COUNTY AND LOCAL GOVERNMENT

December 6, 2019

Via E-Mail

Kelly Carson
City of Winter Garden
300 West Plant Street
Winter Garden, FL 34787

Re: Dillard Pointe Final Plat
Our File No.: W500-24274

Dear Kelly:

Pursuant to your request, we have conducted a review of the revised proposed final plat and supporting documents for Dillard Pointe and offer the following comments:

1. We are in receipt of the Partial Releases of Mortgage for the release of Tracts A, B, and C to the Dillard Pointe Homeowners Association. The Partial Release in favor of Commerce National Bank & Trust recorded under Document Number 20170367215 needs to be revised to include the Note and Mortgage Modification, Renewal and Extension Agreement and recording information. Also, the original executed version must be provided prior to scheduling the final plat for Commission consideration.

2. Payment of all required fees, deposits and costs may be applicable or required pursuant to the code, and other applicable laws, ordinances, and regulations shall be paid and evidence of such shall be sent to the City prior to final plat approval.

3. The original executed plat mylar and all original executed plat-related documents (deed, affidavits, declaration, lien settlement statement, joinders, partial release, etc.) must be submitted to the City prior to scheduling the final plat for consideration by the City Commission. After approval by the City Commission, the executed plat mylar and all original executed plat related documents that are to be recorded need to be provided to my office. Thereafter, my office will calculate the recording costs for the plat and plat related documents and provide the

developer's representative with the required recording costs. The developer shall be required to provide my office with two separate checks made payable to the Orange County Comptroller to cover all recording costs.

4. It is the responsibility of the subdivider to ensure that all applicable requirements of the City Code and Florida Statutes relative to the subdividing and development of property are met prior to final plat approval. In order to assist the subdivider in addressing the foregoing comments, it is suggested that the applicant review Chapter 110 of the Winter Garden Code of Ordinances and Chapter 177, Florida Statutes. Furthermore, to expedite the review, it is recommended that the subdivider respond to each of the foregoing comments referencing the date of this letter and the comment number.

We reserve the right to make additional comments upon future submittals and after receipt of review comments from other City staff members. If you have any questions, please let me know.

Sincerely,



Daniel W. Langley

cc: (Via e-mail)

Richard Fasano
Art Miller
Jim Monahan
Jon C. Williams
Steve Pash



City of Winter Garden
Community Development Department
Planning & Zoning Department
300 West Plant Street
Winter Garden, Florida 34787

December 18, 2019

Re: Dillard Pointe

Attn: Ms. Kelly Carson, Urban Designer

Dear Ms. Carson

We have reviewed the aforementioned plat and in its present state we find that it is in compliance with Florida Statutes, Chapter 177, Florida Administrative Code, as well as those requirements of Chapter 110, City code, City of Winter Garden.

Regards,



Ed Johnson, PSM
Survey Project Manager

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: January 2, 2020 **Meeting Date:** January 9, 2020

Subject: N West Crown Point Road
Alta Winter Garden - Site Plan Approval
PARCEL ID# 12-22-27-6496-04-002; 13-22-27-0000-00-055

Issue: The applicant is requesting Site Plan approval to construct five new multi-family buildings and associated site improvements on a property located at N West Crown Point Road.

Discussion:

The proposed project includes demolishing the existing warehouse structure on the property and constructing five new 3-story multi-family buildings, which will feature a combined 250 dwelling units. There will be eight new linear garage buildings constructed adjacent to the 400 uncovered surface parking spaces. The development also includes associated site development such as numerous recreation areas, sidewalks/plazas, and landscaping. The applicant is also proposing to develop the land located west of the train tracks as a park and dedicate it to the City.

The 14.87 +/- acre subject property is designated Multi Use Development (MUD) on the City's Future Land Use Map and is zoned CAPUD Character Area Planned Unit Development (Ord 19-17).

Recommended Action:

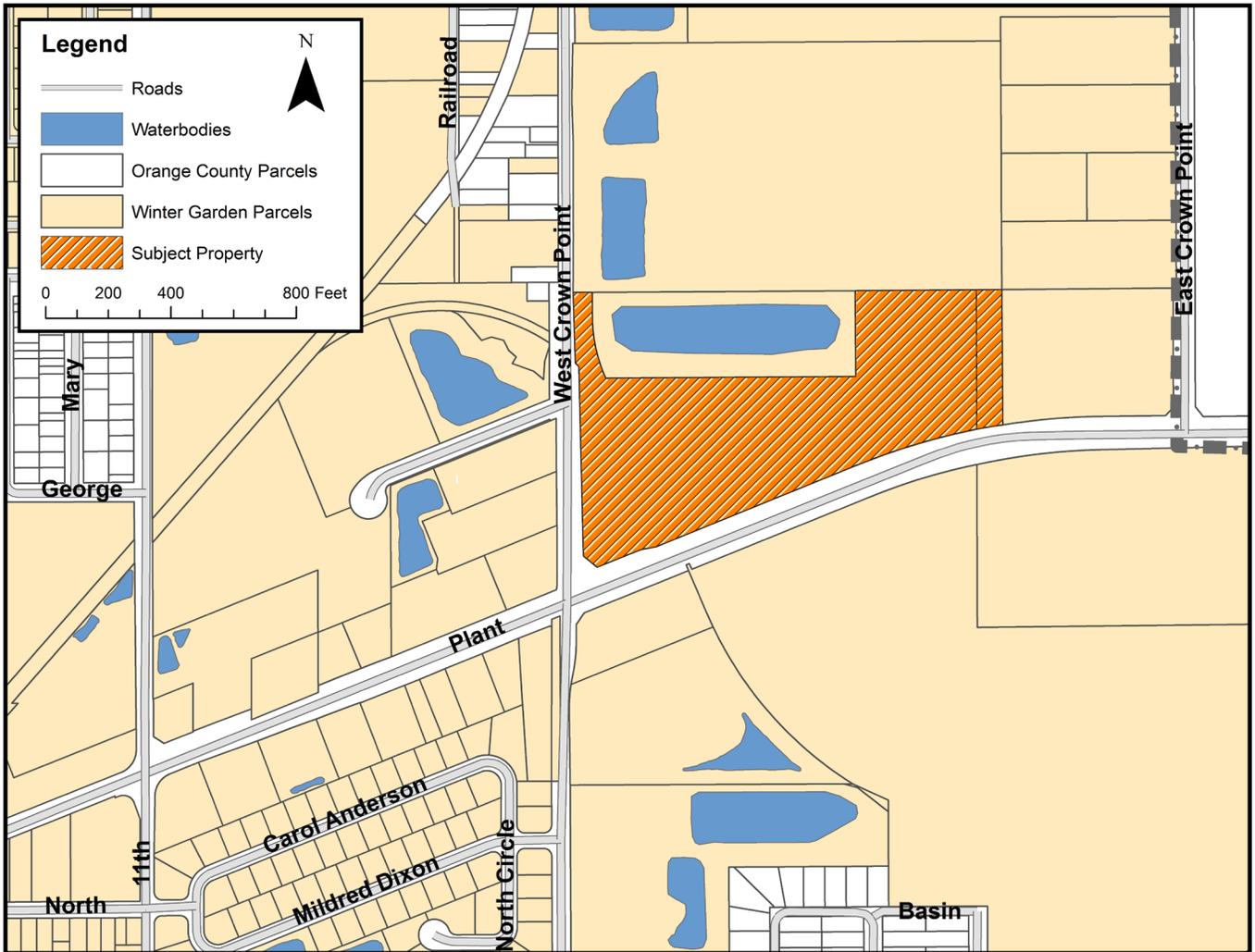
Staff recommends approval of the proposed Site Plan subject to the conditions of the DRC staff report dated December 3, 2019. Development of the property with multi-family buildings is consistent with the City's Comprehensive Plan, the property's CAPUD zoning requirements, and the design requirements of the Plant Street Character Area Overlay.

Attachment(s)/References:

Location Map
DRC Staff Report
Site Plan Set

Location Map

Alta Winter Garden – Site Plan Approval
N West Crown Point Road



LEGAL DESCRIPTION (PROVIDED BY SURVEYOR):

DESCRIPTION: (Prepared by Surveyor)

a tract of land lying in section 13, township 22 south, range 27 east, city of winter garden, orange county, florida, and being a part of tract d, of overstreet crate company's land, according to the plat thereof as recorded in plot book f, page 9, public records of orange county, florida, being more particularly described as follows:

commence at the northwest corner of the southeast 1/4 of said section 13; thence run s00°10'30"e along the west line of said southeast 1/4 for a distance of 33.53 feet; thence, departing said west line, run s90°00'00"e for a distance of 46.97 feet to a point on the easterly right-of-way line of west crown point road being the point of beginning; thence, departing said easterly right-of-way line, run n89°38'00"e along the south line of lands described in official records book 5903, page 2813 of said public records, for a distance of 61.32 feet to the northwest corner of lands described as parcel 108 in official records book 9752, page 0706 of said public records; thence, departing said south line, run the following four (4) courses along the west, south and east boundary lines of said parcel 108: 1) s00°18'15"e, 78.60 feet to the point of curvature of a curve concave easterly having a radius of 485.00 feet and a chord bearing of s12°13'33"e; 2) thence run southerly along said west boundary and along the arc of said curve through a central angle of 23°50'56" for a distance of 201.83 feet; 3) thence run n89°38'05"e along said south boundary, for a distance of 798.99 feet; 4) thence run n00°21'55"w along said east boundary, 274.72 feet to the aforesaid south line of lands described in official records book 5903, page 2813; thence run n89°38'00"e along said south line for a distance of 464.19 feet to a point on a line parallel with and 567.86 feet west of the east line of the west 1/2 of the southeast 1/4 of the northeast 1/4 of aforesaid section 13; thence run s00°06'54"e for a distance of 434.77 feet to a point on the northerly right-of-way line of east plant street (also known as state road no. 438) as described in official records book 10086, page 6226 (parcel 114) of said public records, and as described in official records book 9752, page 0706 (parcel 107) of said public records, also being a point on a non-tangent curve concave southeasterly having a radius of 2139.99 feet and a chord bearing of s74°21'42"e; thence, from a tangent bearing of s80°47'58"e, run southwestwesterly along the arc of said curve through a central angle of 12°52'33" for a distance of 480.91 feet to the point of tangency; thence continuing along said northerly right-of-way line, run s67°55'25"e for a distance of 690.16 feet; thence, s79°30'08"e along said northerly right-of-way line, a distance of 49.88 feet; thence, s68°04'29"e along said northerly right-of-way line, a distance of 150.97 feet; thence, departing said northerly right-of-way line, run n50°35'46"e for a distance of 56.83 feet to the easterly right-of-way line of west crown point road as described in the aforesaid official records book 9752, page 0706; thence run the following three (3) courses along said easterly right-of-way line: 1) n01°15'53"e, a distance of 607.75 feet to the westerly line of a 30.00' feet wide railroad right-of-way as described in official records book 5755, page 3179 and official records book 6218, page 2462, both of said public records, and to a non-tangent curve concave southwestwesterly having a radius of 633.54 feet and a chord bearing of n46°34'00"e; 2) thence run northwesterly along said westerly railroad right-of-way line and along the arc of said curve through a central angle of 01°24'16" for a distance of 15.53 feet to a non-tangent line; thence, departing said westerly railroad right-of-way line, run 3) s01°04'41"e for a distance of 219.82 feet to the easterly right-of-way line of west crown point road; thence run n00°22'00"e along said easterly right-of-way line for a distance of 445.63 feet to the point of beginning.

less and except any and all right-of-way conveyances and order of takings for east plant street along the southeasterly boundary and for west crown point road along the west boundary.

containing 14.865 acres more or less as described herein and being subject to any rights-of-way, restrictions, conditions, and easements of record.

FINAL CONSTRUCTION PLANS FOR ALTA CROWN POINT

PARCEL ID:
12-22-27-6496-04-002
CITY OF WINTER GARDEN,
ORANGE COUNTY, FLORIDA

FOR
WP SOUTH ACQUISITIONS, L.L.C.
636 W. YALE STREET
ORLANDO, FL 32804
PH (407) 982-2516

PROJECT TEAM:

DEVELOPER

WP SOUTH ACQUISITIONS, L.L.C.
636 W. YALE STREET
ORLANDO, FL 32804
PHONE: (407) 982-2516

SURVEYOR

HAMILTON ENGINEERING & SURVEYING, INC.
775 WARNER LANE
ORLANDO, FL 32803
PHONE: (407) 362-5929

ENGINEER

MADDEN, MOORHEAD, & STOKES, INC.
431 E. HORATIO AVE., SUITE 260
MAITLAND, FLORIDA 32751
PHONE: (407) 629-8330

ARCHITECT

CHARLAN BROOK ASSOCIATES
1770 FENNEL STREET
MAITLAND, FL 32751
PHONE: (407) 660-8900

GEOTECHNICAL

GHD SERVICES, INC.
525 TECHNOLOGY PARK, SUITE 181
LAKE MARY, FLORIDA 32746
PHONE: (321) 971-0710

ENVIRONMENTAL ENGINEER

GHD SERVICES, INC.
525 TECHNOLOGY PARK, SUITE 181
LAKE MARY, FLORIDA 32746
PHONE: (321) 971-0710

LANDSCAPE ARCHITECT

DIX LATHROP AND ASSOCIATES, INC.
150 W. JESSUP AVENUE
LONGWOOD, FL 32811
PHONE: (407) 667-1777

UTILITY PROVIDERS:

WATER / SEWER

MICHAEL KELLEY, P.E.
ASSISTANT DIRECTOR OF
OPERATIONS
CITY OF WINTER GARDEN
300 WEST PLANT ST.
WINTER GARDEN, FL 34787
(407) 656-4111 EXT:2004

ELECTRICITY

ED STEVENS
DUKE ENERGY
452 E. CROWN POINT RD.
WINTER GARDEN, FL 34787
(321) 229-0599

TELEPHONE

ROBERT FILEBARK
CENTURY LINK
(407) 889-6269

CABLE

DAVID BORER
BRIGHTHOUSE NETWORKS
2251 LUCIEN WAY
MAITLAND, FL 32751
(407) 215-5944

GAS

RICK GULLET
LAKE APOPKA NATURAL GAS
1320 WINTER GARDEN VINELAND RD.
WINTER GARDEN, FL 34786
(407) 656-2734

INDEX OF SHEETS

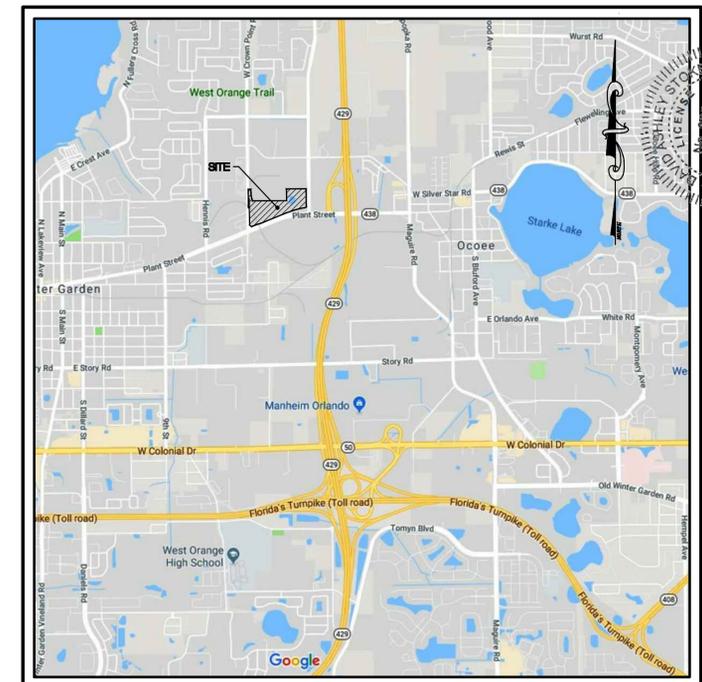
C-001	COVER SHEET
1 OF 3 - 3 OF 3	BOUNDARY & TOPOGRAPHIC SURVEY
1 OF 1	TREE SURVEY
C-002	SYMBOLS AND ABBREVIATIONS
C-003	GENERAL NOTES
C-004	DEMOLITION PLAN
C-006	OVERALL SITE PLAN
C-100 - C-101	SITE PLANS
C-200 - C-201	UTILITY PLANS
C-300 - C-301	DRAINAGE PLANS
C-400 - C-401	GRADING PLANS
C-700	EROSION CONTROL PLAN
C-800	VEHICULAR CIRCULATION PLAN
C-900 - C-903	CONSTRUCTION DETAILS
C-910 - C-916	CITY DETAILS
LA1.00 - LA6.99	LANDSCAPE PLANS
EO.11	PHOTOMETRIC PLAN
AO.06	SEQUENCING PLAN
A1.81 - A2.81	BUILDING TYPE 8 PLANS & ELEVATIONS



MADDEN
MOORHEAD & STOKES, INC.
CIVIL ENGINEERS

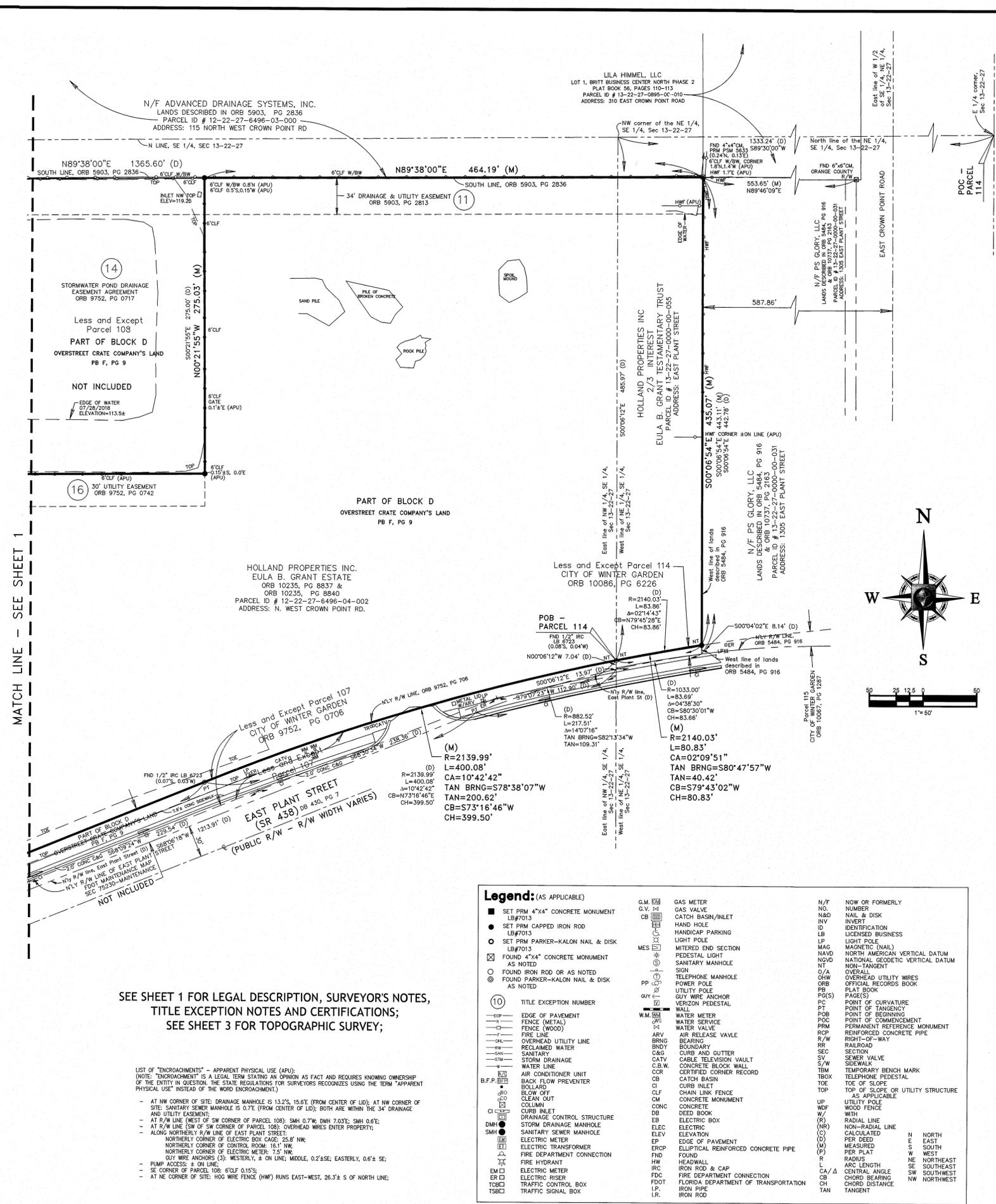
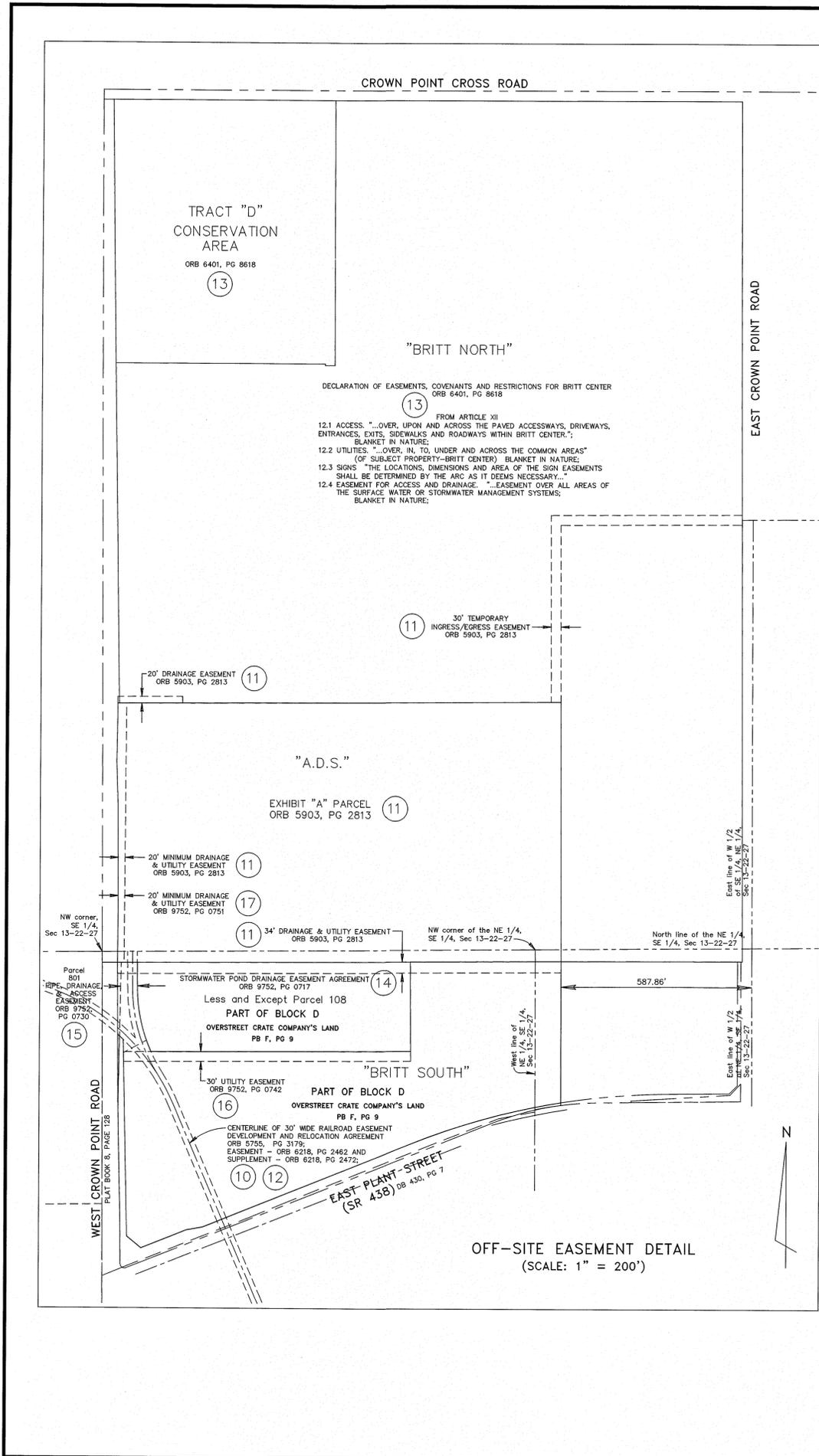
431 E. HORATIO AVENUE, SUITE 260
MAITLAND, FLORIDA 32751
PHONE (407) 629-8330
FAX (407) 629-8336

VICINITY MAP



SCALE: 1" = 2000'

STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 DAVID A. STOKES, P.E. #66527
 CERTIFICATE OF AUTHORIZATION NO. EB-000723
 ALTA WINTER GARDEN (JOB No. 18053)
 H:\Data\18053\eng\Final\18053 C-001-COVER.DWG Oct. 17, 2019--11:07:23 am



MATCH LINE - SEE SHEET 1

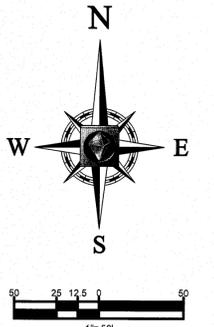
SEE SHEET 1 FOR LEGAL DESCRIPTION, SURVEYOR'S NOTES, TITLE EXCEPTION NOTES AND CERTIFICATIONS; SEE SHEET 3 FOR TOPOGRAPHIC SURVEY;

LIST OF "ENCROACHMENTS" - APPARENT PHYSICAL USE (APU). (NOTE: "ENCROACHMENT" IS A LEGAL TERM STATING AN OPINION AS TO FACT AND REQUIRES KNOWING OWNERSHIP OF THE ENTITY IN QUESTION. THE STATE REGULATIONS FOR SURVEYORS RECOGNIZES USING THE TERM "APPARENT PHYSICAL USE" INSTEAD OF THE WORD ENCROACHMENT.)

- AT NW CORNER OF SITE: DRAINAGE MANHOLE IS 13.2'S, 15.6'E (FROM CENTER OF LID); AT NW CORNER OF SITE: SANITARY SEWER MANHOLE IS 0.7'E (FROM CENTER OF LID); BOTH ARE WITHIN THE 34' DRAINAGE AND UTILITY EASEMENT;
- AT R/W LINE (WEST OF SW CORNER OF PARCEL 108): SMH 0.7'W, DMH 7.03'E, SMH 0.6'E;
- AT R/W LINE (WEST OF SW CORNER OF PARCEL 108): OVERHEAD WIRE ENTER PROPERTY;
- ALONG NORTHERLY R/W LINE OF EAST PLANT STREET;
- NORTHERLY CORNER OF CONTROL ROOM: 16.1' NW;
- NORTHERLY CORNER OF CONTROL ROOM: 16.1' NW;
- NORTHERLY CORNER OF ELECTRIC METER: 7.5' NW;
- GUY WIRE ANCHORS (3): WESTERLY, ± ON LINE, MIDDLE, 0.2±SE; EASTERLY, 0.6± SE;
- PUMP ACCESS: ± ON LINE;
- SE CORNER OF PARCEL 108: 6'CLF 0.15'S;
- AT NE CORNER OF SITE: HOOD WIRE FENCE (HW) RUNS EAST-WEST, 26.5± S OF NORTH LINE;

Legend: (AS APPLICABLE)

■ SET PRM 4"x4" CONCRETE MONUMENT LB#7013	● SET PRM CAPPED IRON ROD LB#7013	○ SET PRM PARKER-KALON NAIL & DISK LB#7013	⊠ FOUND 4"x4" CONCRETE MONUMENT AS NOTED	○ FOUND IRON ROD OR AS NOTED	⊙ FOUND PARKER-KALON NAIL & DISK AS NOTED	⑩ TITLE EXCEPTION NUMBER	— COP — EDGE OF PAVEMENT	— F — FENCE (METAL)	— F — FENCE (WOOD)	— F — FIRE LINE	— OH — OVERHEAD UTILITY LINE	— BRNG — RECLAIMED WATER	— SAN — SANITARY	— STW — STORM DRAINAGE	— W — WATER LINE	— ARV — AIR CONDITIONER UNIT	— B.F.P. — BACK FLOW PREVENTER	— B — BLOW OFF	— C — CLEAN OUT	— C — COLUMN	— CI — CURB INLET	— D — DRAINAGE CONTROL STRUCTURE	— DMH — DRAINAGE CONTROL MANHOLE	— SMH — SANITARY SEWER MANHOLE	— E — ELECTRIC METER	— ER — ELECTRIC TRANSFORMER	— ER — ELEVATION	— EP — EDGE OF PAVEMENT	— ERCP — ELLIPTICAL REINFORCED CONCRETE PIPE	— F — FOUND	— HW — HEADWALL	— ER — IRON ROD & CAP	— FDC — FIRE DEPARTMENT CONNECTION	— ER — FDOT	— TRAFFIC CONTROL BOX	— TSB — TRAFFIC SIGNAL BOX	G.M. GAS METER	G.V. GAS VALVE	CB CATCH BASIN/INLET	HH HAND HOLE	HP HANDICAP PARKING	LP LIGHT POLE	MES MITERED END SECTION	PL PEDESTAL LIGHT	SM SANITARY MANHOLE	SIGN SIGN	PP TELEPHONE MANHOLE	GUY GUY WIRE ANCHOR	VERIZON VERIZON PEDESTAL	W.M. WALL	W.M. WATER METER	CM WATER SERVICE	CM WATER VALVE	ARV AIR RELEASE VALVE	BRNG BEARING	BOUNDARY BOUNDARY	C&G CURB AND GUTTER	CATV CABLE TELEVISION VAULT	C.B.W. CONCRETE BLOCK WALL	CCR CERTIFIED CORNER RECORD	CI CURB INLET	CM CONCRETE MONUMENT	CM CONCRETE	DB DEED BOOK	EB ELECTRIC BOX	ELEC ELECTRIC	ELEV ELEVATION	EP EDGE OF PAVEMENT	ERCP ELLIPTICAL REINFORCED CONCRETE PIPE	F FOUND	HW HEADWALL	IR IRON ROD & CAP	FDC FIRE DEPARTMENT CONNECTION	FDOT FLORIDA DEPARTMENT OF TRANSPORTATION	IP IRON PIPE	IR IRON ROD	N/F NO. NOW OR FORMERLY NUMBER	N&D NAIL & DISK	INV INVERT	ID IDENTIFICATION	LB LICENSED BUSINESS	LP LIGHT POLE	MAO MAGNETIC (NAIL)	NAVD NORTH AMERICAN VERTICAL DATUM	NVD NATIONAL GEODETIC VERTICAL DATUM	NT NON-TANGENT	O/A OVERALL	CH OVERHEAD UTILITY WRES OFFICIAL RECORDS BOOK	ORB PLAT BOOK	PAR(S) PARCELS	PC POINT OF CURVATURE	TBOB POINT OF TANGENCY	POB POINT OF BEGINNING	PRM PERMANENT REFERENCE MONUMENT	RCP REINFORCED CONCRETE PIPE	R/W RIGHT-OF-WAY	RR RAILROAD	SEC SECTION	SV SEWER VALVE	S/W SIDEWALK	TBM TEMPORARY BENCH MARK	TBOX TELEPHONE PEDESTAL	TOE TOE OF SLOPE	TOP TOP OF SLOPE OR UTILITY STRUCTURE	AS APPLICABLE	UTILITY UTILITY POLE	WOOD WOOD FENCE	WITH WITH	RADIAL RADIAL LINE	NON-RADIAL NON-RADIAL LINE	(C) CALCULATED	(D) PER DEED	(M) MEASURED	(P) PER PLAT	(R) RADIUS	(L) ARC LENGTH	CA/CENTRAL ANGLE	CH/CHORD BEARING	CH/CHORD DISTANCE	TAN TANGENT	N NORTH	S SOUTH	E EAST	W WEST	NE NORTHEAST	SE SOUTHEAST	SW SOUTHWEST	NW NORTHWEST
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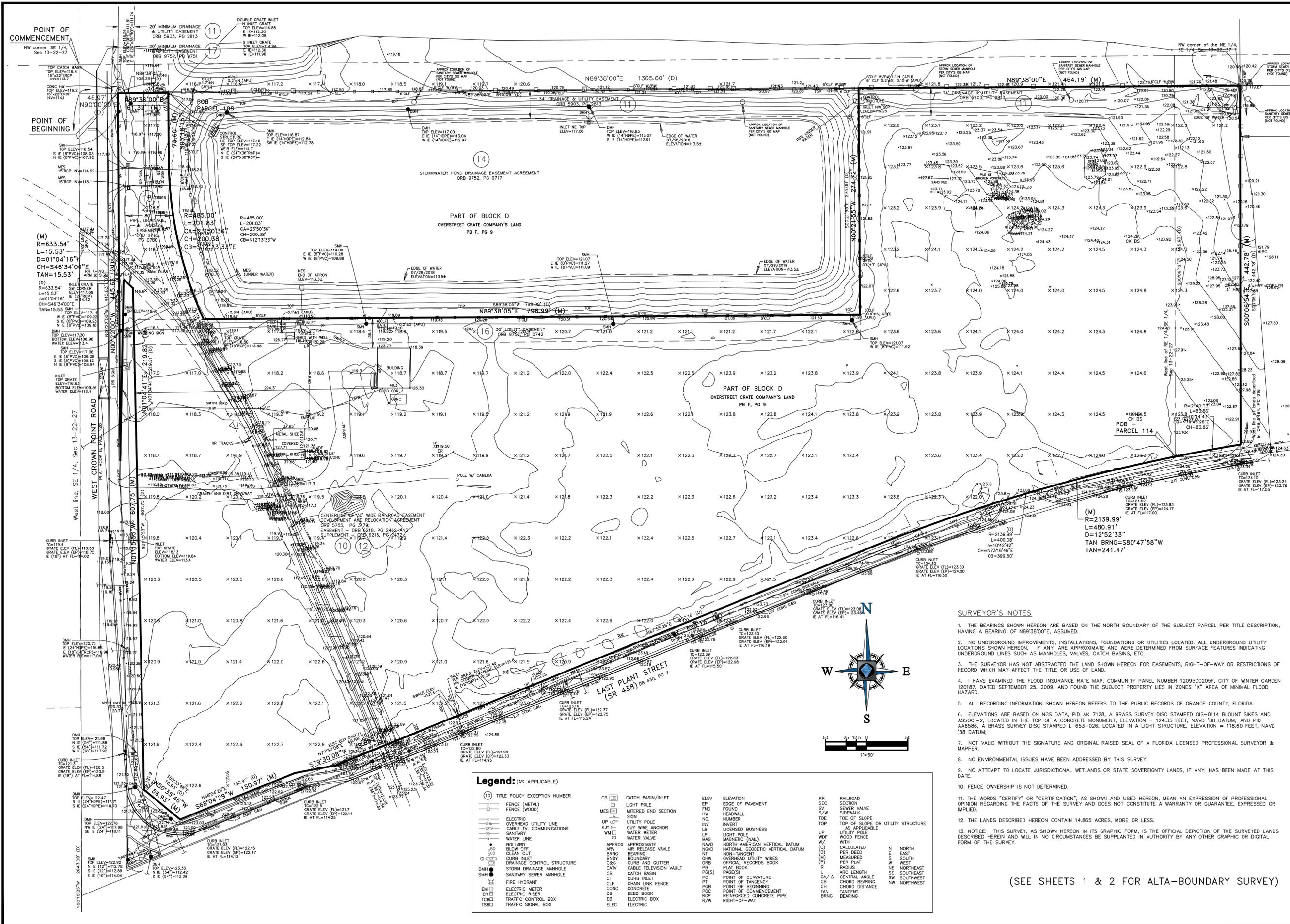
HAMILTON
ENGINEERING & SURVEYING, INC.
775 WARNER LANE
ORLANDO, FLORIDA 32803
TEL (407) 362-5929
LB#7013

ALTA/NSPS LAND TITLE SURVEY
BOUNDARY SURVEY
WEST CROWN POINT ROAD,
WINTER GARDEN, FL 34787
ORANGE COUNTY, FLORIDA

SHEET TITLE

DRAWN BY: P.T.	PARTY CHIEF: JM
JOB #: 053630.0001	
SCALE: AS SHOWN	
SURVEY DATE: 08/09/2018	
NOT VALID WITHOUT ALL SHEETS	

2 OF 3



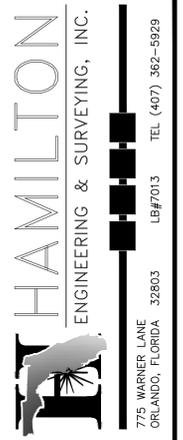
SURVEYOR'S NOTES

- THE BEARINGS SHOWN HEREON ARE BASED ON THE NORTH BOUNDARY OF THE SUBJECT PARCEL PER TITLE DESCRIPTION, HAVING A BEARING OF N89°38'00"E, ASSUMED.
- NO UNDERGROUND IMPROVEMENTS, INSTALLATIONS, FOUNDATIONS OR UTILITIES LOCATED. ALL UNDERGROUND UTILITY LOCATIONS SHOWN HEREON, IF ANY, ARE APPROXIMATE AND WERE DETERMINED FROM SURFACE FEATURES INDICATING UNDERGROUND LINES SUCH AS MANHOLES, VALVES, CATCH BASINS, ETC.
- THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT-OF-WAY OR RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF LAND.
- I HAVE EXAMINED THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12095C0205F, CITY OF WINTER GARDEN 120187, DATED SEPTEMBER 25, 2009, AND FOUND THE SUBJECT PROPERTY LIES IN ZONES "X" AREA OF MINIMAL FLOOD HAZARD.
- ALL RECORDING INFORMATION SHOWN HEREON REFERS TO THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
- ELEVATIONS ARE BASED ON NGS DATA, PID AK 7128, A BRASS SURVEY DISC STAMPED GIS-0114 BLOUNT SIKES AND ASSOC-2, LOCATED IN THE TOP OF A CONCRETE MONUMENT, ELEVATION = 124.35 FEET, NAVD '88 DATUM; AND PID A46586, A BRASS SURVEY DISC STAMPED L-653-026, LOCATED IN A LIGHT STRUCTURE, ELEVATION = 118.60 FEET, NAVD '88 DATUM.
- NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR & MAPPER.
- NO ENVIRONMENTAL ISSUES HAVE BEEN ADDRESSED BY THIS SURVEY.
- NO ATTEMPT TO LOCATE JURISDICTIONAL WETLANDS OR STATE SOVEREIGNTY LANDS, IF ANY, HAS BEEN MADE AT THIS DATE.
- FENCE OWNERSHIP IS NOT DETERMINED.
- THE WORDS "CERTIFY" OR "CERTIFICATION", AS SHOWN AND USED HEREON, MEAN AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
- THE LANDS DESCRIBED HEREON CONTAIN 14.865 ACRES, MORE OR LESS.
- NOTICE: THIS SURVEY, AS SHOWN HEREON IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SURVEYED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE SURVEY.



Legend: (AS APPLICABLE)

(10) TITLE POLY EXCEPTION NUMBER	CB	CATCH BASIN/INLET	ELEV	ELEVATION	RR	RAILROAD
—○— FENCE (METAL)	EP	EDGE OF PAVEMENT	EP	EDGE OF PAVEMENT	SEC	SECTION
—○— FENCE (WOOD)	FND	FOUND	FND	FOUND	SEW	SEWER VALVE
—○— ELECTRIC	HW	HEADWALL	HW	HEADWALL	S/W	SIDEWALK
—○— OVERHEAD UTILITY LINE	NO.	NUMBER	NO.	NUMBER	TOE	TOE OF SLOPE
—○— CABLE TV, COMMUNICATIONS	INV	INVERT	INV	INVERT	TOE	TOE OF SLOPE OR UTILITY STRUCTURE
—○— WATER METER	LB	LICENSED BUSINESS	LB	LICENSED BUSINESS	UP	UTILITY POLE
—○— WATER VALVE	LP	LIGHT POLE	LP	LIGHT POLE	W/F	WOOD FENCE
—○— BOLLARD	MAG	MAGNETIC (NAIL)	MAG	MAGNETIC (NAIL)	W	WITH
—○— CLEAN OUT	NAVD	NORTH AMERICAN VERTICAL DATUM	NAVD	NORTH AMERICAN VERTICAL DATUM	W/C	WOOD FENCE
—○— CURB INLET	NOVD	NATIONAL GEODETIC VERTICAL DATUM	NOVD	NATIONAL GEODETIC VERTICAL DATUM	W	WITH
—○— DRAINAGE CONTROL STRUCTURE	NT	NON-TANGENT	NT	NON-TANGENT	W/C	WOOD FENCE
—○— STORMY DRAINAGE MANHOLE	ORB	OFFICIAL RECORDS BOOK	ORB	OFFICIAL RECORDS BOOK	W	WITH
—○— SANITARY SEWER MANHOLE	PC(S)	PLAT BOOK	PC(S)	PLAT BOOK	R	RADIUS
—○— FIRE HYDRANT	PT	POINT OF TANGENCY	PT	POINT OF TANGENCY	CA	CATCH BASIN
—○— ELECTRIC METER	PC	POINT OF CURVATURE	PC	POINT OF CURVATURE	CB	CATCH BASIN
—○— ELECTRIC RISER	PCB	POINT OF BEGINNING	PCB	POINT OF BEGINNING	CB	CATCH BASIN
—○— TRAFFIC CONTROL BOX	PCD	POINT OF COMMENCEMENT	PCD	POINT OF COMMENCEMENT	CB	CATCH BASIN
—○— TRAFFIC SIGNAL BOX	RCP	REINFORCED CONCRETE PIPE	RCP	REINFORCED CONCRETE PIPE	CB	CATCH BASIN
	R/W	RIGHT-OF-WAY	R/W	RIGHT-OF-WAY	CB	CATCH BASIN



HAMILTON
ENGINEERING & SURVEYING, INC.
775 WARNER LANE
ORLANDO, FLORIDA 32803
TEL (407) 362-5929
LE#7013

REVISIONS:

06/12/2019-ADDED EXISTING STORM AND SANITARY SEWER LOCATIONS AND ELEVATIONS; SHEETS 1 AND 2 UNCHANGED;
05/29/2019-ADDED UTILITY LOCATIONS AS PROVIDED BY "ECHO" (NO NEW FIELD WORK); SHEETS 1 AND 2 UNCHANGED;
08/28/2018-ADDED CURB ELEVATIONS; EDITED SURFACE MODEL;

DRAWN BY: PT **PARTY CHECK:** JM

JOB #: 053630.0001

SCALE: AS SHOWN

SURVEY DATE: 08/09/2018

NOT VALID WITHOUT ALL SHEETS

3 OF 3

(SEE SHEETS 1 & 2 FOR ALTA-BOUNDARY SURVEY)

GENERAL NOTES

- 1. ALL CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH THE LATEST LOCAL AGENCY DETAILS...
2. ALL FOOT DESIGN INDICES ARE HEREBY INCORPORATED AS PLAN REFERENCES...
3. THE LOCATIONS OF EXISTING UTILITIES SUCH AS WATER MAINS, SEWER MAINS, GAS LINES, ETC., AS SHOWN ON THE PLANS...
4. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION...
5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SETBACKS AND EASEMENTS BEFORE BEGINNING CONSTRUCTION...
6. BENCHMARKS AND OTHER REFERENCE POINTS SHALL BE CAREFULLY MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD...
7. DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON...
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING STRUCTURES, ETC., UNLESS OTHERWISE NOTED...
9. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES AND UTILITIES NOTED TO REMAIN FROM DAMAGE OR OVERLAPMENT DURING CONSTRUCTION...
10. CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED...
11. WHEN DETAILS ARE PROVIDED, CONTRACTOR SHALL CONSTRUCT JOB PER SPECIFIC DETAILS, AND NOT BY SCALING FROM THESE PLANS...
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ANY REQUIRED TRAFFIC CONTROL PLANS...
13. THE CONTRACTOR SHALL RESTORE OFF SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION...
14. AS-BUILT DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE PROJECT ENGINEER UPON PROJECT COMPLETION...
15. CONTRACTOR SHALL COMPLY WITH ALL LOCAL AGENCY REQUIREMENTS FOR INSPECTION AND TESTING...
16. ALL NEW UTILITIES AND UPGRADED UTILITIES PROVIDED TO OR ON THE SITE MUST BE INSTALLED UNDERGROUND...
17. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH UTILITY PROVIDER'S STANDARDS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION...
18. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS...
19. PRIOR TO COMMENCEMENT, CONTRACTOR SHALL PROVIDE ENGINEER WITH CONSTRUCTION SCHEDULE FOR VARIOUS SITE WORK ELEMENTS...
20. ALL RECOMMENDATIONS AND REQUIREMENTS OF INSPECTION PERSONNEL OTHER THAN OWNER/OWNER'S REPRESENTATIVE SHALL BE REPORTED TO ENGINEER/OWNER/OWNER'S REPRESENTATIVE...
21. CONTRACTOR SHALL CONFIRM COMPATIBILITY OF PIPE SLOPES AND INVERTS DURING SHOP DRAWING AND MATERIALS ORDERING PHASE...
22. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS...
23. CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE PLATS, ROAD CENTERLINE GEOMETRY, AND BUILDING COORDINATES PROVIDED IN THESE PLANS...
24. CONTRACTOR SHALL CONFIRM THE BUILDING DIMENSIONS SHOWN HEREIN WITH THOSE OF THE FINAL ARCHITECTURAL DRAWINGS...
25. AS-BUILT RECORD DRAWINGS SHALL COMPLY WITH CITY OF WINTER GARDEN REQUIREMENTS AVAILABLE ON-LINE...
26. ALL STORM (18"*) AND SANITARY LINES (18") SHALL BE INSPECTED BY CCTV PRIOR TO COMPLETION

PAVING AND DRAINAGE

- 1. THE CONTRACTOR SHALL CONSTRUCT PAVEMENT IN ACCORDANCE WITH TYPICAL STANDARD SECTIONS AND LOCAL AGENCY SPECIFICATIONS...
2. FLORIDA LAW (F.S. 553.851) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY EXCAVATION IN ANY PUBLIC OR PRIVATE STREET, ALLEY, RIGHT-OF-WAY DEDICATED TO THE PUBLIC USE...
3. EXCAVATION, PAING, AND STORM SEWER WORK SHALL BE DONE IN ACCORDANCE WITH FOOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION...
4. UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATIONS AT PROPERTY LINES...
5. DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL DRAINAGE AND SEWER STRUCTURES...
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL GEOTECHNICAL REPORTS PREPARED FOR THE SITE...
7. THE SITE SHALL BE CLEARED OF ALL TREES EXCEPT THOSE WHICH ARE DESIGNATED TO BE SAVED OR RELOCATED...
8. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE SUPERVISING ENGINEER IF A PAVEMENT OR FOUNDATION STAKE IS DISTURBED...
9. THE CONTRACTOR SHALL INSTALL DROP CURBS AND HANDICAP RAMPS AT ALL INTERSECTIONS OF THE SIDEWALK WITH THE PROPOSED PAVEMENT...
10. FOR HORIZONTAL AND VERTICAL CLEARANCES BETWEEN STORM PIPES AND WATER MAINS/SERVICES, SEE WATER NOTES ON THIS SHEET AND FDEP SEPARATION TABLE ON UTILITY PLAN...
11. ALL PUBLIC STORM PIPE MATERIALS SHALL BE REINFORCED CONCRETE PIPE (RCP) ASTM C-76 CLASS III, UNLESS OTHERWISE SPECIFIED...
12.1. DIAMETERS LESS THAN OR EQUAL TO 18-INCH SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) PIPE
12.2. DIAMETERS GREATER THAN OR EQUAL TO 18-INCH SHALL BE HIGH PERFORMANCE POLYPROPYLENE (HP) PIPE
13. MINIMUM COVER OVER ALL PIPE SHALL BE 36-INCHES FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED...
14. ALL STORM SYSTEM MANHOLE AND INLET STRUCTURES SHALL BE PRECAST CONCRETE...
15. THE CONTRACTOR SHALL USE CONCRETE WITH A MINIMUM 28 DAY STRENGTH OF 3,000 P.S.I...
16. ALL SIDEWALK WIDTHS SHALL BE AS NOTED ON THE SITE PLAN AND SHALL HAVE 1-INCH DEEP CONCRETE JOINTS EVERY 5- FEET AND AN EXPANSION JOINT EVERY 20- FEET...
17. PROVIDE FOOT TYP III SILT FENCE ALONG THE PROPERTY LINES AND PHASE LINES AS WELL AS ANY CONSTRUCTION WITHIN THE OTHER PHASES THAT IS DEEMED NECESSARY...
18. ALL TEST REPORTS GENERATED BY A TESTING FIRM ARE TO HAVE COPIES SENT DIRECTLY TO THE LOCAL AGENCY AS WELL AS THEY ARE GENERATED...
19. THE BASE COURSE SHALL NOT BE CONSTRUCTED UNTIL AFTER SUBGRADE CONSTRUCTION HAS BEEN COMPLETED AND REQUIRED SUBGRADE TEST RESULTS HAVE BEEN SUBMITTED TO AND APPROVED BY THE LOCAL AGENCY'S ENGINEER...
20. THE FINISHED BASE COURSE SHALL BE PRIMED WITHOUT DELAY, PROTECTED FROM HEAVY TRAFFIC, AND CONTINUOUSLY MAINTAINED FREE OF DAMAGE UNTIL THE WEARING SURFACE IS APPLIED...
21. ASSUMING ACCEPTABLE CURING, THE WEARING SURFACE SHALL BE APPLIED NO SOONER THAN SEVEN (7) DAYS AND NO LATER THAN THIRTY (30) DAYS AFTER BASE COMPLETION...
22. ALL CONCRETE PIPE JOINTS SHALL BE WRAPPED IN FILTER FABRIC...
23. ROADWAY MARKING, STRIPING, SIGNS, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD)...
24. REGULATORY SIGNS AND MARKINGS SHALL BE IN PLACE PRIOR TO FINAL INSPECTION OF PAVING AND DRAINAGE IMPROVEMENTS...
25. PAVEMENT RETURN RADI SHALL BE MEASURED TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED...
26. POND SLOPES AND BERMS SHALL BE SODDED TO TWO (2) FEET BELOW THE NORMAL WATER LINE (N.W.L.)...
27. ALL PRECAST DRAINAGE STRUCTURES TO HAVE STEEL FRAME, ALL STRUCTURES IN PAVED AREAS TO HAVE STEEL STRIPS, RECTILINEAR GRATES WITH H=20 LOADING...
28. CONTRACTOR SHALL NOT COMPACT, STABILIZE, OR CONSTRUCT BASE COURSE WITHIN LANDSCAPE ISLANDS, TRACTS OR MEDIANS...
29. YARD DRAINS SHALL BE NYOPLAST INLINE DRAINS AND DRAIN BASINS, OR APPROVED EQUAL, WITH CAST IRON GRATES AND WATER-TIGHT ADAPTER CONNECTIONS...
30. ALL FIRE HYDRANT LOCATIONS SHALL BE MARKED BY PLACING BLUE REFLECTIVE PAYMENT MARKERS IN THE CENTER OF THE NEAREST TRAVEL LANE...
31. MINIMUM LONGITUDINAL SLOPE OF CURB SHALL BE 0.30% UNLESS SPECIFIED OTHERWISE...
32. FINISHED FLOOR ELEVATION IS TYPICALLY 8" INCHES ABOVE DESIGN FINISHED GRADE AT OUTSIDE PERIMETER OF BUILDINGS EXCEPT AT ENTRIES AND WHERE OTHERWISE SHOWN...
33. CONTRACTOR SHALL REMOVE ALL MUD DEPOSITS IN CONSTRUCTION AREAS AND AREAS TO BE FILLED...
34. DRAINAGE MANHOLES AND INLETS (NOT INCLUDING CONTROL STRUCTURES) IN THE PLANS ARE IDENTIFIED BY TOP TYPE ONLY...
35. CONTRACTOR SHALL STABILIZE AND PROTECT ALL END WALL, MITERED END SECTION, FLARED END SECTION, ETC. STRUCTURES THROUGHOUT THE PROJECT UNTIL THE BANK SURFACES OF THE RESIDUAL WATER BODY ARE STABILIZED AND ACCEPTED BY OWNER...
36. ALL COMPACTION SHALL BE 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T-180)

SANITARY SEWER

- 1. ROOF DRAINS, FOUNDATION DRAINS OR OTHER STORM WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED...
2. GRAVITY SEWER PIPE SHALL BE SDR26 PVC AND SHALL MEET ASTM D3034, UNLESS OTHERWISE SPECIFIED...
3. ALL SANITARY SEWER LATERALS SHALL BE 6-INCH DIAMETER PVC AND SHALL END WITH A CLEAN OUT...
4. ALL SANITARY SEWER PIPE SHALL BE COLORED GREEN...
5. ALL SANITARY SEWER MANHOLES SHALL HAVE A MINIMUM DIAMETER OF 48-INCHES AND A MINIMUM ACCESS DIAMETER OF 22-INCHES...
6. MINIMUM COVER OVER ALL PIPE SHALL BE 36-INCHES FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED...
7. FOR HORIZONTAL AND VERTICAL CLEARANCES BETWEEN SANITARY SEWER MAINS/ LATERALS AND WATER MAINS/SERVICES, SEE WATER NOTES ON THIS SHEET AND FDEP SEPARATION TABLE ON UTILITY PLAN...
8. WHERE SOIL REPORT INDICATES THE POSSIBILITY OF UNSUITABLE MATERIAL IN THE VICINITY OF SANITARY LINES, THE CONTRACTOR SHALL DETERMINE THE NATURE AND EXTENT OF THIS UNSUITABLE MATERIAL...
9. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM INFILTRATION OR EXFILTRATION TESTS, WHICHEVER IS APPLICABLE...
10. ADVANCED NOTIFICATION PRIOR TO CONSTRUCTION AND TESTING...
11. THE CONTRACTOR SHALL SUPPLY COMPLETE "AS BUILT" INFORMATION RELATIVE TO INVERTS, RM ELEVATIONS, LOCATION OF MANHOLES AND LENGTHS OF PIPE...
12. CONTRACTOR SHALL RECEIVE SEWER CERTIFICATION PRIOR TO PLACEMENT OF BASE COURSE...
13. MINIMUM SLOPE ON ALL SANITARY SEWER GRAVITY MAINS SHALL BE IN ACCORDANCE WITH UTILITY PROVIDER'S STANDARDS AND CONSTRUCTION SPECIFICATIONS...
14. ALL SANITARY SEWER LOCATIONS SHALL BE MARKED BY CUTTING AN "S" INTO THE CURB...
15. MARK RESIDENTIAL LATERALS WITH 6-FOOT HIGH PIECE OF 2"x4" PLANK PAINTED GREEN...
16. AIR RELEASE VALVES SHALL BE REQUIRED AT ALL HIGH POINTS ALONG THE FORCE MAIN...
17. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT AN EVEN TRANSITION IS MAINTAINED WHERE ASPHALT PAVING ADJUTS MANHOLE/VALVE COVERS IN PAVED AREAS...
18. PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCES BETWEEN MANHOLE CENTERLINE...
19. INVERTS OF SANITARY SEWER LATERALS AT THEIR CONNECTION TO SANITARY MANHOLES SHALL BE NO MORE THAN ONE (1) FOOT ABOVE THE MANHOLE INVERT...
20. PRIOR TO PAVING, CONTRACTOR SHALL VERIFY THE AS-BUILT SANITARY SEWER PIPE SLOPES, MINIMUM SLOPES SHALL BE IN ACCORDANCE WITH THE GREATER OF FDEP OR THE UTILITY PROVIDER'S MINIMUM CRITERIA...
21. MANHOLE LIFT HOLES AND GRADE ADJUSTMENT RINGS SHALL BE SEALED WITH NON-SHRINKING MORTAR OR OTHER APPROPRIATE MATERIAL...
22. INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED FLEXIBLE WATER-TIGHT CONNECTION...
23. WATER-TIGHT MANHOLE COVERS SHALL BE USED WHEREVER THE MANHOLE TOPS MAY BE FLOODED BY STREET RUNOFF OR HIGH WATER

WATER

- 1. ALL MATERIALS AND CONSTRUCTION REQUIREMENTS FOR THE FIRE SERVICE, WATER LINES, OVERHEAD LATERALS, AND LOCAL AGENCY SPECIFICATIONS...
2. ALL CONSTRUCTION AND DETAILS SHALL BE IN COMPLIANCE WITH AWWA STANDARDS AND IN ACCORDANCE WITH LOCAL AGENCY STANDARDS...
3. ALL PUBLIC WATER SYSTEM COMPONENTS, EXCLUDING FIRE HYDRANTS, THAT WILL BE INSTALLED UNDER THIS PROJECT SHALL BE SHOWN ON THE DRAWING...
4. CONTRACTOR SHALL VERIFY SIZE AND TYPE OF EXISTING MAIN PRIOR TO ORDERING TAPPING MATERIALS FOR FIRE SERVICE...
5. SITE CONTRACTOR SHALL COORDINATE AND VERIFY ALL UTILITY SERVICES WITH FINAL ARCHITECTURAL DRAWINGS AND BUILDING CONSTRUCTION...
6. SITE UTILITY WORK SHALL TERMINATE 5- FEET FROM BUILDINGS UNLESS OTHERWISE STATED...
7. MINIMUM COVER OVER ALL PIPE SHALL BE 36-INCHES FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED...
8. THE WATER MAIN SHALL BE LOCATED ABOVE THE STORMWATER AND SANITARY MAINS AT CONFLICTS, WHERE POSSIBLE...
9. VERTICAL SEPARATION BETWEEN UNDERGROUND POTABLE WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES...
9.1. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE...
9.2. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAD SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE...
10. HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS...
10.1. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAD TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER...
10.2. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAD TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER...
10.3. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAD TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER...
10.4. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAD TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM...
11. AT THE UTILITY CROSSINGS DESCRIBED IN NOTES 8 AND 9 ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE...
12. WATER LINES 2-INCHES, OR LESS, IN DIAMETER SHALL BE POLYETHYLENE TUBING...
13. WATER LINES 4-INCH TO 12-INCH IN DIAMETER SHALL BE NSF LOGIC PVC PIPE CONFORMING TO AWWA C-900 AND BE DR-18...
14. ALL FITTINGS SHALL BE DUCTILE IRON (D.I.) OR GRAY IRON MECHANICAL JOINTS WITH A MINIMUM PRESSURE RATING OF 250 P.S.I...
15. FROM THE POINT OF SERVICE (P.O.S.) FORWARD AS DESIGNATED BY F.S. 633, FIRE SUPPLY PIPE SHALL BE DR-14 AND TESTED AT 200 PSI FOR TWO HOURS...
16. GATE VALVES SHALL CONFORM TO AWWA C-509-87, WITH WRENCH NUT EXTENSION STEMS AND OTHER APPURTENANCES AS REQUIRED...
17. ALL NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH A CONTINUOUS, INSULATED TO GALVE COPPER WIRE INSTALLED DIRECTLY ON TOP OF THE PIPE FOR LOCATION PURPOSES...
18. SERVICE MAINS FOR FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 24, LATEST EDITION...
19. NEW FIRE HYDRANTS SHALL BE INSTALLED SO THAT 5-1/4" INCH PORT IS FACING THE ROADWAY...
20. HYDROSTATIC TESTING AND THE DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE DONE IN ACCORDANCE WITH AWWA C-600...
21. THE CONTRACTOR SHALL SUPPLY COMPLETE AS-BUILT INFORMATION RELATIVE TO LOCATION AND ELEVATION OF ALL WATER LINES AND SERVICES...
22. CONTRACTOR SHALL COORDINATE ALL UTILITIES SYSTEMS TEST SCHEDULING TO ALLOW ENGINEER'S ATTENDANCE PROVIDING MINIMUM NOTICE OF FIVE (5) WORKING DAYS...
23. NEW HYDRANTS SHALL BE TESTED AND IN PROPER WORKING ORDER WITH UTILITY PROMONUMENTATION SUPPLIED TO THE FIRE MARSHAL...
24. DEFLECTIONS AT PIPE JOINTS SHALL NOT EXCEED THE LESSOR OF THOSE RECOMMENDED BY THE PIPE MANUFACTURER OR UTILITY PROVIDER'S CONSTRUCTION SPECIFICATIONS...
25. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE COLOR CODED IN ACCORDANCE WITH SUB PARAGRAPH 62-556.300(2)(3), F.A.C. USING BLUE AS A PREDOMINANT COLOR...
26. MARK RESIDENTIAL SERVICES WITH 6-FOOT HIGH PIECE OF 2"x4" PLANK PAINTED BLUE...
27. PIPE MATERIALS: PVC - ALL PIPE, PIPE FITTINGS, PIPE JOINT PACKING AND JOINTING MATERIALS, VALVES, FIRE HYDRANTS, AND METERS INSTALLED UNDER THIS PROJECT SHALL CONFORM TO APPLICABLE AWWA STANDARDS...
28. WATER MAIN CONNECTION SHALL BE MADE UNDER THE SUPERVISION OF THE UTILITY PROVIDER...
29. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL CONTAIN NO MORE THAN 0.2% LEAD...
30. NEW OR ALTERED FIRE HYDRANT LEADS SHALL HAVE A MINIMUM INSIDE DIAMETER OF 6-INCH AND SHALL INCLUDE AN AUXILIARY VALVE...
31. A CONTINUOUS AND UNIFORM BEDDING WILL BE PROVIDED IN TRENCHES FOR UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT...
32. CONTRACTOR SHALL NOT ACTIVATE WATER SERVICE UNTIL FDEP HAS CLEARED THE SYSTEM FOR USE...
33. ENGINEER RESERVES THE RIGHT TO WITHHOLD AUTHORIZATION OF PAYMENT FOR ANY PORTION OF THE UTILITIES PIPE WORK WHICH HAS NOT BEEN TESTED, OBSERVED BY ENGINEER, AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.

FIRE

- PLANS SHALL BE IN ACCORDANCE WITH THE 5TH EDITION OF THE FLORIDA FIRE PREVENTION CODE: NFPA 101, 2015 EDITION
NFPA 1, 2015 EDITION
NFPA 14, 2013 EDITION
NFPA 24, 2013 EDITION
NFPA 13, 2013 EDITION
DEMOLITION NOTES
1. EXISTING ON-SITE UNDERGROUND UTILITIES, UNLESS OTHERWISE NOTED, SHALL BE REMOVED IN ACCORDANCE WITH THE UTILITY PROVIDER REQUIREMENTS...
2. CONTRACTOR SHALL BE KNOWLEDGEABLE OF THE CONSTRUCTION DOCUMENTS AND BE RESPONSIBLE FOR PROTECTING ANY EXISTING FACILITY SO DESIGNATED OR DESIGNATED TO BE UTILIZED IN THE WORK...
3. CONTRACTOR SHALL REMOVE ALL FOUNDATIONS, CONCRETE SLABS, AND UNDERGROUND STRUCTURES EXISTING ON THE SITE AT THE TIME OF BIDDING UNLESS OTHERWISE DIRECTED...
4. CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES AND BE RESPONSIBLE FOR THE TERMINATION, CAPPING-OFF AND REMOVAL OF ALL UNDERGROUND AND ABOVE-GROUND UTILITY SERVICES EXISTING AT THE TIME OF BIDDING UNLESS DIRECTED TO DO OTHERWISE...
5. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND...
6. NO OFF-SITE UTILITIES SHALL BE REMOVED WITHOUT CITY ENGINEER APPROVAL.

SPECIAL PURPOSE

- 1. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS AND OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.

GATE NOTES

- 1. ANY COMMUNITY, IF GATED, SHALL REQUIRE A CLICK->ENTER DEVICE TO BE INSTALLED ON ANY AND ALL AUTOMATICALLY CONTROLLED GATES TO ALLOW EMERGENCY VEHICLE ACCESS...
A BATTERY BACKUP SYSTEM WHICH WILL ALLOW GATES TO OPEN AND REMAIN OPEN DUE TO A POWER FAILURE.

MADDEN MOORHEAD & STOKES, INC. CIVIL ENGINEERS
431 E. Horatio Avenue Suite 260
Maitland, Florida 32751
(407) 629-8330

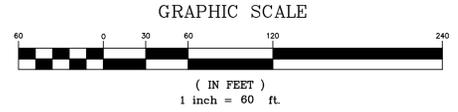
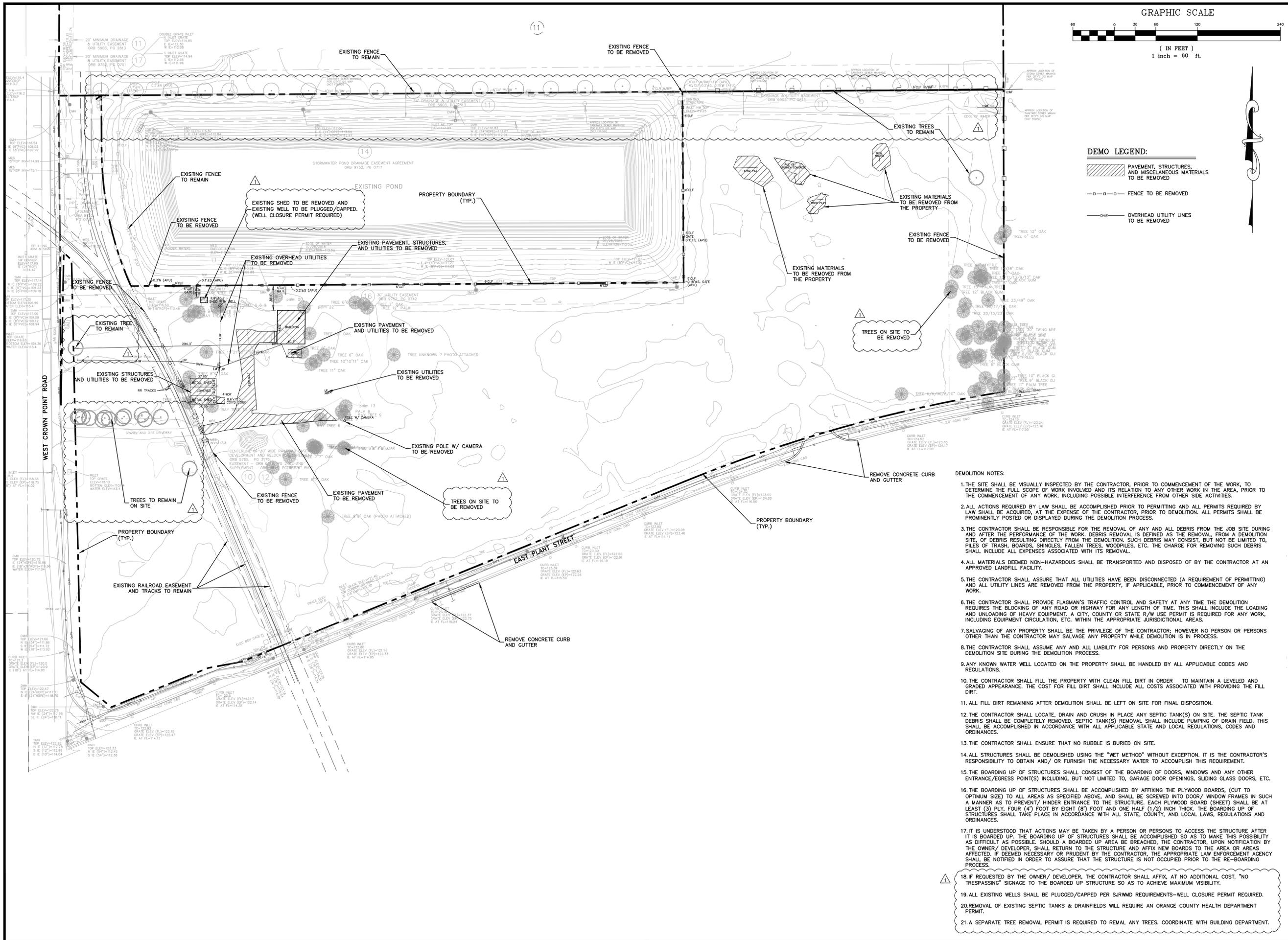
GENERAL NOTES FOR ALTA CROWN POINT CIVIL ENGINEERS
CITY OF WINTER GARDEN
FLORIDA

CLIENT: WIP SOUTH ACQUISITIONS, L.L.C.
636 W. YALE STREET
ORLANDO, FL 32804
(407) 892-2516

STATE OF FLORIDA PROFESSIONAL ENGINEER
DAVID W. STOKES, No. 66527
CERTIFICATE OF AUTHORIZATION No. EP-000723

Table with columns: NO., DATE, REVISIONS, COMMENTS. Includes a grid for tracking changes.

JOB # 18053
DATE: 06/20/2019
DESIGNED BY: N. T. S.
DRAWN BY: DAS
APPROVED BY: DAS



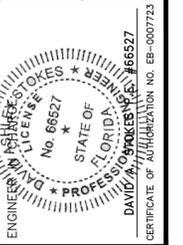
- DEMO LEGEND:**
- PAVEMENT, STRUCTURES, AND MISCELLANEOUS MATERIALS TO BE REMOVED
 - FENCE TO BE REMOVED
 - OVERHEAD UTILITY LINES TO BE REMOVED

- DEMOLITION NOTES:**
1. THE SITE SHALL BE VISUALLY INSPECTED BY THE CONTRACTOR, PRIOR TO COMMENCEMENT OF THE WORK, TO DETERMINE THE FULL SCOPE OF WORK INVOLVED AND ITS RELATION TO ANY OTHER WORK IN THE AREA, PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING POSSIBLE INTERFERENCE FROM OTHER SIDE ACTIVITIES.
 2. ALL ACTIONS REQUIRED BY LAW SHALL BE ACCOMPLISHED PRIOR TO PERMITTING AND ALL PERMITS REQUIRED BY LAW SHALL BE ACQUIRED, AT THE EXPENSE OF THE CONTRACTOR, PRIOR TO DEMOLITION. ALL PERMITS SHALL BE PROMINENTLY POSTED OR DISPLAYED DURING THE DEMOLITION PROCESS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY AND ALL DEBRIS FROM THE JOB SITE DURING AND AFTER THE PERFORMANCE OF THE WORK. DEBRIS REMOVAL IS DEFINED AS THE REMOVAL FROM A DEMOLITION SITE, OF DEBRIS RESULTING DIRECTLY FROM THE DEMOLITION. SUCH DEBRIS MAY CONSIST, BUT NOT BE LIMITED TO, PILES OF TRASH, BOARDS, SHINGLES, FALLEN TREES, WOODPILES, ETC. THE CHARGE FOR REMOVING SUCH DEBRIS SHALL INCLUDE ALL EXPENSES ASSOCIATED WITH ITS REMOVAL.
 4. ALL MATERIALS DEEMED NON-HAZARDOUS SHALL BE TRANSPORTED AND DISPOSED OF BY THE CONTRACTOR AT AN APPROVED LANDFILL FACILITY.
 5. THE CONTRACTOR SHALL ASSURE THAT ALL UTILITIES HAVE BEEN DISCONNECTED (A REQUIREMENT OF PERMITTING) AND ALL UTILITY LINES ARE REMOVED FROM THE PROPERTY, IF APPLICABLE, PRIOR TO COMMENCEMENT OF ANY WORK.
 6. THE CONTRACTOR SHALL PROVIDE FLAGMAN'S TRAFFIC CONTROL AND SAFETY AT ANY TIME THE DEMOLITION REQUIRES THE BLOCKING OF ANY ROAD OR HIGHWAY FOR ANY LENGTH OF TIME. THIS SHALL INCLUDE THE LOADING AND UNLOADING OF HEAVY EQUIPMENT. A CITY, COUNTY OR STATE R/W USE PERMIT IS REQUIRED FOR ANY WORK, INCLUDING EQUIPMENT CIRCULATION, ETC. WITHIN THE APPROPRIATE JURISDICTIONAL AREAS.
 7. SALVAGING OF ANY PROPERTY SHALL BE THE PRIVILEGE OF THE CONTRACTOR; HOWEVER NO PERSON OR PERSONS OTHER THAN THE CONTRACTOR MAY SALVAGE ANY PROPERTY WHILE DEMOLITION IS IN PROCESS.
 8. THE CONTRACTOR SHALL ASSUME ANY AND ALL LIABILITY FOR PERSONS AND PROPERTY DIRECTLY ON THE DEMOLITION SITE DURING THE DEMOLITION PROCESS.
 9. ANY KNOWN WATER WELL LOCATED ON THE PROPERTY SHALL BE HANDLED BY ALL APPLICABLE CODES AND REGULATIONS.
 10. THE CONTRACTOR SHALL FILL THE PROPERTY WITH CLEAN FILL DIRT IN ORDER TO MAINTAIN A LEVELED AND GRADED APPEARANCE. THE COST FOR FILL DIRT SHALL INCLUDE ALL COSTS ASSOCIATED WITH PROVIDING THE FILL DIRT.
 11. ALL FILL DIRT REMAINING AFTER DEMOLITION SHALL BE LEFT ON SITE FOR FINAL DISPOSITION.
 12. THE CONTRACTOR SHALL LOCATE, DRAIN AND CRUSH IN PLACE ANY SEPTIC TANK(S) ON SITE. THE SEPTIC TANK DEBRIS SHALL BE COMPLETELY REMOVED. SEPTIC TANK(S) REMOVAL SHALL INCLUDE PUMPING OF DRAIN FIELD. THIS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS, CODES AND ORDINANCES.
 13. THE CONTRACTOR SHALL ENSURE THAT NO RUBBLE IS BURIED ON SITE.
 14. ALL STRUCTURES SHALL BE DEMOLISHED USING THE "WET METHOD" WITHOUT EXCEPTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND/ OR FURNISH THE NECESSARY WATER TO ACCOMPLISH THIS REQUIREMENT.
 15. THE BOARDING UP OF STRUCTURES SHALL CONSIST OF THE BOARDING OF DOORS, WINDOWS AND ANY OTHER ENTRANCE/EGRESS POINT(S) INCLUDING, BUT NOT LIMITED TO, GARAGE DOOR OPENINGS, SLIDING GLASS DOORS, ETC.
 16. THE BOARDING UP OF STRUCTURES SHALL BE ACCOMPLISHED BY AFFIXING THE PLYWOOD BOARDS, (CUT TO OPTIMUM SIZE) TO ALL AREAS AS SPECIFIED ABOVE, AND SHALL BE SCREWED INTO DOOR/ WINDOW FRAMES IN SUCH A MANNER AS TO PREVENT/ HINDER ENTRANCE TO THE STRUCTURE. EACH PLYWOOD BOARD (SHEET) SHALL BE AT LEAST (3) PLY, FOUR (4) FOOT BY EIGHT (8) FOOT AND ONE HALF (1/2) INCH THICK. THE BOARDING UP OF STRUCTURES SHALL TAKE PLACE IN ACCORDANCE WITH ALL STATE, COUNTY, AND LOCAL LAWS, REGULATIONS AND ORDINANCES.
 17. IT IS UNDERSTOOD THAT ACTIONS MAY BE TAKEN BY A PERSON OR PERSONS TO ACCESS THE STRUCTURE AFTER IT IS BOARDED UP. THE BOARDING UP OF STRUCTURES SHALL BE ACCOMPLISHED SO AS TO MAKE THIS POSSIBILITY AS DIFFICULT AS POSSIBLE. SHOULD A BOARDED UP AREA BE BREACHED, THE CONTRACTOR, UPON NOTIFICATION BY THE OWNER/ DEVELOPER, SHALL RETURN TO THE STRUCTURE AND AFFIX NEW BOARDS TO THE AREA OR AREAS AFFECTED. IF DEEMED NECESSARY OR PRUDENT BY THE CONTRACTOR, THE APPROPRIATE LAW ENFORCEMENT AGENCY SHALL BE NOTIFIED IN ORDER TO ASSURE THAT THE STRUCTURE IS NOT OCCUPIED PRIOR TO THE RE-BOARDING PROCESS.
 18. IF REQUESTED BY THE OWNER/ DEVELOPER, THE CONTRACTOR SHALL AFFIX, AT NO ADDITIONAL COST, "NO TRESPASSING" SIGNAGE TO THE BOARDED UP STRUCTURE SO AS TO ACHIEVE MAXIMUM VISIBILITY.
 19. ALL EXISTING WELLS SHALL BE PLUGGED/CAPPED PER SURMWD REQUIREMENTS—WELL CLOSURE PERMIT REQUIRED.
 20. REMOVAL OF EXISTING SEPTIC TANKS & DRAINFIELDS WILL REQUIRE AN ORANGE COUNTY HEALTH DEPARTMENT PERMIT.
 21. A SEPARATE TREE REMOVAL PERMIT IS REQUIRED TO REMOVAL ANY TREES. COORDINATE WITH BUILDING DEPARTMENT.

MADDEN
MOORHEAD & STOKES, INC.
CIVIL ENGINEERS
431 E. Horatio Avenue
Suite 260
Maitland, Florida 32751
(407) 629-8330

DEMOLITION PLAN
FOR
ALTA CROWN POINT
CITY OF WINTER GARDEN, FLORIDA

CLIENT:
WP SOUTH ACQUISITIONS, L.L.C.
636 W. YALE STREET
ORLANDO, FL 32804
(407) 882-2516



NO.	REVISIONS PER CITY COMMENTS	DATE	REVISIONS
1			
2			
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JOB # 18053
DATE: 06/20/2019
SCALE: 1"=60'
DESIGNED BY: DAS
DRAWN BY: DAS
APPROVED BY: DAS

C-004



MADDEN
MOORHEAD & STOKES, INC.
CIVIL ENGINEERS
431 E. Horatio Avenue
Suite 260
Maitland, Florida 32751
(407) 629-8330

OVERALL SITE PLAN
FOR
ALTA CROWN POINT
CITY OF WINTER GARDEN
FLORIDA

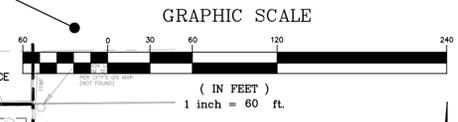
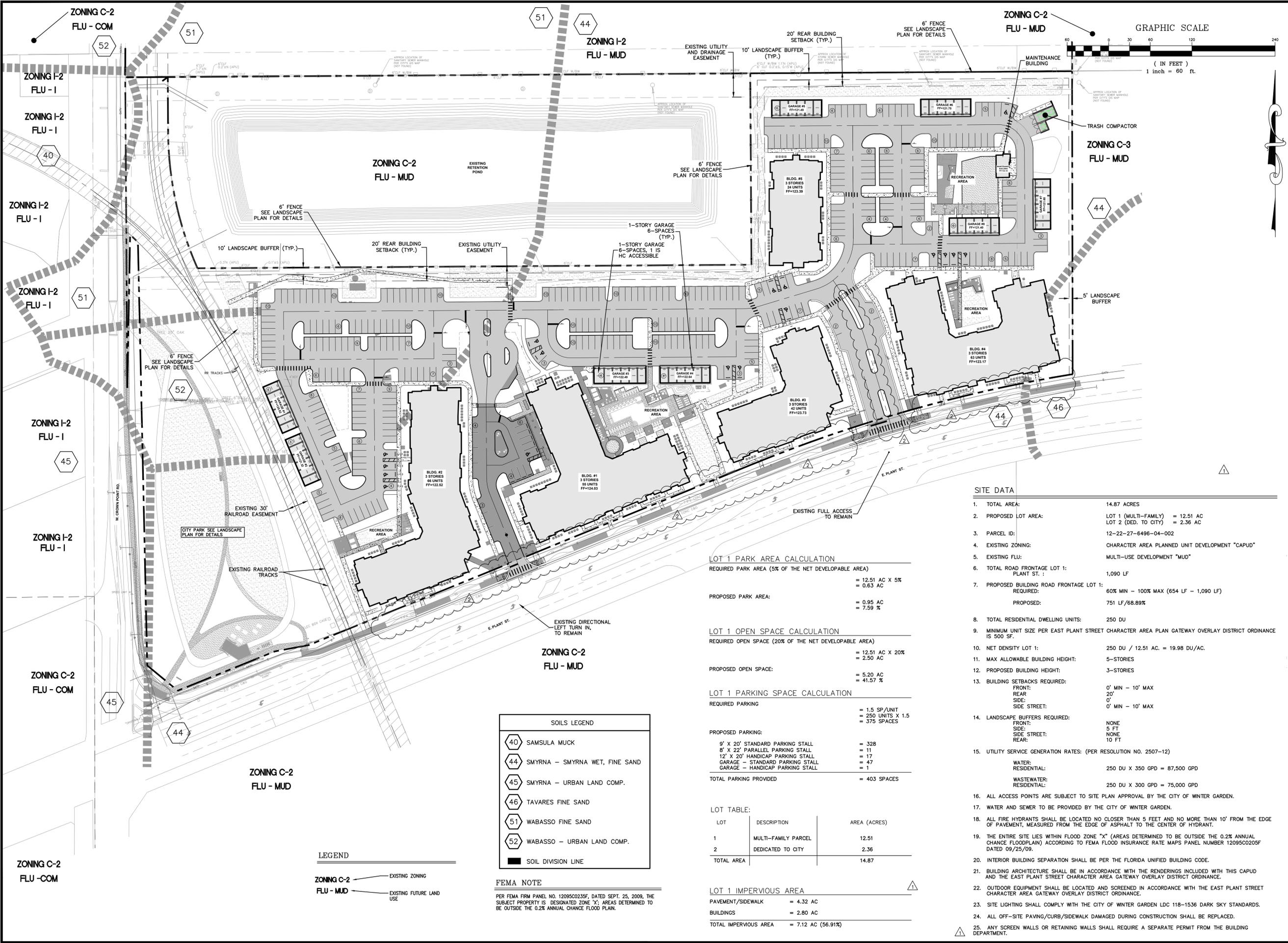
CLIENT:
WP SOUTH ACQUISITIONS, L.L.C.
636 W. YALE STREET
ORLANDO, FL 32804
(407) 982-2516



NO.	REVISION	DATE	REVISIONS
1	ISSUED FOR PERMIT		
2	REVISED ENTRANCE/SEWERLINES		
3			
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JOB # 18053
DATE: 06/20/2019
SCALE: 1"=60'
DESIGNED BY: DAS
DRAWN BY: DAS
APPROVED BY: DAS

C-006



SITE DATA

- TOTAL AREA: 14.87 ACRES
- PROPOSED LOT AREA:
LOT 1 (MULTI-FAMILY) = 12.51 AC
LOT 2 (DED. TO CITY) = 2.36 AC
- PARCEL ID: 12-22-27-6496-04-002
- EXISTING ZONING: CHARACTER AREA PLANNED UNIT DEVELOPMENT "CAPUD"
- EXISTING FLU: MULTI-USE DEVELOPMENT "MUD"
- TOTAL ROAD FRONTAGE LOT 1: PLANT ST.: 1,090 LF
- PROPOSED BUILDING ROAD FRONTAGE LOT 1:
REQUIRED: 60% MIN - 100% MAX (654 LF - 1,090 LF)
PROPOSED: 751 LF/68.89%
- TOTAL RESIDENTIAL DWELLING UNITS: 250 DU
- MINIMUM UNIT SIZE PER EAST PLANT STREET CHARACTER AREA PLAN GATEWAY OVERLAY DISTRICT ORDINANCE IS 500 SF.
- NET DENSITY LOT 1: 250 DU / 12.51 AC. = 19.98 DU/AC.
- MAX ALLOWABLE BUILDING HEIGHT: 5-STORIES
- PROPOSED BUILDING HEIGHT: 3-STORIES
- BUILDING SETBACKS REQUIRED:
FRONT: 0' MIN - 10' MAX
REAR: 20'
SIDE: 0'
SIDE STREET: 0' MIN - 10' MAX
- LANDSCAPE BUFFERS REQUIRED:
FRONT: NONE
SIDE: 5 FT
SIDE STREET: NONE
REAR: 10 FT
- UTILITY SERVICE GENERATION RATES: (PER RESOLUTION NO. 2507-12)
WATER: RESIDENTIAL: 250 DU X 350 GPD = 87,500 GPD
WASTEWATER: RESIDENTIAL: 250 DU X 300 GPD = 75,000 GPD
- ALL ACCESS POINTS ARE SUBJECT TO SITE PLAN APPROVAL BY THE CITY OF WINTER GARDEN.
- WATER AND SEWER TO BE PROVIDED BY THE CITY OF WINTER GARDEN.
- ALL FIRE HYDRANTS SHALL BE LOCATED NO CLOSER THAN 5 FEET AND NO MORE THAN 10' FROM THE EDGE OF PAVEMENT, MEASURED FROM THE EDGE OF ASPHALT TO THE CENTER OF HYDRANT.
- THE ENTIRE SITE LIES WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO FEMA FLOOD INSURANCE RATE MAPS PANEL NUMBER 12095C0205F DATED 09/25/09.
- INTERIOR BUILDING SEPARATION SHALL BE PER THE FLORIDA UNIFIED BUILDING CODE.
- BUILDING ARCHITECTURE SHALL BE IN ACCORDANCE WITH THE RENDERINGS INCLUDED WITH THIS CAPUD AND THE EAST PLANT STREET CHARACTER AREA GATEWAY OVERLAY DISTRICT ORDINANCE.
- OUTDOOR EQUIPMENT SHALL BE LOCATED AND SCREENED IN ACCORDANCE WITH THE EAST PLANT STREET CHARACTER AREA GATEWAY OVERLAY DISTRICT ORDINANCE.
- SITE LIGHTING SHALL COMPLY WITH THE CITY OF WINTER GARDEN LDC 118-1536 DARK SKY STANDARDS.
- ALL OFF-SITE PAVING/CURB/SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED.
- ANY SCREEN WALLS OR RETAINING WALLS SHALL REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.

LOT 1 PARK AREA CALCULATION

REQUIRED PARK AREA (5% OF THE NET DEVELOPABLE AREA)
= 12.51 AC X 5%
= 0.63 AC

PROPOSED PARK AREA:
= 0.95 AC
= 7.59 %

LOT 1 OPEN SPACE CALCULATION

REQUIRED OPEN SPACE (20% OF THE NET DEVELOPABLE AREA)
= 12.51 AC X 20%
= 2.50 AC

PROPOSED OPEN SPACE:
= 5.20 AC
= 41.57 %

LOT 1 PARKING SPACE CALCULATION

REQUIRED PARKING
= 1.5 SP/UNIT
= 250 UNITS X 1.5
= 375 SPACES

PROPOSED PARKING:
9' X 20' STANDARD PARKING STALL = 328
8' X 22' PARALLEL PARKING STALL = 11
12' X 20' HANDICAP PARKING STALL = 17
GARAGE - STANDARD PARKING STALL = 47
GARAGE - HANDICAP PARKING STALL = 1

TOTAL PARKING PROVIDED = 403 SPACES

LOT TABLE:

LOT	DESCRIPTION	AREA (ACRES)
1	MULTI-FAMILY PARCEL	12.51
2	DEDICATED TO CITY	2.36
TOTAL AREA		14.87

LOT 1 IMPERVIOUS AREA

PAVEMENT/SIDEWALK = 4.32 AC
BUILDINGS = 2.80 AC
TOTAL IMPERVIOUS AREA = 7.12 AC (56.91%)

SOILS LEGEND

40	SAMSULA MUCK
44	SMYRNA - SMYRNA WET, FINE SAND
45	SMYRNA - URBAN LAND COMP.
46	TAVARES FINE SAND
51	WABASSO FINE SAND
52	WABASSO - URBAN LAND COMP.

SOIL DIVISION LINE

FEMA NOTE

PER FEMA FIRM PANEL NO. 12095C0205F, DATED SEPT. 25, 2009, THE SUBJECT PROPERTY IS DESIGNATED ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAN.

LEGEND

ZONING C-2 — EXISTING ZONING
FLU - MUD — EXISTING FUTURE LAND USE

ZONING C-2
FLU - MUD

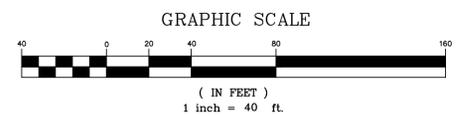
ZONING C-2
FLU - COM

ZONING I-2
FLU - I

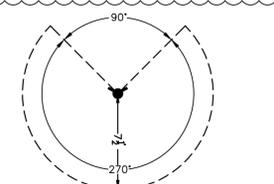
ZONING C-2
FLU - COM

FDEP SEPARATION REQUIREMENTS UNDER 62-555.314 EFFECTIVE 8-28-2003				
HAZARD	HORIZONTAL SEPARATION	VERTICAL SEPARATION		JOINT SPACING
		WATER ABOVE	WATER BELOW	
STORM SEWER	3FT MIN	12IN PREF, 6IN MIN	12IN MIN	3FT MIN
STORM FORCE MAIN	3FT MIN	12IN MIN	12IN MIN	3FT MIN
RECLAIMED WATER IF REGULATED UNDER 62-610	3FT MIN	12IN MIN	12IN MIN	3FT MIN
RECLAIMED WATER IF NOT REGULATED UNDER 62-610	10FT PREF, 6FT MIN	12IN MIN	12IN MIN	6FT MIN
VACUUM SANITARY SEWER	10FT PREF, 3FT MIN	12IN PREF, 6IN MIN	12IN MIN	3FT MIN
GRAVITY SANITARY SEWER	10FT PREF, 6FT MIN, 3FT MIN IF WATER MAIN IS 6IN ABOVE GRAVITY SANITARY SEWER	12IN PREF, 6IN MIN	12IN MIN	6FT MIN
SANITARY SEWER FORCE MAIN	10FT PREF, 6FT MIN	12IN MIN	12IN MIN	6FT MIN
SEWAGE TREATMENT & DISPOSAL SYSTEM	10FT MIN	NONE	NONE	NONE

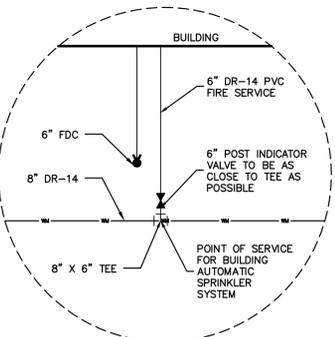
TYPICAL UTILITY LEGEND	
SYMBOL	DESCRIPTION
	FIRE HYDRANT ASSEMBLY
	DOUBLE SANITARY SERVICE
	SINGLE SANITARY SERVICE
	DOUBLE WM SERVICE
	SINGLE WM SERVICE
	DOUBLE RWM SERVICE
	SINGLE RWM SERVICE
	GATE VALVE
	WM OR RWM CROSS
	WM OR RWM TEE
	BLOW-OFF AND VALVE



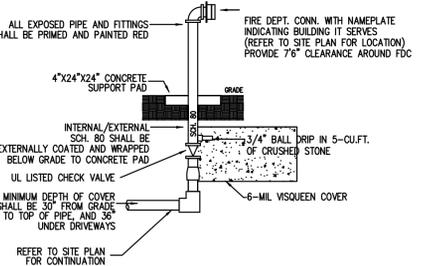
- UTILITY NOTES:**
- ALL EXISTING OVERHEAD UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE PROVIDER AND RELOCATED AS NECESSARY.
 - CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES.
 - NO COMBUSTIBLES ON SITE UNTIL ADEQUATE FIRE PROTECTION IS IN SERVICE.
 - ALL FIRE HYDRANTS SHALL BE PRIVATE.
 - FIRE FLOW TESTS ARE REQUIRED FROM AN EXISTING HYDRANT AND A NEW HYDRANT ONCE COMPLETED. FLOW TEST RESULTS SHALL INCLUDE A HYDRAULIC GRAPH.
 - THE UTILITY PLAN HAS BEEN REVIEWED FOR PIPE CONFLICTS WITH GRAVITY SEWER AND STORM SEWER PIPE AND NO CONFLICTS WERE FOUND. WHERE THE WATER MAIN, FIRE LINE, OR FORCE MAIN CROSS A GRAVITY PIPE OR ANOTHER PRESSURE PIPE, THEY SHALL BE DEFLECTED IN ACCORDANCE WITH THE FDEP PIPE SEPARATION REQUIREMENTS LOCATED ON THIS PAGE.
 - THE ENTIRE SANITARY COLLECTION SYSTEM AND PUMP STATION ARE PRIVATE.
 - THE NEEDED FIRE FLOW PER NFPA 1, IS 1,997 GPM FOR 1 HOUR.
 - FIRE HYDRANT LOCATIONS ON THIS PLAN MEET NFPA 1, APPENDIX I.
 - ALL FIRE FLOW TESTING SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 291, RECOMMENDED PRACTICE FOR FIRE FLOW TESTING AND MARKING OF HYDRANTS.
 - ALL WORK DOWNSTREAM OF POS SHALL BE PERFORMED BY A LICENSED FIRE SPRINKLER CONTRACTOR.



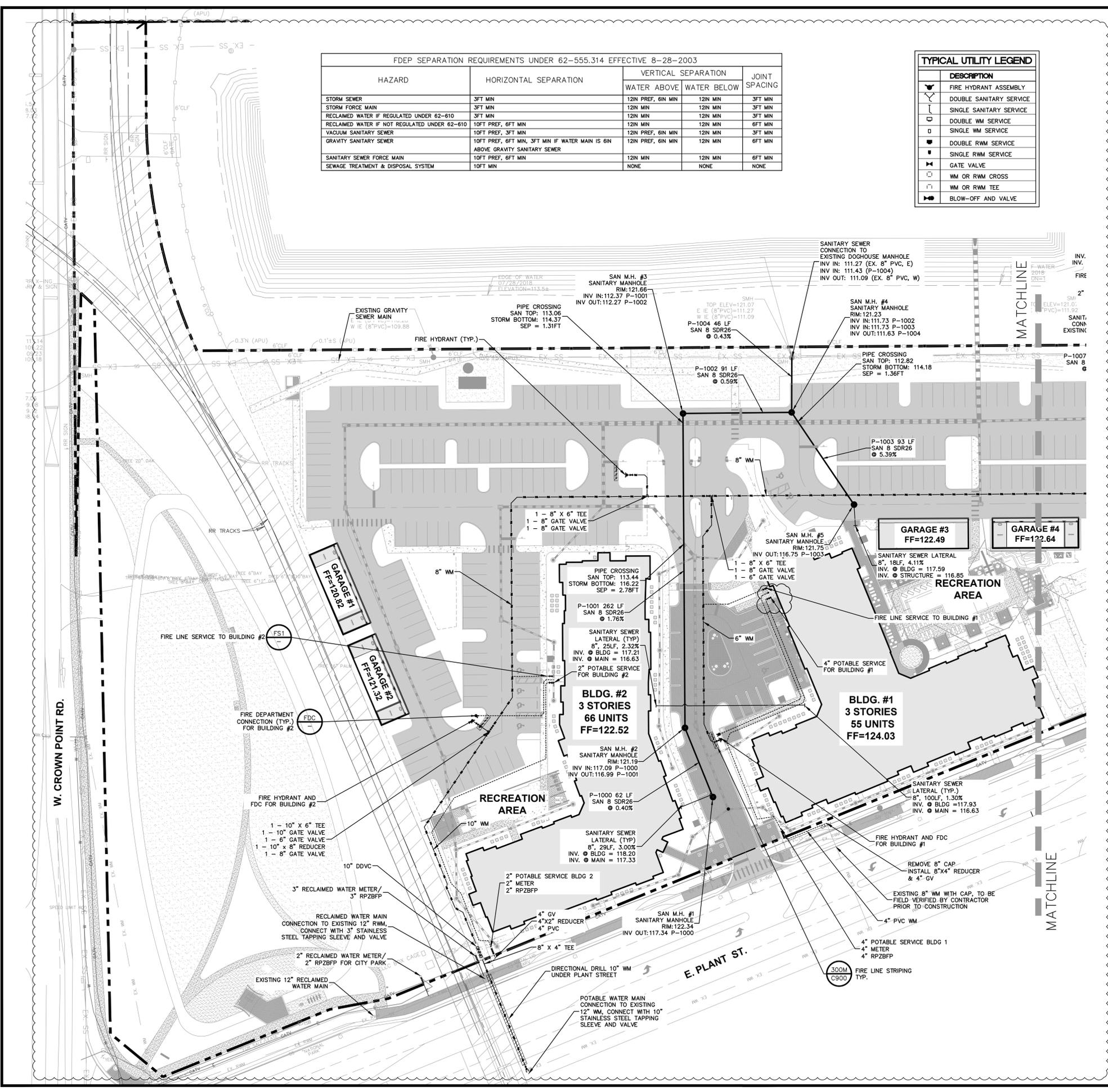
FIRE HYDRANT CLEARANCE DETAIL
NO OBSTRUCTIONS SHALL BE PLACED WITHIN A 7' CLEARANCE DISTANCE FROM THE REAR AND SIDES OF A FIRE HYDRANT AND NO OBSTRUCTIONS SHALL BE PLACED OR GROWN IN FRONT OF A FIRE HYDRANT.



FS1 FIRE SERVICE DETAIL (BUILDINGS 1 & 2)
N.T.S.
NOTE:
A. DDVY TO INCLUDE FIRE TAMPER SWITCH.
B. FIRE LINE TO BE INSTALLED



FDC 13R FIRE DEPARTMENT CONNECTION DETAIL
N.T.S.
FDC NOTES:
1. THE F.D.C. SHALL BE INSTALLED A MINIMUM OF 18" AND A MAXIMUM OF 36" FROM GRADE.
2. CONNECT TO SITE UNDERGROUND AFTER THE SPRINKLER SYSTEM BACKFLOW PREVENTER.
3. THE LOCATION AND PLACEMENT OF THE F.D.C. AND THE UNDERGROUND SUPPLY ROUTING, IS THE RESPONSIBILITY OF THE CIVIL ENGINEER. REFER TO THE CIVIL ENGINEERING DOCUMENTS FOR ADDITIONAL INFORMATION.
4. ALL ABOVE GROUND COMPONENTS OF FDC'S AND BACKFLOW PREVENTERS SHALL BE SCH 80 OR BRASS.



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CIVIL ENGINEERS
431 E. Horatio Avenue
Suite 260
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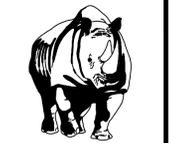
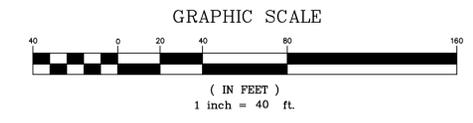
UTILITY PLAN FOR
ALTA CROWN POINT
FLORIDA
CITY OF WINTER GARDEN

CLIENT:
WP SOUTH ACQUISITIONS, L.L.C.
636 W. YALE STREET
ORLANDO, FL 32804
(407) 882-2516

DAVID M. STOKES, P.E.
No. 66627
STATE OF FLORIDA
AUTOMATIC SPRINKLER ENGINEER
CERTIFICATE OF AUTHORIZATION NO. EP-0007223

NO.	REVISIONS	DATE
1	ISSUED	06/20/2019

JOB #	18053
DATE:	06/20/2019
SCALE:	1"=40'
DESIGNED BY:	DAS
DRAWN BY:	DAS
APPROVED BY:	DAS



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431 E. Horatio Avenue
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UTILITY PLAN
FOR
ALTA CROWN POINT
CITY OF WINTER GARDEN, FLORIDA

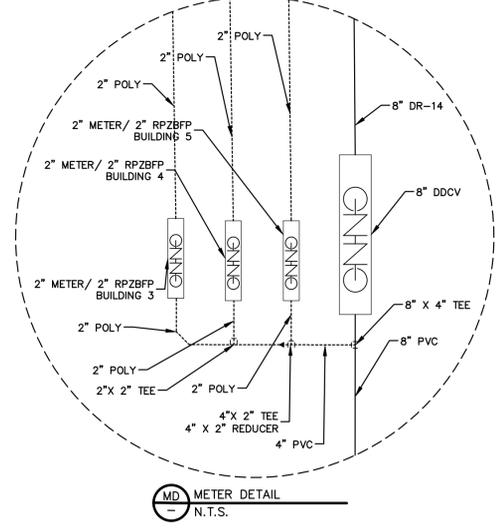
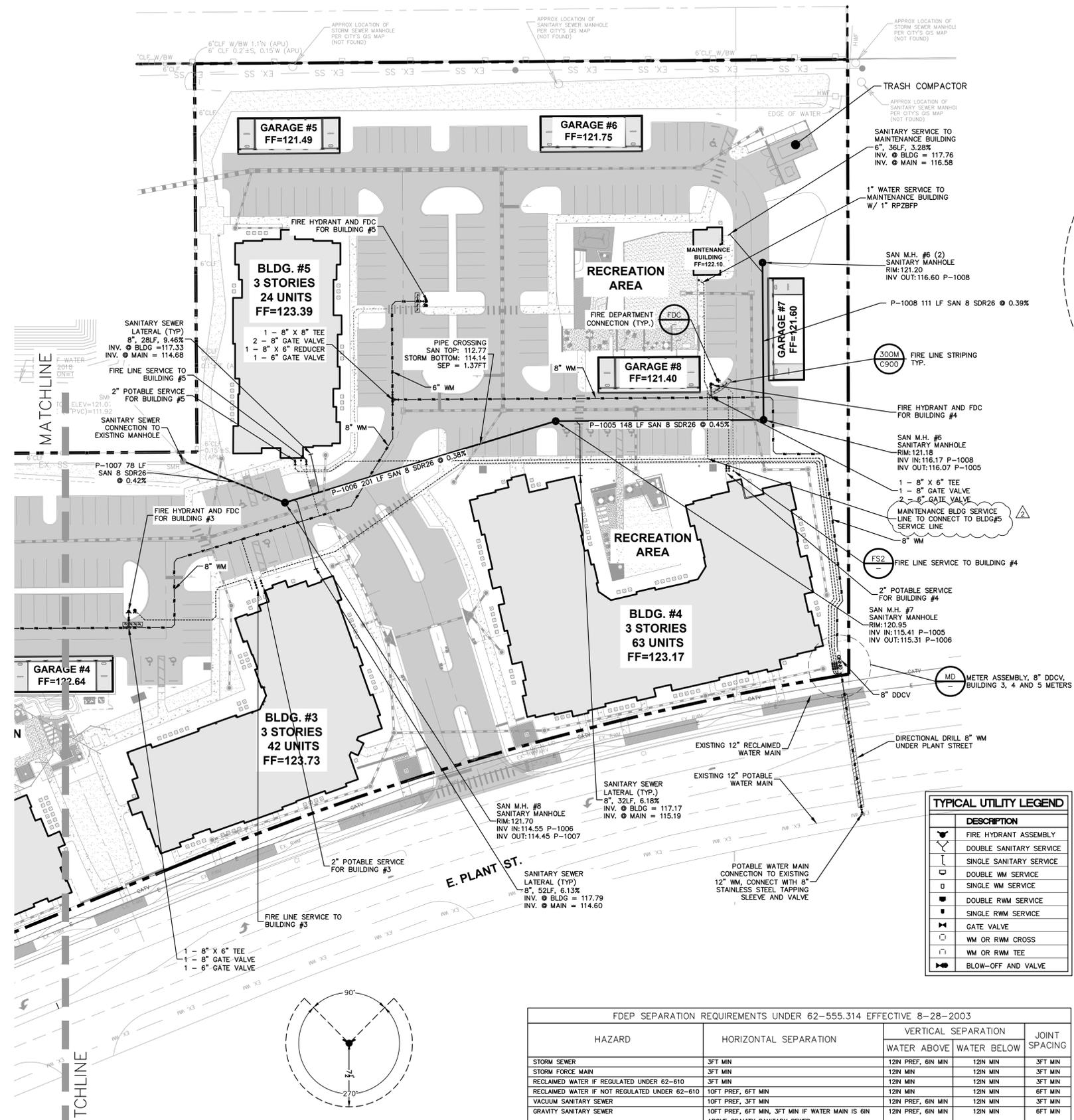
CLIENT:
WP SOUTH ACQUISITIONS, L.L.C.
636 W. YALE STREET
ORLANDO, FL 32804
(407) 982-2516



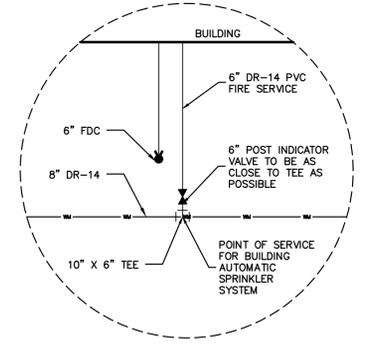
NO.	DATE	REVISIONS
1	06/20/2019	ISSUED PER CITY COMPLETION
2	11/21/18	REVISED MAINTENANCE SERVICE
3		
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JOB # 18053
DATE: 06/20/2019
SCALE: 1"=40'
DESIGNED BY: DAS
DRAWN BY: DAS
APPROVED BY: DAS

C-201



MD METER DETAIL
N.T.S.

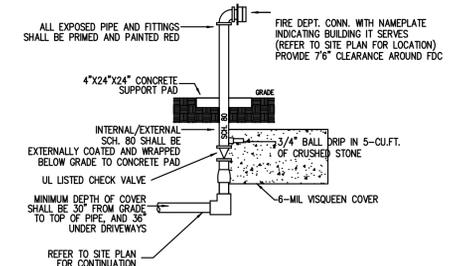


FS2 FIRE SERVICE DETAIL (BUILDINGS 3, 4, 5)
N.T.S.

NOTE:
A. DDCV TO INCLUDE FIRE TAMPER SWITCH.
B. FIRE LINE TO BE INSTALLED

TYPICAL UTILITY LEGEND

DESCRIPTION
FIRE HYDRANT ASSEMBLY
DOUBLE SANITARY SERVICE
SINGLE SANITARY SERVICE
DOUBLE WM SERVICE
SINGLE WM SERVICE
DOUBLE RWM SERVICE
SINGLE RWM SERVICE
GATE VALVE
WM OR RWM CROSS
WM OR RWM TEE
BLOW-OFF AND VALVE

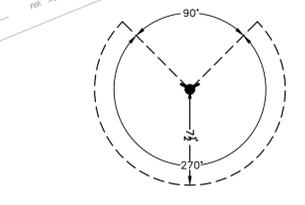


FDC 13R FIRE DEPARTMENT CONNECTION DETAIL
N.T.S.

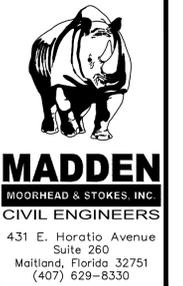
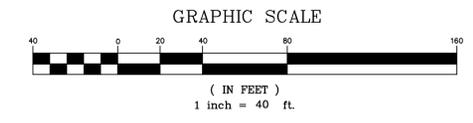
FDC NOTES:
1. THE F.D.C. SHALL BE INSTALLED A MINIMUM OF 18" AND A MAXIMUM OF 36" FROM GRADE.
2. CONNECT TO SITE UNDERGROUND AFTER THE SPRINKLER SYSTEM BACKFLOW PREVENTER.
3. THE LOCATION AND PLACEMENT OF THE F.D.C., AND THE UNDERGROUND SUPPLY ROUTING, IS THE RESPONSIBILITY OF THE CIVIL ENGINEER. REFER TO THE CIVIL ENGINEERING DOCUMENTS FOR ADDITIONAL INFORMATION.
4. ALL ABOVE GROUND COMPONENTS OF FDC'S AND BACKFLOW PREVENTERS SHALL BE SCH 80 OR BRASS.

FDEP SEPARATION REQUIREMENTS UNDER 62-555.314 EFFECTIVE 8-28-2003

HAZARD	HORIZONTAL SEPARATION	VERTICAL SEPARATION		JOINT SPACING
		WATER ABOVE	WATER BELOW	
STORM SEWER	3FT MIN	12IN PREF, 6IN MIN	12IN MIN	3FT MIN
STORM FORCE MAIN	3FT MIN	12IN MIN	12IN MIN	3FT MIN
RECLAIMED WATER IF REGULATED UNDER 62-610	3FT MIN	12IN MIN	12IN MIN	3FT MIN
RECLAIMED WATER IF NOT REGULATED UNDER 62-610	10FT PREF, 6FT MIN	12IN MIN	12IN MIN	6FT MIN
VACUUM SANITARY SEWER	10FT PREF, 3FT MIN	12IN PREF, 6IN MIN	12IN MIN	3FT MIN
GRAVITY SANITARY SEWER	10FT PREF, 6FT MIN, 3FT MIN IF WATER MAIN IS 6IN ABOVE GRAVITY SANITARY SEWER	12IN PREF, 6IN MIN	12IN MIN	6FT MIN
SANITARY SEWER FORCE MAIN	10FT PREF, 6FT MIN	12IN MIN	12IN MIN	6FT MIN
SEWAGE TREATMENT & DISPOSAL SYSTEM	10FT MIN	NONE	NONE	NONE



FIRE HYDRANT CLEARANCE DETAIL
NO OBSTRUCTIONS SHALL BE PLACED WITHIN A 7 1/2' CLEARANCE DISTANCE FROM THE REAR AND SIDES OF A FIRE HYDRANT AND NO OBSTRUCTIONS SHALL BE PLACED OR GROWN IN FRONT OF A FIRE HYDRANT.

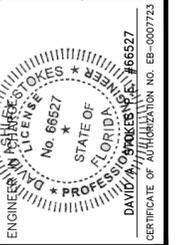


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DRAINAGE PLAN FOR
ALTA CROWN POINT
 CITY OF WINTER GARDEN, FLORIDA

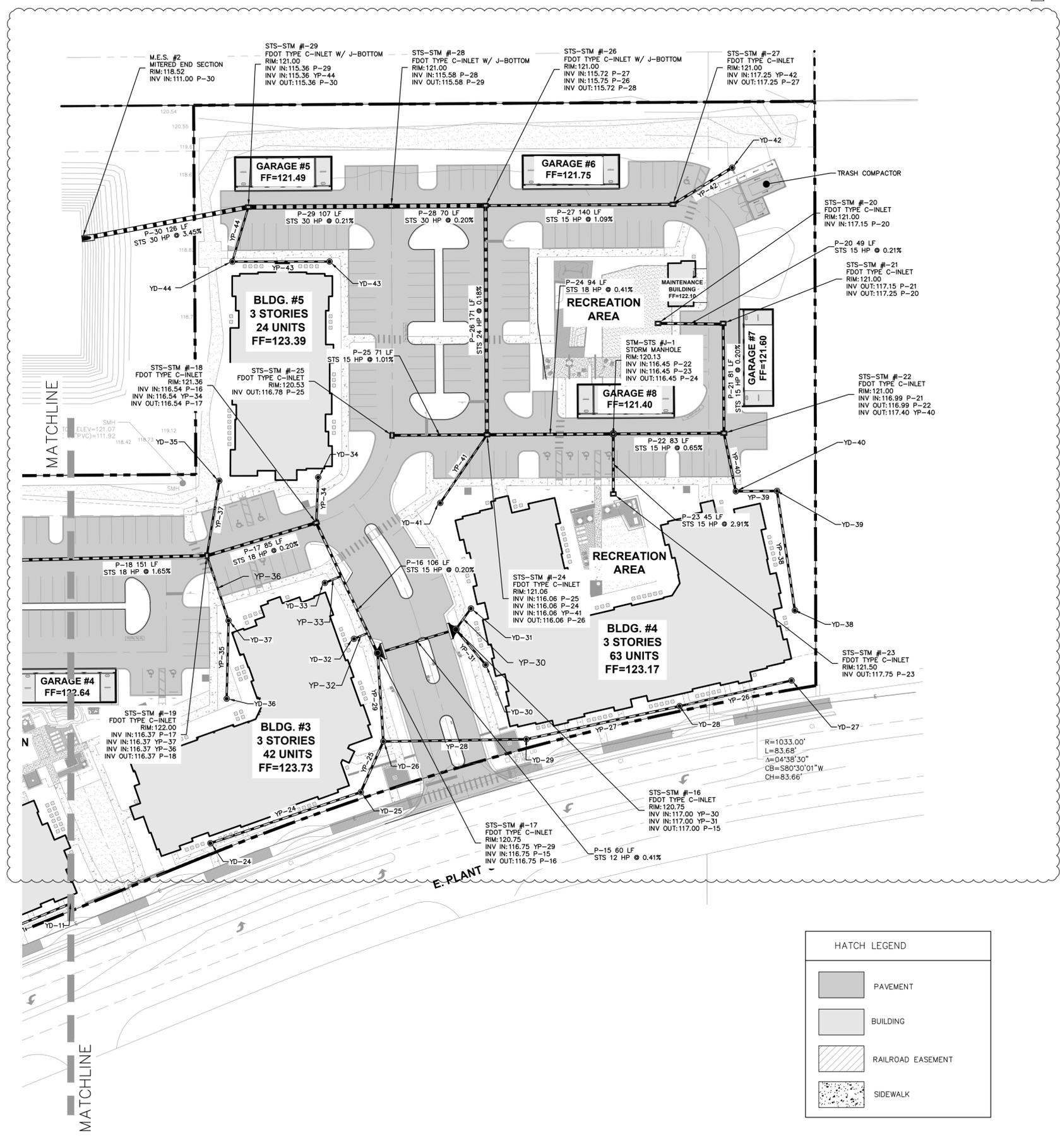
CLIENT:
 WIP SOUTH ACQUISITIONS, L.L.C.
 636 W. YALE STREET
 ORLANDO, FL 32804
 (407) 892-2516



NO.	DATE	REVISIONS
1	10/27/19	REVISED PER CITY COMMENTS
2		
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JOB # 18053
 DATE: 06/20/2019
 SCALE: 1"=40'
 DESIGNED BY: DAS
 DRAWN BY: DAS
 APPROVED BY: DAS

C-301

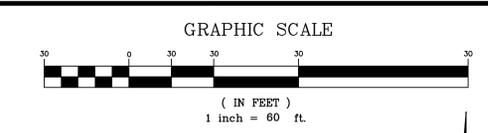


STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS
YD-1	RIM = 121.250
YD-2	RIM = 121.000
YD-3	RIM = 121.200
YD-4	RIM = 121.650
YD-5	RIM = 121.500
YD-6	RIM = 121.500
YD-7	RIM = 121.500
YD-8	RIM = 121.650
YD-9	RIM = 121.500
YD-10	RIM = 121.250
YD-11	RIM = 122.500
YD-12	RIM = 122.500
YD-13	RIM = 122.500
YD-14	RIM = 122.500
YD-15	RIM = 122.500
YD-16	RIM = 121.750
YD-17	RIM = 122.500
YD-18	RIM = 121.500
YD-19	RIM = 121.500
YD-20	RIM = 121.500
YD-21	RIM = 121.500
YD-22	RIM = 122.000
YD-23	RIM = 121.500
YD-24	RIM = 122.000
YD-25	RIM = 122.000
YD-26	RIM = 122.000
YD-27	RIM = 122.000
YD-28	RIM = 122.000
YD-29	RIM = 122.000
YD-30	RIM = 122.000
YD-31	RIM = 122.000
YD-32	RIM = 122.000
YD-33	RIM = 122.000
YD-34	RIM = 122.000
YD-35	RIM = 122.000
YD-36	RIM = 122.000
YD-37	RIM = 122.000
YD-38	RIM = 121.000
YD-39	RIM = 121.000
YD-40	RIM = 121.500
YD-41	RIM = 121.500
YD-42	RIM = 121.000
YD-43	RIM = 122.250
YD-44	RIM = 122.250

Pipe Table			
NAME	SIZE	LENGTH	SLOPE
YP-1	12"	52.57'	0.50%
YP-2	12"	40.61'	0.50%
YP-3	12"	105.12'	1.00%
YP-4	12"	77.62'	0.80%
YP-5	12"	48.71'	1.00%
YP-6	12"	47.99'	3.67%
YP-7	12"	61.69'	4.33%
YP-8	12"	75.10'	0.50%
YP-9	12"	33.96'	0.50%
YP-10	12"	37.61'	0.50%
YP-11	12"	97.07'	0.50%
YP-12	12"	51.79'	0.50%
YP-13	12"	68.34'	0.50%
YP-14	12"	30.05'	0.50%
YP-15	12"	29.12'	1.19%
YP-16	12"	42.17'	0.50%
YP-17	12"	24.82'	4.87%
YP-18	12"	36.77'	0.50%
YP-19	12"	63.40'	0.50%
YP-20	12"	63.72'	0.50%
YP-21	12"	32.97'	4.34%
YP-22	12"	39.04'	1.00%
YP-23	12"	35.99'	6.56%
YP-24	12"	111.45'	0.50%
YP-25	12"	41.40'	1.00%
YP-26	12"	77.83'	0.50%
YP-27	12"	125.08'	0.50%
YP-28	12"	106.87'	0.50%
YP-29	12"	65.69'	1.07%
YP-30	12"	19.24'	10.40%
YP-31	12"	34.44'	5.81%
YP-32	12"	10.97'	21.14%
YP-33	12"	13.03'	18.18%
YP-34	12"	33.83'	7.27%
YP-35	12"	58.13'	1.00%
YP-36	12"	50.90'	4.03%
YP-37	12"	56.52'	4.65%
YP-38	12"	89.89'	0.50%
YP-39	12"	30.83'	0.50%
YP-40	12"	44.15'	0.92%
YP-41	12"	61.65'	3.96%
YP-42	15"	51.95'	1.44%
YP-43	12"	72.60'	1.00%
YP-44	12"	42.29'	7.48%

YARD DRAIN NOTES:
 1. ALL YARD DRAINS TO BE 15" GRATES.
 2. ALL YARD DRAIN PIPES TO BE 12" HDPE.
 3. ALL YARD DRAINS IN MULCHING AREAS TO HAVE DOMED GRATES.

HATCH LEGEND	
	PAVEMENT
	BUILDING
	RAILROAD EASEMENT
	SIDEWALK



STORMWATER POLLUTION PREVENTION NOTES:

1. THE CONTRACTOR SHALL EXECUTE ALL MEASURES NECESSARY TO LIMIT THE TRANSPORT OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT TO THE VOLUME AND AMOUNT THAT ARE EXISTING PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THIS CONDITION WILL BE SATISFIED FOR THE TOTAL ANTICIPATED CONSTRUCTION PERIOD. PROVISION MUST BE MADE TO PRESERVE THE INTEGRITY OF GRADING PATTERNS, ETC. REQUIRED TO MEET THIS PROVISION THROUGHOUT THE LIFE OF THE CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE SILT BARRIERS, TEMPORARY GRASSING, ETC. AS REQUIRED TO FULLY COMPLY WITH THE INTENT OF THIS SPECIFICATION.
2. NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE OR INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY.
3. THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL BE CONTROLLED, SO THAT THIS OPERATION WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.
4. INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT LADEN STORMWATER RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
5. AREAS OPENED BY CONSTRUCTION OPERATIONS THAT ARE NOT ANTICIPATED TO BE DRESSED OR RECEIVE FINAL GRASSING TREATMENT WITHIN THIRTY DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER, DURING THE SEASON IN WHICH IT IS PLANTED. TEMPORARY SEEDING SHALL BE CONTROLLED SO AS TO NOT ALTER OR COMPETE WITH PERMANENT GRASSING. THE RATE OF SEEDING SHALL BE 30 POUNDS PER ACRE.
6. THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED AS REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER.
7. IF AFTER 14 DAYS, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75% GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED TO ESTABLISH THE DESIRED VEGETATION COVER.
8. ALL FEATURES OF THE PROJECT SHALL BE CONSTRUCTED TO PREVENT EROSION AND SEDIMENTATION AND SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION PROPERLY WITHOUT THE TRANSPORT OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT.
9. ALL DISTURBED AREAS OUTSIDE THE EXCAVATION AND FILL LIMITS WILL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THEIR CONDITION PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL NEWLY PLANTED GRASSES OR VEGETATION AND RETENTION/DETENTION FACILITIES UNTIL THE WORK HAS BEEN ACCEPTED BY THE CITY.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF EMBANKMENTS AND SHALL REPLACE ANY PORTION, WHICH IN THE OPINION OF THE ENGINEER, HAS BECOME DISPLACED DUE TO EROSION OR DUE TO CARELESSNESS OR NEGLIGENCE ON THE PART OF THE CONTRACTOR.
12. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS CONTROLLING POLLUTION OF THE ENVIRONMENT. MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO CONTROL EROSION AND SEDIMENT RUNOFF FROM THE SITE DURING CONSTRUCTION. SUCH METHODS SHALL BE IN ACCORDANCE WITH CURRENT FDOT AND CITY OF LONGWOOD STANDARDS.
13. ABSOLUTELY NO WORK WILL BE ALLOWED WITHIN ANY CONSERVATION AREA, BUFFER AREA, MITIGATION AREA OR DESIGNATED WETLAND AREA UNLESS SO SPECIFICALLY DESCRIBED BY THE PLANS AND GRANTED BY REASON OF PERMIT FROM THE GOVERNMENTAL ENTITY HAVING JURISDICTION OVER SAID AREA.
14. PRIOR TO CLEARING AND GRUBBING, THE LIMITS OF WETLANDS, BUFFERS WETLANDS, BUFFERS AND MITIGATION AREAS SHALL BE CLEARLY MARKED ALONG THE PROPOSED RIGHT OF WAY LINE TO PROTECT THESE AREAS FROM ENCRoACHMENT FROM CONSTRUCTION ACTIVITIES.
15. ALL FILL EMBANKMENT AND GRADED AREAS SHALL BE PROTECTED AGAINST EROSION BY METHODS STATED IN SECTION 104. STANDARD SPECIFICATIONS FOR BRIDGE AND ROAD CONSTRUCTION. SIDE SLOPE MAY BE SEED AND MULCHED, PROVIDED THAT THE MULCH MATERIAL IS DISC HARROWED AND THE SIDE SLOPES ARE NEITHER GREATER THAN 3:1 NOR PART OF A DRAINAGE CONVEYANCE.
16. REFER TO POND DETAIL SHEETS FOR EROSION CONTROL MEASURES AT POND OUTFALLS.
17. EROSION CONTROL AT ALL INLET DRAINAGE STRUCTURES DURING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL MANUAL, LATEST EDITION.
18. INSPECTIONS ON EROSION CONTROL MEASURES WILL BE PERFORMED BY THE CONTRACTOR ONCE PER WEEK AND WITHIN 24 HOURS AFTER 1/4 INCH OF RAINFALL. THE INSPECTIONS MUST BE LOGGED BY THE CONTRACTOR AND KEPT WITH THE APPROVED PLANS AND SWPPP.
19. GRAVEL CONSTRUCTION ENTRANCES SHALL BE PROVIDED TO MINIMIZE EXPORT OF ON-SITE DIRT. IF GRAVEL IS NOT ALLOWED, THE CONSTRUCTION ENTRANCES SHALL BE SWEEP PERIODICALLY AND LOGGED BY THE CONTRACTOR.
20. EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED TO MEET THE MINIMUM REQUIREMENTS DETAILED IN THE 2013 STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL.

EROSION CONTROL:

THE CONTRACTOR SHALL PERFORM EROSION CONTROL MEASURES IN ACCORDANCE WITH FDEP, SJRWMD, AND CITY OF WINTER GARDEN REGULATIONS, AS WELL AS THE FOLLOWING NOTES AND AS DIRECTED BY THE ENGINEER.

- A. TEMPORARY EROSION CONTROL**
1. STOCKPILING MATERIAL - NO EXCAVATING MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE OR INTO ANY ADJACENT WATERBODY OR STORMWATER COLLECTION FACILITY.
 2. INLET PROTECTION - INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF DIRECTLY OFF THE PROJECT SITE OR INTO ANY ADJACENT WATERBODY OR STORMWATER COLLECTION FACILITY.
 3. TEMPORARY SEEDING / STRIP SODDING - AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN THIRTY DAYS SHALL BE STRIP-SODDED ALONG ALL DEDICATED ROWS. THIS WILL PREVENT SEDIMENT RUNOFF FROM INDIVIDUAL LOTS INTO THE ROW AND DRAINAGE SYSTEMS, AND WILL NOT LATER COMPETE WITH THE PERMANENT LOT GRASSING.
 4. TEMPORARY SEEDING AND MULCHING - SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN NOTE 3 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA TO A DEPTH OF 4 INCHES.
 5. TEMPORARY GRASSING - THE SEEDED OR THE SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED AS REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER.
 6. TEMPORARY REGRASSING - IF AFTER FOURTEEN DAYS, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75% GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATION COVER.
 7. THE CONTRACTOR SHALL PLACE SYNTHETIC HAY BALES AROUND ALL EXISTING AND NEWLY CONSTRUCTED INLETS TO CONTROL EROSION DURING CONSTRUCTION.
 8. MAINTENANCE - ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.
- B. PERMANENT EROSION CONTROL**
- THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON OFF-SITE FACILITIES. ALL STORMWATER DISCHARGE FROM THE PROJECT LIMITS SHALL BE ROUTED THROUGH DETENTION BASINS TO TRAP SUSPENDED SEDIMENTS AND DISCHARGE FACILITIES FROM THESE BASINS SHALL BE PROVIDED WITH A SKIMMER DEVICE TO TRAP FLOATABLE DEBRIS.
1. PERMANENT SEEDING - ALL AREAS WHICH HAVE BEEN DISTURBED BY THE CONSTRUCTION WILL, AS A MINIMUM, BE FERTILIZED AND SEEDED.
 2. PERMANENT SEEDING AND MULCHING - SLOPES OF 6:1 TO 4:1 INCLUSIVE WILL BE MULCHED WITH A UNIFORM THICKNESS OF APPROXIMATELY TWO INCHES, LOOSE MEASURE, OF MULCH MATERIAL INCORPORATED INTO THE SOIL BY MIXING TO A DEPTH OF FOUR INCHES.
 3. PERMANENT SODDING - ALL RETENTION/DETENTION BASINS SHALL BE SODDED WITHIN THEIR LIMITS. ALL EXPOSED AREAS WITHIN PUBLIC RIGHTS-OF-WAY WILL BE SOLID SODDED. OTHER AREAS WITH SLOPES STEEPER THAN 4:1 WILL BE SODDED.
 4. STRIP SODDING - STRIP SOD SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENTS.
 5. REGRASSING - ALL GRASSED AREAS WILL BE MAINTAINED TO ASSURE A GOOD STAND AND SUFFICIENT GROUND COVER TO MINIMIZE EROSION. IF, AFTER 60 DAYS AN ADEQUATE GROUND COVER HAS NOT BEEN ESTABLISHED, THE AREA WILL BE REGRASSING.
 6. ADDITIONAL FERTILIZATION - GRASSED AREAS NOT ACCEPTED WITHIN 90 DAYS OF THEIR COMPLETION SHALL BE FERTILIZED.
 7. FOR ADDITIONAL SODDING REQUIREMENTS, REFER TO THE LANDSCAPE PLANS.
 8. FERTILIZATION TO COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS.

CERTIFICATION FOR CONTRACTORS AND SUB-CONTRACTORS

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND TERMS AND CONDITIONS OF THE GENERIC STORMWATER PERMIT ISSUED PURSUANT TO SECTION 403.0885, F.S., THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

NAME: _____ SIGNATURE: _____ DATE: _____
 ADDRESS: _____ TELEPHONE: _____

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND TERMS AND CONDITIONS OF THE GENERIC STORMWATER PERMIT ISSUED PURSUANT TO SECTION 403.0885, F.S., THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

NAME: _____ SIGNATURE: _____ DATE: _____
 ADDRESS: _____ TELEPHONE: _____

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND TERMS AND CONDITIONS OF THE GENERIC STORMWATER PERMIT ISSUED PURSUANT TO SECTION 403.0885, F.S., THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

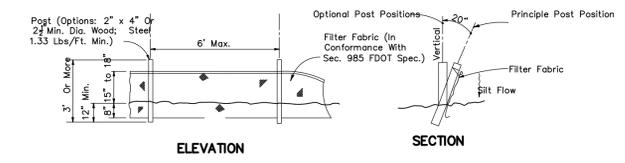
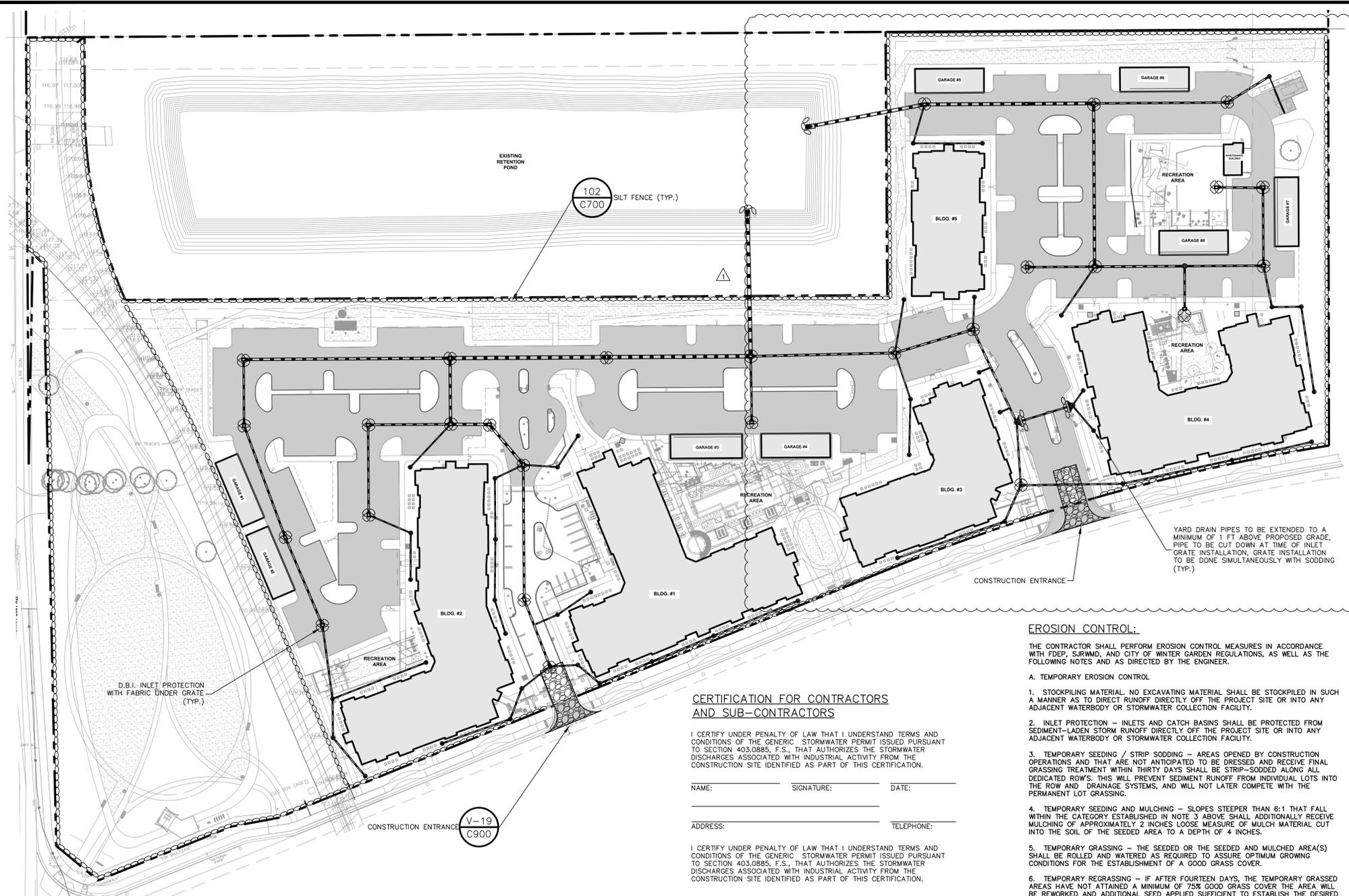
NAME: _____ SIGNATURE: _____ DATE: _____
 ADDRESS: _____ TELEPHONE: _____

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND TERMS AND CONDITIONS OF THE GENERIC STORMWATER PERMIT ISSUED PURSUANT TO SECTION 403.0885, F.S., THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

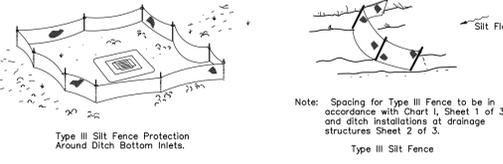
NAME: _____ SIGNATURE: _____ DATE: _____
 ADDRESS: _____ TELEPHONE: _____

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND TERMS AND CONDITIONS OF THE GENERIC STORMWATER PERMIT ISSUED PURSUANT TO SECTION 403.0885, F.S., THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

NAME: _____ SIGNATURE: _____ DATE: _____
 ADDRESS: _____ TELEPHONE: _____



TYPE III SILT FENCE



SILT FENCE APPLICATIONS

- NOTES:
 1. HAY OR STRAW BALES ARE PROHIBITED.

102 SILT FENCES
 - N.T.S.

MADDEN
 MOORHEAD & STOKES, INC.
 CIVIL ENGINEERS
 431 E. Horatio Avenue
 Suite 260
 Maitland, Florida 32751
 (407) 629-8330

EROSION CONTROL PLAN
 FOR
ALTA CROWN POINT
 CITY OF WINTER GARDEN, FLORIDA

CLIENT:
 WIP SOUTH ACQUISITIONS, L.L.C.
 636 W. YALE STREET
 ORLANDO, FL 32804
 (407) 892-2516

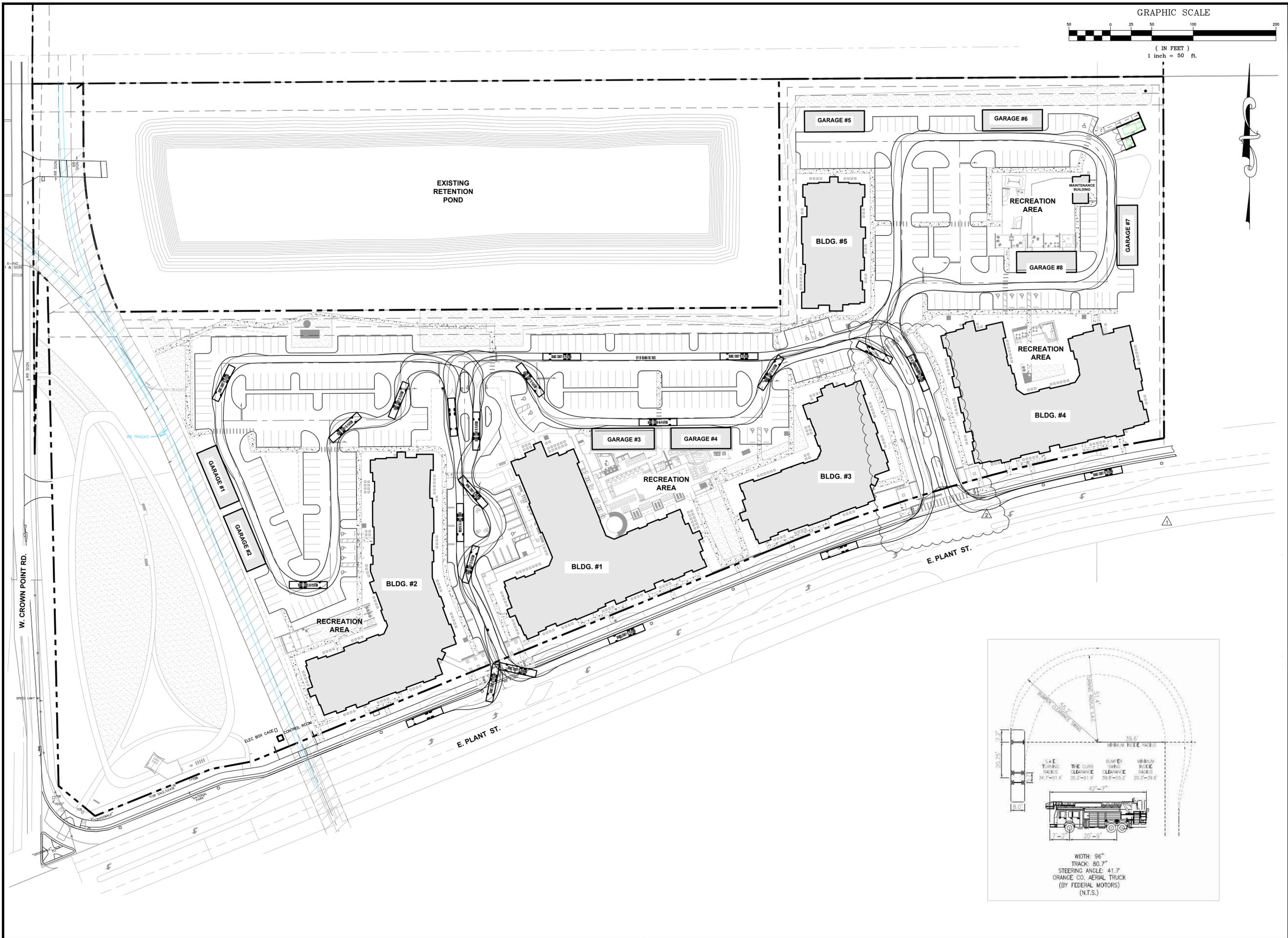
ENGINEER: DAVID W. STOKES, No. 66527
 LICENSE # 66527
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 CERTIFICATE OF AUTHORIZATION NO. EP-0007723

NO.	DATE	REVISIONS
1	10/27/19	REVISED SITE LAYOUT

JOB # 18053
 DATE: 06/20/2019
 SCALE: 1"=60'
 DESIGNED BY: DAS
 DRAWN BY: DAS
 APPROVED BY: DAS

C-700

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GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.



MADDEN
MOORHEAD & STOKES, INC.
CIVIL ENGINEERS
431 E. Horatio Avenue
Suite 260
Maitland, Florida 32751
(407) 629-8330

FOR
VEHICLE CIRCULATION PLAN
ALTA CROWN POINT
CITY OF WINTER GARDEN
FLORIDA

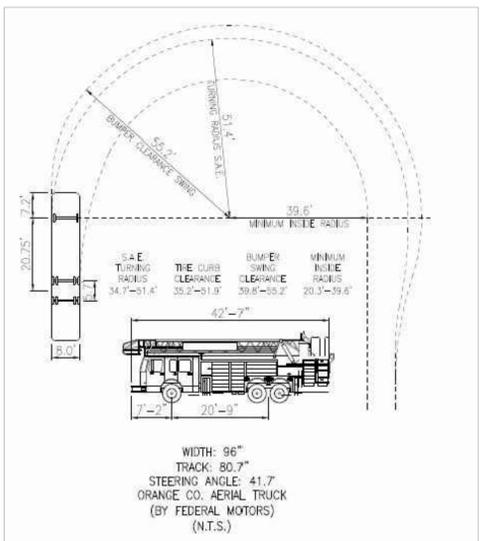
CLIENT:
WP SOUTH ACQUISITIONS, L.L.C.
636 W. YALE STREET
ORLANDO, FL 32804
(407) 982-2516



NO.	REVISION	DATE
1	ISSUED FOR PERMIT	06/20/2019
2	REVISED ENTRY AREA	06/20/2019
3		
4		
5		
6		
7		
8		
9		
10		
11		

JOB # 18053
DATE: 06/20/2019
SCALE: 1"=50'
DESIGNED BY: DAS
DRAWN BY: DAS
APPROVED BY: DAS

C-800



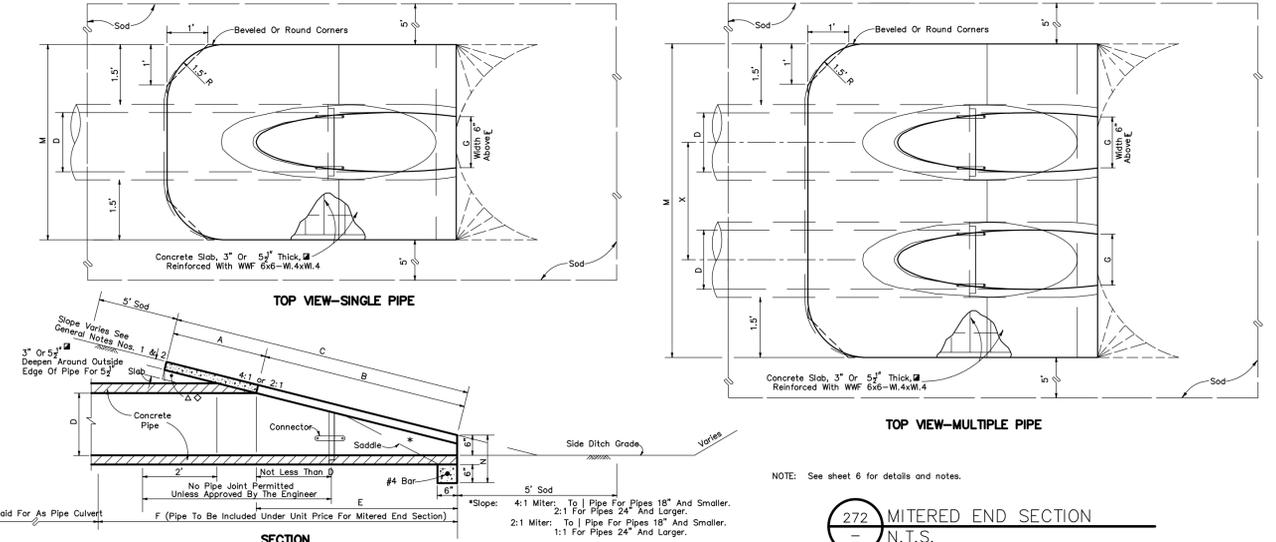
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SLOPE	DIMENSIONS AND QUANTITIES										5" CONCRETE SLAB (CY)		SODDING (SQ. YDS.)								
	D	X	A	B	C	E	F	G	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe					
2:1 Slope	15'	2'-7"	1'-9"	2'-18"	4'-10"	2'-08"	8'	1'-22"	4.63	7.21	9.79	12.37	1.19	0.38	0.58	0.77	0.96	21	24	27	30
	18'	2'-10"	1'-9"	2'-7"	4'-7"	2'-08"	8'	1'-41"	4.92	7.50	10.08	12.66	1.21	0.44	0.65	0.87	1.09	22	25	28	31
	24'	3'-4"	2'-5"	3'-8"	5'-10"	2'-08"	8'	1'-24"	5.20	7.78	10.36	12.94	1.24	0.47	0.69	0.92	1.15	23	26	29	32
	30'	4'-3"	2'-5"	4'-8"	7'-10"	2'-08"	8'	1'-20"	6.09	8.67	11.25	13.83	1.29	0.52	0.74	0.97	1.20	24	27	30	33
	36'	5'-2"	2'-5"	5'-7"	9'-10"	2'-08"	8'	1'-16"	6.98	9.56	12.14	14.72	1.34	0.57	0.79	1.02	1.25	25	28	31	34
	42'	6'-1"	2'-5"	6'-6"	11'-10"	2'-08"	8'	1'-12"	7.87	10.45	13.03	15.61	1.39	0.62	0.84	1.07	1.30	26	29	32	35
	48'	7'-0"	2'-5"	7'-5"	13'-0"	2'-08"	8'	1'-8"	8.76	11.34	13.92	16.50	1.44	0.67	0.89	1.12	1.35	27	30	33	36
	54'	7'-8"	2'-5"	8'-3"	14'-0"	2'-08"	8'	1'-4"	9.65	12.23	14.81	17.39	1.49	0.72	0.94	1.17	1.40	28	31	34	37
	60'	8'-6"	2'-5"	9'-1"	15'-0"	2'-08"	8'	1'-0"	10.54	13.12	15.70	18.28	1.54	0.77	0.99	1.22	1.45	29	32	35	38
	66'	9'-5"	2'-5"	9'-11"	16'-0"	2'-08"	8'	1'-0"	11.43	14.01	16.59	19.17	1.59	0.82	1.04	1.27	1.50	30	33	36	39
4:1 Slope	15'	2'-7"	2'-27"	4'-09"	6'-36"	4'-03"	8'	1'-22"	4.63	7.21	9.79	12.37	1.19	0.37	0.57	0.77	0.96	21	24	27	30
	18'	2'-10"	2'-25"	3'-7"	5'-4"	3'-03"	8'	1'-41"	4.92	7.50	10.08	12.66	1.21	0.38	0.58	0.77	0.96	22	25	28	31
	24'	3'-4"	2'-25"	4'-18"	7'-4"	3'-03"	8'	1'-24"	5.20	7.78	10.36	12.94	1.24	0.40	0.60	0.80	1.00	23	26	29	32
	30'	4'-3"	2'-20"	5'-18"	8'-0"	3'-03"	8'	1'-20"	6.09	8.67	11.25	13.83	1.29	0.43	0.63	0.83	1.03	24	27	30	33
	36'	5'-2"	2'-20"	6'-18"	9'-0"	3'-03"	8'	1'-16"	6.98	9.56	12.14	14.72	1.34	0.46	0.66	0.86	1.06	25	28	31	34
	42'	6'-1"	2'-20"	7'-18"	10'-0"	3'-03"	8'	1'-12"	7.87	10.45	13.03	15.61	1.39	0.49	0.69	0.89	1.09	26	29	32	35
	48'	7'-0"	2'-20"	8'-18"	11'-0"	3'-03"	8'	1'-8"	8.76	11.34	13.92	16.50	1.44	0.52	0.72	0.92	1.12	27	30	33	36
	54'	7'-8"	2'-20"	9'-18"	12'-0"	3'-03"	8'	1'-4"	9.65	12.23	14.81	17.39	1.49	0.55	0.75	0.95	1.15	28	31	34	37
	60'	8'-6"	2'-20"	10'-18"	13'-0"	3'-03"	8'	1'-0"	10.54	13.12	15.70	18.28	1.54	0.58	0.78	0.98	1.18	29	32	35	38
	66'	9'-5"	2'-20"	11'-18"	14'-0"	3'-03"	8'	1'-0"	11.43	14.01	16.59	19.17	1.59	0.61	0.81	1.01	1.21	30	33	36	39

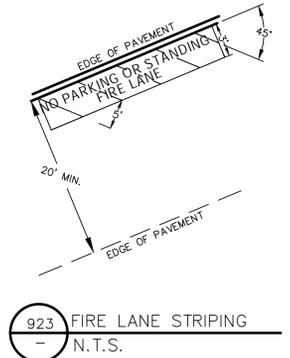
See General Note No. 3.
See Sheet 5 Of 6 For 3" Slab Quantities

B E 6.25' Dimensions permitted to allow use of 8' standard pipe lengths.
 Δ 6.42' Δ 6.25' Dimensions permitted to allow use of 12' standard pipe lengths.
 Δ 10.40' Δ 10.10' Dimensions permitted to allow use of 12' standard pipe lengths.

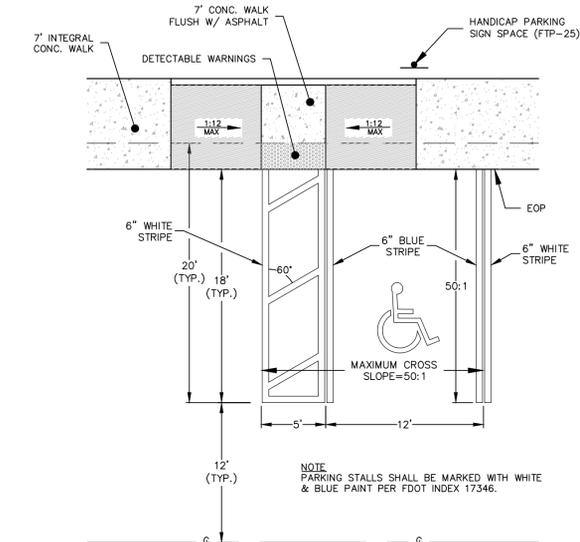
Concrete slab shall be deepened to form bridge across crown of pipe. See section below.



272 MITERED END SECTION
- N.T.S.

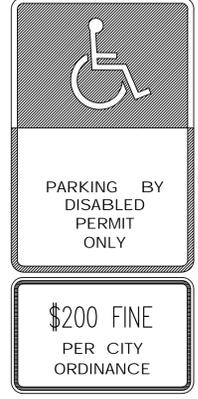


923 FIRE LANE STRIPING
- N.T.S.



- NOTE:
- ACCESSIBILITY:
 - IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, 4.1.3 SECTION (1), DATED OCT. 1997 AT LEAST ONE ACCESSIBLE ROUTE COMPLYING WITH 4.3 SHALL CONNECT ACCESSIBLE BUILDING OR FACILITY ENTRANCES WITH ALL ACCESSIBLE SPACES AND ELEMENTS WITHIN THE BUILDING OR FACILITY. DOORS ACCESSING THE BUILDING MUST BE DEPICTED ON SITE PLAN. RAMP DETAILS WITH SLOPE INFORMATION SHALL BE DEPICTED ON SITE PLAN.
 - THE LOCATION OF HANDICAPPED PARKING STALLS, LOADING ZONES, SIDEWALKS AND RAMPS ON SITE SHALL MEET CHAPTER 316.1955 OF THE FLORIDA ACCESSIBILITY CODE. RAMPS SHALL NOT EXCEED 12:1 SLOPES. PARKING SPACE AND AISLE SHALL NOT EXCEED 50:1 CROSS-SLOPE. (TLO 11-16-96) 12-11-96
 - ACCESSIBILITY:
 - ALL LETTERS SHALL BE BLACK AND SHALL CONFORM TO FDOT "DESIGN STANDARDS".
 - TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 - BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK BORDER.
 - ONE SIGN REQUIRED FOR EACH PARKING SPACE.
 - BOTTOM OF SIGN SHALL BE 7" ABOVE GROUND IN ACCORDANCE WITH FDOT "DESIGN STANDARDS".

818 HANDICAP RAMP AND PARKING STALL DETAIL
- N.T.S.



MADDEN
MOORHEAD & STOKES, INC.
CIVIL ENGINEERS
431 E. Horatio Avenue
Suite 260
Maitland, Florida 32751
(407) 629-8330

CONSTRUCTION DETAILS
FOR
ALTA CROWN POINT
FLORIDA
CITY OF WINTER GARDEN

CLIENT:
VP SOUTH ACQUISITIONS, L.L.C.
636 W. YALE STREET
ORLANDO, FL 32804
(407) 982-2516

NYLOPLAST INLINE DRAIN

INTEGRATED DUCTILE IRON FRAME & GRATE TO MATCH BASIN O.D.

MINIMUM PIPE BURIAL DEPTH PER PIPE MANUFACTURER RECOMMENDATION

TRAFFIC LOADS: CONCRETE SLAB REQUIRED FOR TRAFFIC APPLICATIONS

INVERT ACCORDING TO PLANS/TAKE OFF

VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE: 4" - 30" FOR CORRUGATED HDPE; (ADS N-12, ADS SINGLE WALL, HANCOCK DUAL WALL), SDR 35, SCH 40 DWV, CORRUGATED & RIBBED PVC.

WATERTIGHT JOINT (CORRUGATED HDPE SHOWN)

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS II MATERIAL AS DEFINED IN ASTM D2222. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2221.

1 - 30" GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE 15" BRONZE GRATES.

2 - 30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.

3 - DRAINAGE CONNECTION STRIP JOINT TIGHTNESS SHALL CONFORM TO ASTM D2222 FOR CORRUGATED HDPE ADS & HANCOCK DUAL WALL SDR 35 PVC.

4 - GRATES SHALL MEET A 10' LOAD RATING FOR 12" - 24" PFD.

5 - GRATES SHALL MEET A 30' LOAD RATING FOR 30" PFD 12" - 30" STD. A SOLID

6 - ALL BRONZE GRATES, DROP IN GRATES, & 18" PFD GRATES & SOLID COVERS ARE RATED FOR LIGHT DUTY APPLICATIONS ONLY.

7 - DOME GRATES HAVE NO LOAD RATING.

DRAWN BY/ECB MATERIAL
DATE 1-23-06
APPD BY CJA PROJECT NO./NAME
DATE 1-23-06
DWG SIZE A SCALE 1:40 SHEET 1 OF 1 DWG NO. 7003-110-022 REV D

3130 VERONA AVE
ROSELAND, GA 30088
PH (770) 832-2443
FAX (770) 832-2480
www.nyloplast-us.com

Nyloplast
TITLE
INLINE DRAIN WITH STANDARD GRATE
QUICK SPEED INSTALLATION DETAIL

1599CGS
APPROX. DRAIN AREA = 92.70 SQ IN
APPROX. WEIGHT WITH FRAME = 59.62 LBS

HINGED GRATE FOR EASY ACCESS

ALL DIMENSIONS IN INCHES UNLESS NOTED OTHERWISE.
GRATE MEETS H-30 LOAD RATING.
QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05.
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT.
LOCKING DEVICE AVAILABLE UPON REQUEST SEE DRAWING NO. 7001-110-032.

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH THE INVENTOR HAS A PROPRIETARY INTEREST. THE INVENTOR HEREBY AGREES TO ASSIGN TO THE COMPANY OR TRANSFER OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN.
REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, IN WHOLE OR IN PART, OR FOR ANY PURPOSE, WITHOUT THE WRITTEN PERMISSION OF THE COMPANY IS FORBIDDEN, EXCEPT BY EXPRESS WRITTEN PERMISSION FROM THE COMPANY.

DRAWN BY/ECB MATERIAL
DATE 3-7-06
APPD BY CJA PROJECT NO./NAME
DATE 3-7-06
DWG SIZE A SCALE 1:8 SHEET 1 OF 1 DWG NO. 7001-110-208 REV B

3130 VERONA AVE
ROSELAND, GA 30088
PH (770) 832-2443
FAX (770) 832-2480
www.nyloplast-us.com

Nyloplast
TITLE
15 IN STANDARD GRATE ASSEMBLY

1599CGD
APPROX. DRAIN AREA = 115.49 SQ IN
APPROX. WEIGHT WITH FRAME = 47.30 LBS

ALL DIMENSIONS IN INCHES UNLESS NOTED OTHERWISE.
QUALITY: MATERIAL SHALL CONFORM TO ASTM A536 GRADE 70-50-05.
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT.
LOCKING DEVICE AVAILABLE UPON REQUEST SEE DRAWING NO. 7001-110-210.

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH THE INVENTOR HAS A PROPRIETARY INTEREST. THE INVENTOR HEREBY AGREES TO ASSIGN TO THE COMPANY OR TRANSFER OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN.
REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, IN WHOLE OR IN PART, OR FOR ANY PURPOSE, WITHOUT THE WRITTEN PERMISSION OF THE COMPANY IS FORBIDDEN, EXCEPT BY EXPRESS WRITTEN PERMISSION FROM THE COMPANY.

DRAWN BY/ECB MATERIAL
DATE 3-7-06
APPD BY CJA PROJECT NO./NAME
DATE 3-7-06
DWG SIZE A SCALE 1:8 SHEET 1 OF 1 DWG NO. 7001-110-211 REV B

3130 VERONA AVE
ROSELAND, GA 30088
PH (770) 832-2443
FAX (770) 832-2480
www.nyloplast-us.com

Nyloplast
TITLE
15 IN DOME GRATE ASSEMBLY

NOTE: 1. STANDARD 12" GRATE FOR PAVED AND GRASSED AREAS ONLY, 12" DOME GRATE TO BE USED FOR ALL OTHER APPLICATIONS. 2. ALL INLET GRATES TO BE CHAINED DOWN

985 YARD DRAIN DETAIL
- N.T.S.

ENGINEER
DAVID W. STOKES, P.E.
No. 68827
STATE OF FLORIDA
PROFESSIONAL ENGINEER
DAVID W. STOKES, P.E. #66527
CERTIFICATE OF AUTHORIZATION NO. EP-0007723

NO.	DATE	REVISIONS

JOB # 18053
DATE: 06/20/2019
SCALE: N. T. S.
DESIGNED BY: DAS
DRAWN BY: DAS
APPROVED BY: DAS

C-902

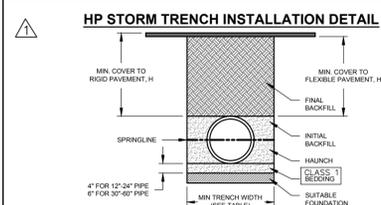


TABLE 1. RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM. (in.)	MIN. TRENCH WIDTH (in.)
12	18
15	21
18	24
24	30
30	36
36	42
42	48
48	54
60	66

TABLE 2. MINIMUM RECOMMENDED COVER BASED ON SURFACE LIVE LOADING CONDITION

PIPE DIAM. (in.)	H-20	HEAVY CONSTRUCTION (75% AXLE LOAD)
12	12	12
15	15	15
18	18	18
24	24	24
30	30	30
36	36	36
42	42	42
48	48	48
60	60	60

TABLE 3. MAXIMUM COVER FOR ADS HP STORM PIPE

PIPE DIA. (in.)	CLASS I		CLASS II		CLASS III		CLASS IV	
	95%	90%	85%	80%	75%	70%	65%	60%
12	12	12	12	12	12	12	12	12
15	15	15	15	15	15	15	15	15
18	18	18	18	18	18	18	18	18
24	24	24	24	24	24	24	24	24
30	30	30	30	30	30	30	30	30
36	36	36	36	36	36	36	36	36
42	42	42	42	42	42	42	42	42
48	48	48	48	48	48	48	48	48
60	60	60	60	60	60	60	60	60

NOTES:

- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR GROUND AND OTHER GRAVITY FLOW APPLICATIONS". LATEST EDITION WITH THE EXCEPTION THAT THE INITIAL BACKFILL MAY EXTEND TO THE CROWN OF THE PIPE. SOIL CLASSIFICATIONS ARE PER THE LATEST VERSION OF ASTM D2321. CLASS IV MATERIALS (SILT OR AS DEFINED IN PREVIOUS VERSIONS OF ASTM D2321) ARE NOT APPROPRIATE BACKFILL MATERIALS.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL WHEN REQUIRED.
- FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING:** SUITABLE MATERIAL SHALL BE CLASS I, II, III, OR IV IN THE PIPE ZONE EXTENDING TO THE CROWN OF THE PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. COMPACTION SHALL BE SPECIFIED BY THE ENGINEER IN ACCORDANCE WITH TABLE 3 FOR THE APPLICABLE LIVE HEIGHTS LISTED. PLEASE NOTE CLASS IV MATERIAL HAS LIMITED APPLICATION AND CAN BE DEFLECTED TO PLACE AND COMPACT. USE ONLY WITH THE APPROVAL OF A SOIL EXPERT.
- INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I, II, III, OR IV IN THE PIPE ZONE EXTENDING TO THE CROWN OF THE PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. COMPACTION SHALL BE SPECIFIED BY THE ENGINEER IN ACCORDANCE WITH TABLE 3 FOR THE APPLICABLE LIVE HEIGHTS LISTED. PLEASE NOTE CLASS IV MATERIAL HAS LIMITED APPLICATION AND CAN BE DEFLECTED TO PLACE AND COMPACT. USE ONLY WITH THE APPROVAL OF A SOIL EXPERT.
- MINIMUM COVER:** MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" (300mm) FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, CLASS I OR MATERIAL COMPACTED TO 90% SPD AND CLASS II COMPACTED TO 90% SPD IS REQUIRED. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" (300mm) UP TO 48" (1200mm) DIAMETER PIPE AND 24" (600mm) OF COVER FOR 60" (1500mm) DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
- FOR ADDITIONAL INFORMATION SEE TECHNICAL NOTE 2.04.

CLASSES OF EMBEDMENT AND BACKFILL MATERIALS

CLASSIFICATION	DESCRIPTION	PERFORMANCE RATING	COEFFICIENT
1	CLASS I ONLY TO BE USED FOR THIS PROJECT		
2	CLASS II		
3	CLASS III		
4	CLASS IV		

ADS HP STORM 12" - 60" PIPE SPECIFICATION

Scope
This specification describes 12- through 60-inch (300 to 1500 mm) ADS HP Storm pipe for use in gravity-flow storm drainage applications.

Pipe Requirements
ADS HP Storm pipe shall have a smooth interior and annular exterior corrugations.

- 12- through 60-inch (300 to 1500 mm) pipe shall meet ASTM F2881 or AASHTO M330
- Manning's "n" value for use in design shall be 0.012

Joint Performance
Pipe shall be joined using a bell & spigot joint meeting the requirements of ASTM F2881 or AASHTO M330. The joint shall be watertight according to the requirements of ASTM D3212. Gaskets shall meet the requirements of ASTM F477. Gasket shall be installed by the pipe manufacturer and covered with a removable, protective wrap to ensure the gasket is free from debris. A joint lubricant available from the manufacturer shall be used on the gasket and bell during assembly. 12- through 60-inch (300 to 1500 mm) diameters shall have an exterior bell wrap installed by the manufacturer.

Fittings
Fittings shall conform to ASTM F2881 or AASHTO M330. Bell and spigot connections shall utilize a welded or integral bell and valley or inline gaskets meeting the watertight joint performance requirements of ASTM D3212.

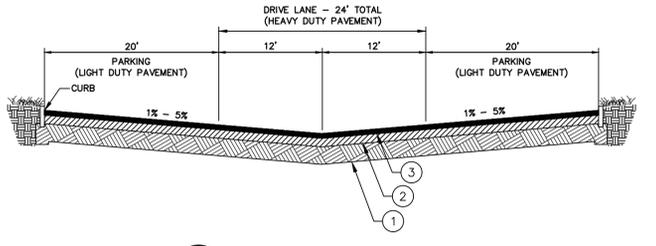
Field Pipe and Joint Performance
To assure watertightness, field performance verification may be accomplished by testing in accordance with ASTM F1417 or ASTM F2487. Appropriate safety precautions must be used when field-testing any pipe material. Contact the manufacturer for recommended leakage rates.

Material Properties
Polypropylene compound for pipe and fitting production shall be impact modified copolymer meeting the material requirements of ASTM F2881, Section 5 and AASHTO M330, Section 6.1.

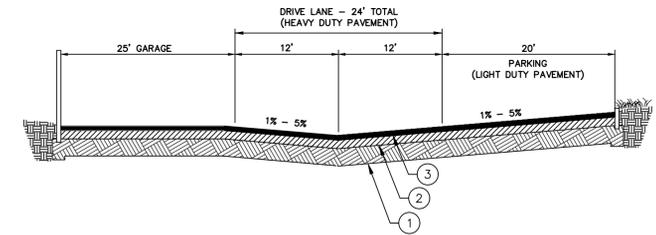
Installation
Installation shall be in accordance with ASTM D2321 and ADS recommended installation guidelines, with the exception that minimum cover in traffic areas for 12- through 48-inch (300 to 1200 mm) diameters shall be one foot (0.3 m) and for 60-inch (1500 mm) diameter the minimum cover shall be 2 ft. (0.6 m) in single run applications. Backfill for minimum cover situations shall consist of Class I (compact), Class 2 (minimum 90% SPD), or Class 3 (minimum 95% material). Maximum fill heights depend on embedment material and compaction level; please refer to Technical Note 2.04. Contact your local ADS representative or visit our website at www.ads-pipe.com for a copy of the latest installation guidelines.

Pipe Dimensions

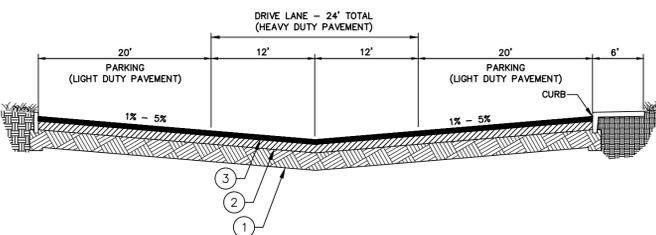
Normal Pipe I.D. (in.)	12	15	18	24	30	36	42	48	60
Average Pipe I.D. (in.)	12.2	15.1	18.2	24.1	30.2	36.0	42.0	47.9	59.9
Average Pipe O.D. (in.)	14.5	17.7	21.4	28.0	35.5	41.5	47.4	54.1	67.1
Minimum Pipe Stiffness* (@ 5% Deflection) (in./in. (kN/m ²))	75	60	48	40	35	30	25	20	15



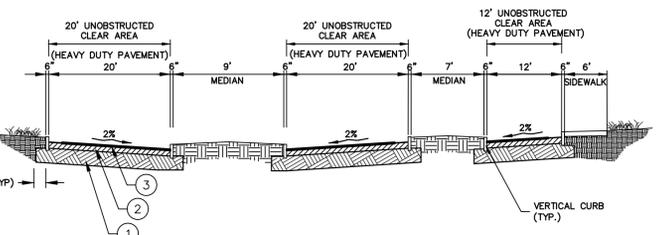
1 TYPICAL PARKING SECTION N.T.S.



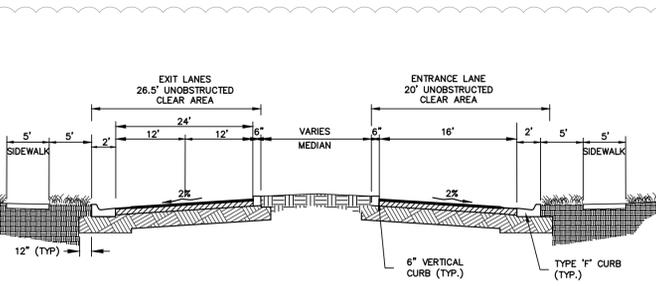
2 TYPICAL PARKING SECTION N.T.S.



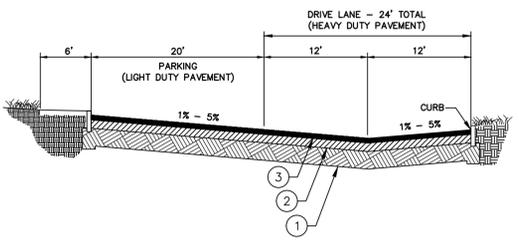
3 TYPICAL PARKING SECTION N.T.S.



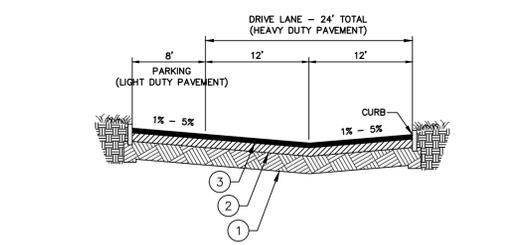
4 DIVIDED ENTRANCE SECTION N.T.S.



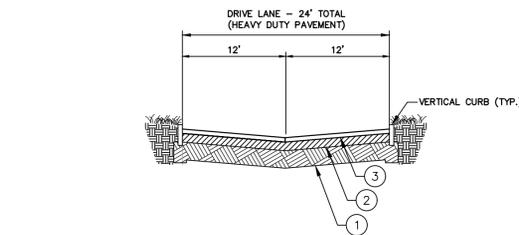
5 DIVIDED ENTRANCE SECTION N.T.S.



6 TYPICAL PARKING SECTION N.T.S.



7 TYPICAL PARKING SECTION N.T.S.



8 ENTRANCE SECTION N.T.S.

PAVEMENT SECTION

- 12" STABILIZED SUBGRADE COMPACTED TO 98% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY WITH A MINIMUM LBR OF 40. SUBGRADE MATERIAL SHALL BE CLEAR OF ORGANIC MATERIAL.
- 8" RECYCLED CONCRETE AGGREGATE (RCA) BASE COMPACTED TO 98% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY WITH A MINIMUM LBR OF 100. RCA MATERIAL SHALL BE SOURCED FROM AN FDOT APPROVED SUPPLIER AND COMPLY WITH THE GRADATION REQUIREMENTS LISTED IN THE LATEST EDITION OF FDOT ROAD & BRIDGE CONSTRUCTION SPECIFICATIONS.
- DRIVE LANES - 2" TYPE SP 9.5 ASPHALTIC CONCRETE COMPACTED TO 93% OF MAXIMUM DENSITY, MAY BE INSTALLED IN 2 LIFTS
PARKING STALLS - 1.5" TYPE SP 9.5 ASPHALTIC CONCRETE COMPACTED TO 93% OF MAXIMUM DENSITY, MAY BE INSTALLED IN 2 LIFTS

PAVEMENT SPECIFICATIONS
N.T.S.

MADDEN
MOORHEAD & STOKES, INC.
CIVIL ENGINEERS
431 E. Horatio Avenue
Suite 260
Maitland, Florida 32751
(407) 629-8330

CONSTRUCTION DETAILS FOR
ALTA CROWN POINT
FLORIDA
CITY OF WINTER GARDEN

CLIENT:
WIP SOUTH ACQUISITIONS, L.L.C.
636 W. YALE STREET
ORLANDO, FL 32804
(407) 982-2516

STATE OF FLORIDA
ENGINEER'S LICENSE NO. 68627
DAVID W. STOKES, P.E.
CERTIFICATE OF REGISTRATION NO. EB-0007223

NO.	DATE	REVISIONS
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JOB # 18053
DATE: 06/20/2019
SCALE: N.T.S.
DESIGNED BY: DAS
DRAWN BY: DAS
APPROVED BY: DAS

C-903

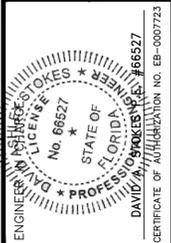
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MADDEN
MOORHEAD & STOKES, INC.
CIVIL ENGINEERS
431 E. Horatio Avenue
Suite 260
Maitland, Florida 32751
(407) 629-8330

CITY OF WINTER GARDEN
STANDARD DETAILS
FOR
ALTA CROWN POINT
CITY OF WINTER GARDEN, FLORIDA

CLIENT:
WIP SOUTH ACQUISITIONS, L.L.C.
636 W. YALE STREET
ORLANDO, FL 32804
(407) 882-2516



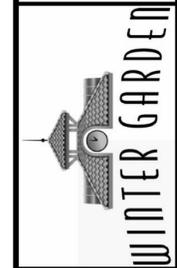
NO.	DATE	REVISIONS
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JOB # 18053
DATE: 06/20/2019
SCALE: N.T.S.
DESIGNED BY: DAS
DRAWN BY: DAS
APPROVED BY: DAS

C-910

ITEM	DATE	REVISIONS
1	4/4/14	General Notes
2	4/4/14	Revised Water & Sewer Notes

City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Utilities Construction



STANDARD DETAILS
FOR
UTILITIES SYSTEMS

DATE
JANUARY 2008
SHEET
1
1 OF 10

PROPOSED UTILITY	HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS								ACCEPTABLE VARIANCES		
	POTABLE WATER		RECLAIMED WATER		SANITARY SEWER (GRAVITY)		SANITARY SEWER (FORCEMAIN)			STORM WATER	
POTABLE WATER	-	-	3'	12"	6'	12"	6'	12"	3'	12"	SEE GENERAL NOTES, NO. 4 & 5
RECLAIMED WATER	3'	12"	-	-	3'	6" A	3'	12"	-	-	
SANITARY SEWER (GRAVITY)	6'	12"	3'	6" A	-	-	-	-	-	-	
SANITARY SEWER (FORCEMAIN)	6'	12"	3'	12"	-	-	-	-	-	-	

GENERAL NOTES:

- THE TABLE REPRESENTS THE MINIMUM SEPARATION REQUIREMENTS AS DESCRIBED IN F.D.E.P. RULES OF THE FLORIDA ADMINISTRATION CODE (F.A.C.), THESE SEPARATION REQUIREMENTS SHALL APPLY BETWEEN NEWLY PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES.
- FOR THE PURPOSE OF THIS TABLE, RECLAIMED WATER SHALL MEAN UNRESTRICTED PUBLIC ACCESS REUSE WATER AS DEFINED BY F.A.C. 162-610, CHAPTER III; OTHER TYPES OF RECLAIMED WATER ARE CONSIDERED RAW SEWER AND SEPARATIONS LISTED FOR SANITARY SEWER SHALL APPLY.
- ALL SEPARATION DISTANCES ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE UNLESS OTHERWISE SPECIFIED. CRITERION PRODUCING GREATER CLEARANCE SHALL BE USED.
 - A - DENOTES POTABLE WATER ABOVE RECLAIMED WATER, SANITARY SEWER OR STORM WATER, OR RECLAIMED WATER ABOVE SANITARY SEWER.
 - B - DENOTES POTABLE WATER BELOW RECLAIMED WATER, SANITARY SEWER OR STORM WATER, OR RECLAIMED WATER BELOW SANITARY SEWER.
- UTILITY SEPARATION - VERTICAL CLEARANCE MITIGATION
 - A. WHERE WATER AND GRAVITY SANITARY SEWER MAINS CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE OR THE SEWER MAIN IS ABOVE THE WATER MAIN, THE SANITARY SEWER WILL BE 20 FEET OF EITHER:
 - 1. DUCTILE IRON PIPE, CENTERED ON THE POINT OF CROSSING, OR;
 - 2. CONCRETE ENCASED VITRIFIED CLAY, OR;
 - 3. PVC PIPE UPGRADED TO WATER MAIN STANDARDS AND PRESSURE TESTED.
 - B. WHERE WATER MAINS AND STORM SEWER MAINS CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE, THE WATER MAIN SHALL BE 20 FEET OF DUCTILE IRON PIPE CENTERED ON THE POINT OF CROSSING.
 - C. SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE DEPARTMENT.
- UTILITY SEPARATION - HORIZONTAL SEPARATION MITIGATION
 - A. WHEN A WATER MAIN PARALLELS A GRAVITY SANITARY SEWER MAIN, A SEPARATION (MEASURED EDGE TO EDGE) OF AT LEAST SIX FEET SHOULD BE MAINTAINED, WHERE THIS SEPARATION IS NOT MET, ONE OF THE FOLLOWING MUST OCCUR:
 - 1. THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER, OR;
 - 2. IF BOTH SANITARY SEWER AND POTABLE WATER MAINS ARE PROPOSED AND THE ABOVE (1.) IS NOT MET, THE SANITARY SEWER PIPES SHALL BE UPGRADED TO THE EQUIVALENT PIPE MATERIAL AS THE WATER MAIN AND PRESSURE TESTED.
 - 3. IF THE SANITARY SEWER IS EXISTING AND THE POTABLE WATER MAIN IS PROPOSED, THE WATER MAIN SHALL, AT A MINIMUM, BE UPGRADED TO DUCTILE IRON PIPE, CONSTRUCTED IN SEPARATE TRENCHES, LAID AT A HIGHER ELEVATION THAN THE SANITARY SEWER, AND UTILIZE STAGGERED JOINTS.
 - B. SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE DEPARTMENT.
 - C. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY OR STORM WATER MANHOLE OR STRUCTURE.

CoWg RECLAIMED WATER SYSTEM GENERAL NOTES:

- ALL PRIVATE RECLAIMED WATER SYSTEMS SHALL HAVE A CITY APPROVED BACKFLOW DEVICE ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
- REPAIRS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO 10% OF THE TOTAL NUMBER OF JOINT CONNECTIONS.
- ALL MAINS AND SERVICE LATERALS SHALL BE HYDROSTATICALLY TESTED AT 150 PSI FOR A TWO HOUR PERIOD.
- WARNING TAPE, NON-DETECTABLE, SIZE 2" WITH "REUSE WATER LINE BELOW", MUST BE PLACED 8" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADER TEES, NUMBER 10 GAUGE TRACER WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH DUCT TAPE, AT LEAST FIVE TIMES PER JOINT, THE TRACER WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATOR CAN BE CONNECTED TO IT. THE CONTRACTOR SHALL DEMONSTRATE THE LOCATE WIRE TO BE IN WORKING CONDITION AT PROJECT COMPLETION.
- THE CONTRACTOR SHALL INSTALL RECLAIMED WATER MAINS PER MOSS/CoWg SOLVENT CEMENTED JOINTS AND THRUST BLOCKS SHALL NOT BE ALLOWED.
- REUSE WATER MAIN SHALL BE BURED TO A MINIMUM DEPTH OF 36" AND A MAXIMUM DEPTH 42" BELOW FINAL GRADE.
- SERVICE LATERALS MUST BE LOCATED A UNIFORM DISTANCE APART AND ALIGNED TO PROPERTY LOT LINE AT 90° FROM THE RECLAIMED WATERMAIN.
- CUSTOMER SERVICE LATERALS SHALL NOT BE SPLICED TOGETHER BETWEEN THE WATER MAIN AND CURB STOP.
- THE CONTRACTOR SHALL CUT CURB A "W" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED SQUARE (PURPLE), DIRECTLY IN FRONT OF EACH SERVICE LATERAL AND VALVE.
- THE CONTRACTOR SHALL SET DEPTH OF CURB STOP, IN METER BOX, 8" BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL INSTALL VALVE(S) IN MAIN, NO MORE THAN 1,000 FEET APART IN BETWEEN TEES AND CROSSES, VALVES SHALL BE PROVIDED AT EACH TEE OR CROSS LOCATED IN MAIN LINE.
- RECLAIMED WATER MAINS MAY BE LOCATED UNDER SIDEWALKS. RECLAIMED MAINS LOCATED UNDER PAVEMENT SHOULD BE MINIMIZED.
- ALL WATERMANS SHALL BE CLEANED BY PIGGING THE LINE WITH A FOAM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER JOINTING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PIGGING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
- RECLAIMED WATERMAIN MAINS SHALL BE 8 INCH DIAMETER MINIMUM, 4 INCH IS ALLOWED ON DEAD END RUNS SERVING LESS THAN 20 HOMES. THE DESIGN ENGINEER SHALL SUBMIT HYDRAULIC CALCULATIONS THAT DEMONSTRATE THE PROPOSED SYSTEM WILL PROVIDE REQUIRED FLOWS AND MAINTAIN SYSTEM ABOVE MINIMUM PRESSURE. PEAK IRRIGATION RATE SHALL BE SIX(6) TIMES GREATER THAN THE AVERAGE IRRIGATION RATE OF FLOW.
- RECLAIMED WATER SYSTEM COMPONENTS INCLUDING PIPE, VALVE BOX TOPS AND METER BOX TOPS SHALL BE RECLAIMED PURPLE IN COLOR.

CoWg - THRUST RESTRAINT TABLE

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)	PIPE SIZE								
	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	19	25	30	34	44	52	60	70	80
45° BEND	8	10	12	14	18	21	25	30	34
22-1/2° BEND	4	5	6	7	9	10	12	14	16
11-1/4° BEND	2	3	4	5	6	7	8	9	10
PLUG, DEAD END OR BRANCH OF TEE	40	52	63	72	93	111	130	155	178
VALVE	20	25	32	36	47	56	78	116	89

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)	PIPE SIZE								
	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	29	37	44	51	65	77	89	105	120
45° BEND	12	15	18	21	27	32	37	44	50
22-1/2° BEND	6	7	9	10	13	15	18	21	24
11-1/4° BEND	3	4	5	6	7	8	9	10	12
PLUG, DEAD END OR BRANCH OF TEE	59	77	93	108	138	166	194	231	265
VALVE	59	77	93	108	138	166	194	231	265

CoWg THRUST RESTRAINT NOTES:

- THE TABLES INDICATE MINIMUM LENGTHS OF RESTRAINED JOINTS ON EACH SIDE OF FITTINGS AND CHANGES IN DIRECTION. WHERE PRACTICAL, FULL LENGTHS OF RESTRAINED PIPE SHALL BE LAID TO ACHIEVE THE REQUIRED MINIMUM RESTRAINT.
- WHERE COMBINATIONS OF FITTINGS ARE USED, THE PIPING BETWEEN THE FITTINGS SHALL BE RESTRAINED. THE MINIMUM RESTRAINED LENGTH OF PIPE REQUIRED UPSTREAM AND DOWNSTREAM OF THE COMBINATION OF FITTINGS SHALL BE DETERMINED ON THE BASIS OF ONE EQUIVALENT FITTING (I.E., 2-45 DEGREE BENDS WILL BE CONSIDERED AS THOUGH A 90° BEND WERE LOCATED MIDWAY BETWEEN THE TWO 45° BENDS).
- FOR PIPE THAT IS ENCASED IN POLYETHYLENE, RESTRAINED JOINTS MINIMUM LENGTHS SHALL BE INCREASED BY 50 PERCENT.
- FOR FITTINGS OTHER THAN THOSE PRESENTED IN THE ABOVE TABLES, RESTRAINED JOINT LENGTHS SHALL BE DETERMINED IN ACCORDANCE WITH "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" BY THE DUCTILE IRON PIPE RESEARCH ASSOCIATION. RESTRAINED JOINT LENGTHS FOR A GIVEN PRESSURE RANGE SHALL BE BASED ON THE MAXIMUM PRESSURE FOR THE TEST PRESSURE RANGE, SM (SAND SILT) SOIL, 3-FEET DEPTH, LAYING CONDITION NO. 3 AND FACTOR OF SAFETY OF 1.5.
- IN-LINE VALVES: PROVIDE MECHANICAL RESTRAINT ON EACH SIDE OF THE VALVE.
- ALL RECLAIMED WATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 150 PSI. ALL WASTEWATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 100 PSI.

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:

THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

CoWg - WASTEWATER SYSTEM NOTES:

- SANITARY SEWER MAINS AND SERVICES SHALL BE PVC SDR-26 (MINIMUM). FITTINGS SHALL BE SDR-26. DUCTILE IRON IS NOT APPROVED FOR SANITARY SEWERS.
- ALL SERVICES SHALL BE 6" (MINIMUM) DIAMETER AND TERMINATE AT THE PROPERTY LINE WITH 6" CLEAN OUT. (36" TO 48" DEEP AT LOT LINE)
- MAGNETIC TAPE MUST BE PLACED 2' ABOVE THE TOP OF PIPE FOR THE ENTIRE LENGTH OF ALL MAINS AND SERVICES.
- ALL SANITARY MANHOLES SHALL BE PAINTED INSIDE AND OUT WITH "BIUMASTIC SUPER SERVICE BLACK". BY KOPPERS OR APPROVED EQUAL. MANHOLES RECEIVING FLOW FROM FORCE MAINS SHALL BE LINED WITH FIBERGLASS OR HDPE AT THE PRECASTERS FACILITY.
- ALL PIPE CONNECTIONS TO PRE-CAST MANHOLES SHALL BE MADE USING A FLEXIBLE EPDM RUBBER BOOT AND STAINLESS STEEL STRAP OR CAST IN BOOT BY A-LOK, Z-LOK OR EQUAL.
- CONNECTIONS MADE TO EXISTING MANHOLES SHALL BE CORE BORED WITH A MINIMUM 6" BORE AND CONNECTION SEALED WITH FLEXIBLE BOOT AND STAINLESS STEEL CLAMP.
- DEAD END MANHOLES SHALL HAVE A MINIMUM OF 5 FEET OF COVER FROM FINISHED GRADE TO OUTLET PIPE INVERT.
- ALL PRECAST SEWER MANHOLES SHALL HAVE A 4 FOOT MINIMUM HIGH BARREL CONE SECTIONS SHALL BE 3 FOOT MAXIMUM. CONCRETE DONUTS FOR EXTENDING ARE ACCEPTABLE TO RAISE MANHOLES UP TO 1 FOOT MAXIMUM.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL BALANCECENTRIC PLUG VALVES IN FORCE MAINS AT 1000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED AT ALL TEES AND CROSSES.
- THE CONTRACTOR SHALL CUT A "S" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED GREEN SQUARE BOX, IN FRONT OF EACH SERVICE LOCATION.
- THE CONTRACTOR SHALL PROVIDE TV INSPECTION OF ALL SANITARY SEWER MAINS AFTER SYSTEM IS COMPLETED, THOROUGHLY CLEANED, DRAINED AND FULLY VISIBLE. TV INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATIONS. FAULTY INSPECTION DUE TO POOR CONDITIONS WILL REQUIRE REINSPECTION BY CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE A (WARRANTY) TV INSPECTION AT THE TWO YEAR IN SERVICE MILESTONE FOR EACH SYSTEM.
- THE CONTRACTOR SHALL PROVIDE SANITARY SEWER TESTING, INFILTRATION OR AIR, AS REQUIRED BY DESIGN ENGINEER AND SUBMIT CERTIFIED RESULTS TO THE CITY ENGINEER.
- GRAVITY SEWERS DEPTHS SHALL NOT EXCEED 18 FEET.
- THE DESIGN ENGINEER SHALL PROVIDE A MINIMUM OF ONE FOOT OF FREEBOARD BETWEEN THE LOWEST FINISHED FLOOR ELEVATION AND THE TOP ELEVATION OF THE WET WELL.
- ALL PENETRATIONS INTO CONCRETE STRUCTURES SHALL BE PRE-CAST OR CORE-DRILLED.
- WARRANTY - ALL MATERIALS & EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS FROM THE DATE OF FINAL ACCEPTANCE THEREOF AGAINST DEFECTIVE MATERIALS, DESIGN, AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE CITY OF FAILURE OF ANY PART OF THE WARRANTED EQUIPMENT OR MATERIALS DURING THE WARRANTY PERIOD, THE AFFECTED PART, PARTS, OR MATERIALS SHALL BE PROMPTLY REPLACED BY THE CONTRACTOR WITH NEW PARTS OR MATERIALS AT NO EXPENSE TO THE CITY. IN THE EVENT THE CONTRACTOR FAILS TO MAKE THE NECESSARY REPLACEMENT OR REPAIRS IMMEDIATELY AFTER NOTIFICATION, THE CITY MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.

CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION OF SEWER LINES

GENERAL:

- ALL NEW SANITARY SEWER LINES, PRIVATE OR CITY MAINTAINED, IN THE CITY OF WINTER GARDEN'S SERVICE AREA SHALL BE INSPECTED BY CLOSED CIRCUIT TV INSPECTION BY THE CONTRACTOR WITH A CITY INSPECTOR PRESENT PRIOR TO BEING ACCEPTED BY THE CITY.
- REQUIREMENTS PRIOR TO INSPECTION RELEASE:
 - 1. ALL ELEMENTS OF THE SEWER SYSTEM MUST BE INSTALLED AND BE COMPLETELY FINISHED, INCLUDING MAIN SEWER LINES, LATERALS, CLEAN OUTS, AND MANHOLES PRIOR TO CCTV INSPECTION.
 - 2. ALL SEWER LINES SHALL BE COMPLETELY CLEAN OF ALL DEBRIS, SAND, WATER, ETC PRIOR TO THE CCTV INSPECTION. ANY OBJECT OR MATTER THAT PREVENTS CCTV INSPECTION FROM VIEWING CONDITION OF PIPELINE IS CONSIDERED AN OBSTRUCTION REQUIRING ADDITIONAL CLEANING. WHEN CCTV VIEW IS OBSTRUCTED, INSPECTION SHALL BE TERMINATED. THE CONTRACTOR SHALL CLEAN THE SEWER SYSTEM COMPLETELY AND RESCHEDULE CCTV RE-INSPECTION WITH THE CITY.
 - 3. A HYDRAULIC SEWER CLEANSER SHALL NOT BE USED DURING THE CCTV INSPECTION. IF LINES ARE FOUND TO BE OBSCURED BY WATER OR DEBRIS DURING THE CCTV INSPECTION, THE INSPECTION SHALL BE TERMINATED AND RESCHEDULED TO A TIME WHEN SEWER CLEANING IS COMPLETE.
 - 4. WHEN A SEWER LINE IS UNDER A PAVED AREA, THE AREA SHALL BE COMPACTED AND PRIMED BEFORE THE SYSTEM SHALL BE RELEASED FOR TV INSPECTION.
- TELEVISION EQUIPMENT MINIMUM REQUIREMENTS:
 - 1. THE CLOSED CIRCUIT TV CAMERA SHALL PRODUCE A CLEAR COLOR PICTURE ON THE MONITOR AND ON THE DVD RECORDING. THE CAMERA SHALL BE ABLE TO SHOW DETAIL TO THE POINT THAT ALL JOINTS AND ANY DEFECTS MAY BE READILY SEEN. AT THE TIME OF THE INSPECTION, THE CAMERA SHALL STOP AND PAN AT EACH JOINT FOR COMPLETE 360 DEGREE INSPECTION.
 - 2. REFER TO APPENDIX B OF THE REFERENCED STANDARDS FOR SPECIFICATION OF CLOSED CIRCUIT TELEVISION INSPECTION EQUIPMENT.
 - 3. THE VIDEO RECORDER SHALL PRODUCE A NO NOISE STILL PICTURE, AND PROVIDE BOTH AUDIO AND VIDEO DURING THE INSPECTION.
 - 4. A MEASURING DEVICE, APPROVED BY THE CITY, TO CHECK THE GRADE OF THE PIPE DURING THE INSPECTION, SHALL BE REQUIRED. GAUGE DEPTH, 0" TO 2" MIN. WITH 1/2" MARKINGS.
 - 5. AUDIO OF THE INSPECTION SHALL BE SIMULTANEOUSLY RECORDED ON DVD DISC. THE AUDIO SHALL CONSIST OF ORDINARY DESCRIPTION AND COMMENTARY. A TAPE WILL BE GIVEN TO THE INSPECTOR ON SITE AT THE END OF THE DAY.
- PROCEDURE FOR TELEVISIONING
 - 1. THE CITY'S ENGINEERING INSPECTION DIVISION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS NOTICE PRIOR TO THE TIME PLANNED FOR THE TV INSPECTION TO COMMENCE. A DEFINITE TIME AND DATE WILL BE AGREED UPON BY THE CONTRACTOR AND INSPECTOR AT THAT TIME.
 - 2. NO INSPECTION SHALL COMMENCE WITHOUT THE PRESENCE OF THE INSPECTOR, EXCEPT WHEN PRIOR ARRANGEMENTS HAVE BEEN MADE BETWEEN THE CONTRACTOR, INSPECTOR, AND THE CITY. TV INSPECTION SHALL BE PERFORMED BY THE CONTRACTOR AT THE EXPENSE OF THE CONTRACTOR.
 - 3. ALL CCTV INSPECTIONS SHALL COMMENCE UP STREAM OF THE SYSTEM TO PREVENT FOREIGN SUBSTANCES FROM ENTERING A SECTION PREVIOUSLY TELEVIEWED. THE CAMERA SHALL BE STARTED FROM THE DOWNSTREAM MANHOLE AND PROCEED UPSTREAM IN DIRECTION OPPOSING THE NORMAL FLOW IN THE LINE. THIS PROCEDURE WILL ALLOW FOR THE VIEWING OF THE SERVICE LATERALS.
 - 4. BEFORE THE CAMERA IS PLACED IN THE SEWER LINE, WATER WITH YELLOW OR ORANGE DYE SHALL BE PUT INTO THE UPSTREAM MANHOLE OF THE SECTION BEING TELEVIEWED. CAMERA WILL HAVE A GAUGE SHOWING 1/2" MARKS FROM 1/2" TO 2-1/2". THIS WILL ENABLE THE CAMERA TO DETECT ANY CHANGES IN GRADE THAT MAY BE PRESENT IN THE SYSTEM.
 - 5. THE CCTV AND VIDEO RECORDER SHALL BE TURNED ON BEFORE THE CAMERA IS PLACED IN THE MANHOLE FOR INSPECTION AND SHALL NOT BE TURNED OFF UNTIL THE CAMERA IS REMOVED FROM THE MANHOLE. THE CAMERA SHALL BE MOVED THROUGH THE LINE UNDER THE CONTROL OF THE CCTV CAMERA OPERATOR. THE CAMERA SHALL BE DRAWN THROUGH THE LINE AT A RATE NOT TO EXCEED THIRTY (30) FEET PER MINUTE AND SHALL STOP AT ALL SERVICE CONNECTIONS AND PIPE JOINTS IN THE PIPELINE.
 - 6. A DVD RECORDING SHALL BE MADE OF THE ENTIRE SYSTEM BEING TELEVIEWED. THIS SHALL BECOME THE PROPERTY OF THE CITY UPON COMPLETION OF THE TV INSPECTION (NOT A COPY). THE TAPE(S) SHALL BE RETURNED IN SUCH A MANNER THAT STATES THE PROJECT NAME, DATE OF INSPECTION AND LINE SECTION ACCORDING TO CONSTRUCTION PLANS CONTAINED ON EACH TAPE. A WRITTEN REPORT SHALL ACCOMPANY THE DVD DISC.

CITY OF WINTER GARDEN - GENERAL NOTES:

- ALL UTILITY SYSTEMS AND IMPROVEMENTS CONSTRUCTED IN THE CITY OF WINTER GARDEN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUAL OF STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION FOR THE CITY OF WINTER GARDEN, TO BE REFERRED TO AS MSS/CWG. THE LATEST EDITION AT THE TIME PERMITS ARE APPROVED SHALL BE EFFECTIVE FOR THE DURATION OF THE SUBJECT WORK OR PROJECT DEVELOPMENT.
- THE CITY OF WINTER GARDEN GENERAL NOTES AND DETAILS ARE PROVIDED FOR THE CONVENIENCE OF FIELD PERSONNEL. THEY DO NOT INCLUDE ALL REQUIREMENTS OF THE MSS/CWG. THE CONTRACTOR SHALL REFER TO THE FULL TEXT OF THE MSS/CWG FOR FURTHER DETAIL AND CLARITY WHEN NEEDED.
- ANY REQUEST FOR VARIANCE OR NONCOMPLIANCE FROM THE MSS/CWG NOTED ABOVE MUST BE APPROVED BY THE CITY ENGINEER OR UTILITIES DIRECTOR.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN CLOSE PROXIMITY TO WATER, WASTEWATER, RECLAIMED WATER AND OTHER UTILITY SYSTEMS. THE CONTRACTOR SHALL COORDINATE UTILITY LOCATIONS WITH RESPECTIVE UTILITY OWNERS AND/OR CALL "SUNSHINE ONE CALL", 1-800-432-4770 A MINIMUM OF 72 HOURS IN ADVANCE.
- CONTRACTOR'S DAMAGE OF WINTER GARDEN UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY NOTIFY AND REPORT DAMAGE TO THE CITY OF WINTER GARDEN UTILITY DIVISION. (NO MESSAGE) PHONE # 407-656-4100.
- IMMEDIATE REPAIR OF DAMAGED UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGE TO THE CITY OF WINTER GARDEN UTILITY SYSTEM AS REQUIRED BY THE UTILITY OWNER AT CONTRACTORS COST. IN CASE OF UNRESPONSIVE ACTION BY THE CONTRACTOR, THE CITY RESERVES RIGHT TO REPAIR DAMAGE. THE CONTRACTOR SHALL REIMBURSE THE CITY OF WINTER GARDEN OF ALL REPAIR COSTS.
- ADVANCE NOTIFICATION OF CONSTRUCTION: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN, UTILITY DIVISION, PH # 407-656-4100, AT LEAST SEVEN (7) CALENDAR DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
- ADVANCE NOTIFICATION OF UTILITY CONNECTION: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST SEVEN CALENDAR DAYS IN ADVANCE TO SCHEDULE CONNECTIONS TO UTILITY SYSTEM.
- UTILITY VALVE OPERATION: ONLY CITY OF WINTER GARDEN UTILITY PERSONNEL SHALL OPERATE VALVES AND FIRE HYDRANTS. THE CONTRACTOR, WHEN NEEDED, SHALL CALL THE CITY TO REQUEST VALVE OPERATIONS AT LEAST TWO (2) DAYS IN ADVANCE OF CONSTRUCTION WORK.
- OPERATIONS INVOLVING WATER OR WASTEWATER FACILITIES INCLUDING PUMPING STATIONS: THE CONTRACTOR SHALL COORDINATE AT LEAST TWO (2) WEEKS IN ADVANCE. ANY CONSTRUCTION OPERATION THAT MAY REQUIRE THE DISCONTINUATION OF SERVICE OR OPERATION OF A FACILITY, THE CITY WILL PROVIDE PERSONNEL TO OPERATE THE CITY FACILITIES.
- REQUIRED TESTING BY CONTRACTOR: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST TWO (2) DAYS PRIOR TO SAMPLING ACTIVITIES FOR PURPOSE OF TESTING AS REQUIRED BY THE CITY. THE CONTRACTOR SHALL NOT TEST OR SAMPLE WITHOUT OBSERVATION BY CITY INSPECTION PERSONNEL.
- TEMPORARY OR CONSTRUCTION WATER SERVICE CONNECTIONS PROVIDED BY FIRE HYDRANT CONNECTION: THE CITY WILL PROVIDE METER ON FIRE HYDRANT. THE CONTRACTOR SHALL PROVIDE NON-REFUNDABLE ACCOUNT INITIATION FEE, A REFUNDABLE SECURITY DEPOSIT FOR THE METER APPURTES AND PAY ALL COST FOR WATER USED.
- ALL AS BUILT MEASUREMENTS & ELEVATIONS ARE TO BE MADE BY A LICENSED LAND SURVEYOR.

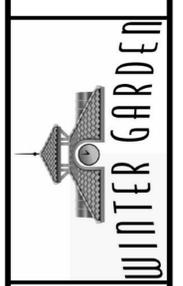
CoWg WATER SYSTEM NOTES:

- THE CONTRACTOR SHALL PROVIDE AND INSTALL A CITY APPROVED BACKFLOW DEVICE ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
- REPAIRS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO 10% OF THE TOTAL NUMBER OF JOINT CONNECTIONS.
- THE CONTRACTOR SHALL HYDROSTATICALLY TEST ALL WATER MAINS AND SERVICE LATERALS AT 150 PSI FOR A TWO HOUR PERIOD. TESTING MUST BE OBSERVED BY A CITY INSPECTOR.
- THE CONTRACTOR SHALL INSTALL WARNING TAPE OVER ALL NEW WATER MAINS. WARNING TAPE SHALL BE AS FOLLOWS: NON-DETECTABLE, SIZE 2" WITH "WATER LINE BELOW", MUST BE PLACED 8" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADER TEES, NUMBER 10 GAUGE TRACER WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH DUCT TAPE, AT LEAST FIVE TIMES PER JOINT, THE TRACER WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATOR CAN BE CONNECTED TO IT.
- THE CONTRACTOR SHALL INSTALL WATER MAINS PER MOSS/CoWg SPECIFICATIONS. SOLVENT CEMENTED JOINTS AND THRUST BLOCKS ON PIPING SYSTEMS SHALL NOT BE ALLOWED.
- THE CONTRACTOR SHALL INSTALL ALL WATER MAINS TO A MINIMUM DEPTH OF 36 INCHES AND A MAXIMUM DEPTH OF 42 INCHES BELOW FINAL GRADE.
- THE CONTRACTOR SHALL INSTALL ALL SERVICE LATERALS A UNIFORM DISTANCE APART, LOCATED ON PROPERTY LOT LINE AT 90° FROM THE WATER MAIN. SERVICE LATERALS SHALL BE SEPARATELY CONNECTED TO THE WATER MAIN, NOT SPLICED TOGETHER.
- THE CONTRACTOR SHALL CUT A "W" INTO CONCRETE CURB, LOCATED INSIDE OF A PAINTED BLUE SQUARE, LOCATED DIRECTLY IN FRONT OF EACH SERVICE LATERAL.
- THE CONTRACTOR SHALL INSTALL CURB STOP, IN METER BOX, CURB STOP SHALL BE SET 8" BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL IN-LINE VALVES ON WATER MAINS AT 1,000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED ON ALL TEES AND CROSSES. WATER MAINS SHALL BE PLACED UNDER SIDEWALKS WHERE POSSIBLE.
- ALL WATERMANS SHALL BE CLEANED BY PIGGING THE LINE WITH A FOAM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PIGGING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PIGGING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
- THE CONTRACTOR SHALL DEMONSTRATE THAT LOCATION WIRE INSTALLED OVER ALL WATER MAINS IS IN WORKING CONDITION AT TIME OF ACCEPTANCE BY THE CITY.
- ALL NEW SUBDIVISION CONSTRUCTION SHALL INSTALL DOUBLE POTABLE WATER SERVICES AT THE PROPERTY LINES.

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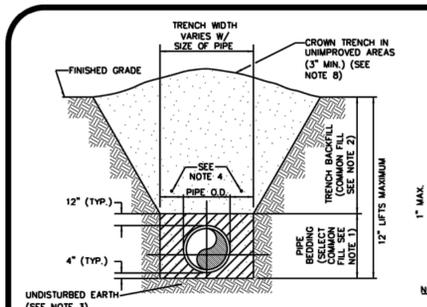
DATE	ITEM
4/3/14	1 WATER SERVICE
4/3/14	2 ARV DETAILS
C-911-01-020	

City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Utilities Construction



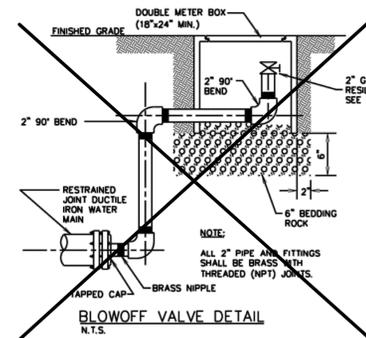
STANDARD DETAILS
FOR
POTABLE WATER SYSTEMS

DATE: JANUARY 2008
SHEET: 2 OF 10

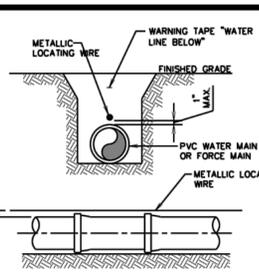


- NOTES:**
- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SEVE.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SEVE.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
 - (*) 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - REFER TO SECTION 32.5 OF THE CITY OF WINTER GARDEN MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION FOR SHEETING AND BRACING IN EXCAVATIONS.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY OF WINTER GARDEN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

STANDARD BEDDING DETAIL
N.T.S.

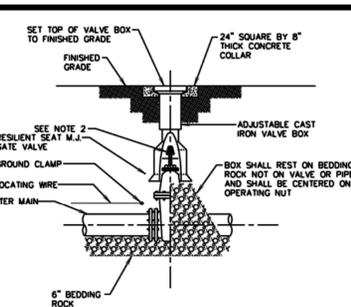


BLOWOFF VALVE DETAIL
N.T.S.



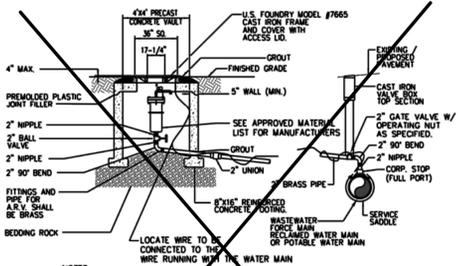
PVC PIPE LOCATING WIRE DETAIL
N.T.S.

- NOTES:**
- PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE ATTACHED TO THE TOP OF PIPE WITH DUCT TAPE, AT LEAST 5 TIMES PER JOINT.
 - LOCATING ROD SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING ABOVE TOP OF BOX 1' SO AS NOT TO INTERFERE WITH VALVE OPERATION.



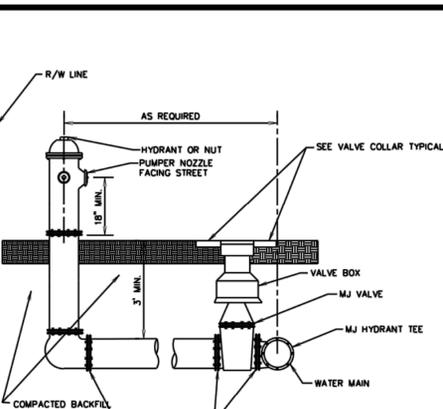
GATE VALVE AND VALVE BOX DETAIL
N.T.S.

- GENERAL NOTES:**
- PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
 - THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.

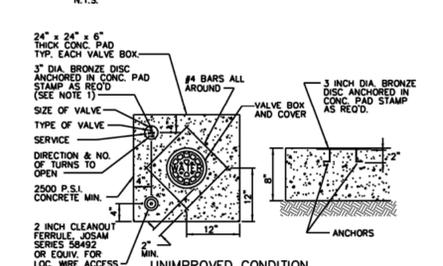


AIR RELEASE VALVE ASSEMBLY
N.T.S.

- NOTES:**
- THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
 - DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 - PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 - INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 - CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 - COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION, "SEWER" OR "POTABLE WATER".
 - NO GALVANIZED PIPE/VALVES.
 - LOCATE WIRE IN THE ARV VAULT SHALL BE SPICED TO THE WIRE RUNNING WITH THE WATER MAIN AND EXCESS WIRE TO BE PLACED IN ARV VAULT. THE POINT OF CONNECTION AT THE MAIN SHALL HAVE A WATER PROOF CONNECTOR.

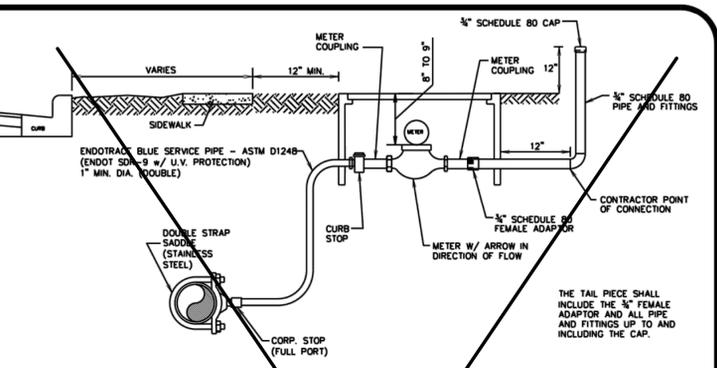


FIRE HYDRANT ASSEMBLY DETAIL
N.T.S.

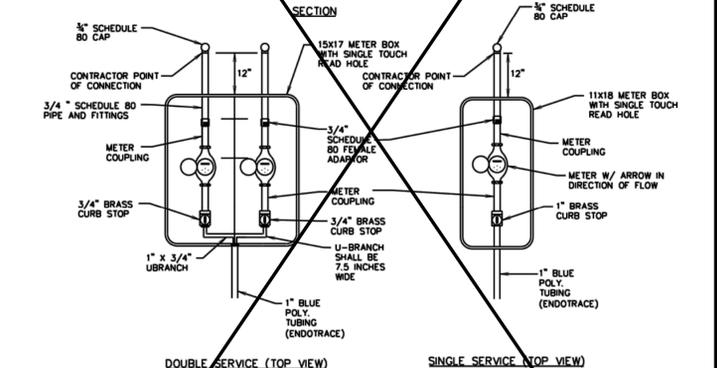


VALVE BOX COLLAR
N.T.S.

- NOTES:**
- BRONZE IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES.



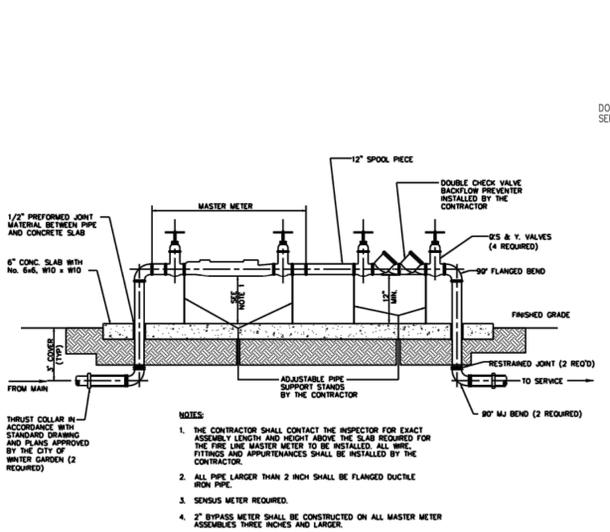
DOUBLE SERVICE (TOP VIEW)
N.T.S.



SINGLE SERVICE (TOP VIEW)
N.T.S.

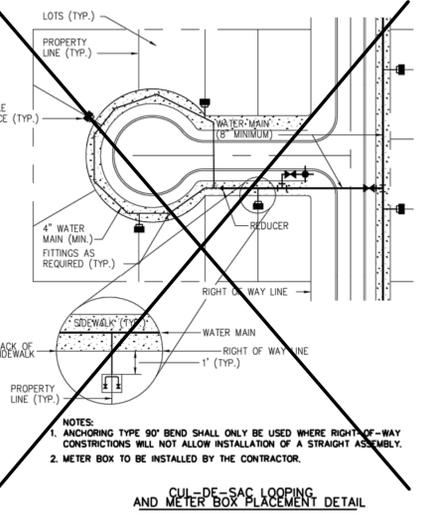
- NOTES:**
- ALL FITTINGS BETWEEN THE WATER MAIN AND THE METER COUPLING SHALL BE BRASS WITH COMPRESSION/PACK JOINT CONNECTIONS.
 - NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
 - EACH SERVICE SHALL TERMINATE IN A METER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE UTILITY EASEMENT AT THE PROPERTY LINE(S) OF THE LOT TO BE SERVED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION TO AND INCLUDING THE METER BOX ASSEMBLY. THE CITY SHALL FURNISH THE METER AND THE TAIL PIECE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING THE METER BOX ASSEMBLY TO FINISH GRADE AND MAKING ANY GRADE ADJUSTMENTS TO THE METER BOX IF REGRADING OCCURS.
 - ALL SERVICE LINES SHALL BE POLY ENDOTRACE PIPE AND SHALL BE BLUE IN COLOR W/W/RE.
 - THE POINT OF CONNECTION IS LOCATED ONE FOOT BEYOND THE METER BOX. THE PLUMBER/CUSTOMER SHALL BE RESPONSIBLE FOR MAINTENANCE BEYOND THE POINT OF CONNECTION.
 - IN NO CASE IS METER TO BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.

POTABLE WATER SINGLE AND DOUBLE SERVICE DETAIL
N.T.S.



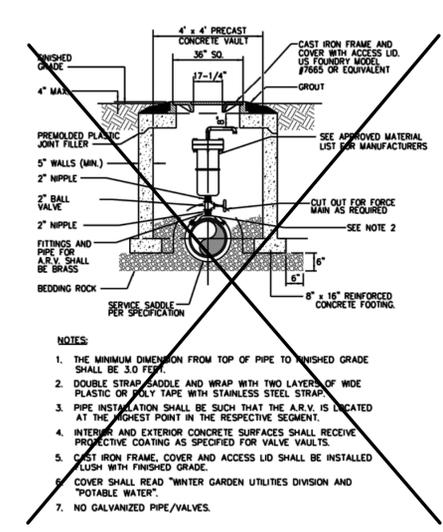
MASTER METER ASSEMBLY
N.T.S.

- NOTES:**
- THE CONTRACTOR SHALL CONTACT THE INSPECTOR FOR EXACT ASSEMBLY LENGTH AND HEIGHT ABOVE THE SLAB REQUIRED FOR THE FIRE LINE MASTER METER TO BE INSTALLED. ALL WIRE, FITTINGS AND APPURTENANCES SHALL BE INSTALLED BY THE CONTRACTOR.
 - ALL PIPE LARGER THAN 2 INCH SHALL BE FLANGED DUCTILE IRON PIPE.
 - SENSUS METER REQUIRED.
 - 2" BYPASS METER SHALL BE CONSTRUCTED ON ALL MASTER METER ASSEMBLY THREE INCHES AND LARGER.



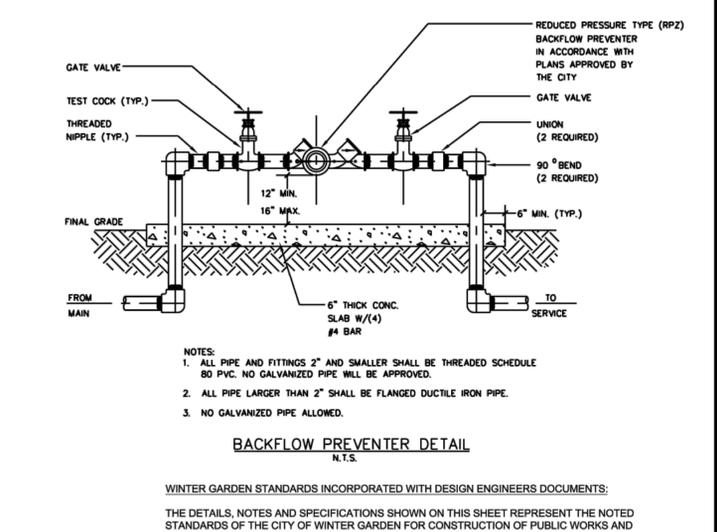
CUL-DE-SAC LOOPING AND METER BOX PLACEMENT DETAIL
N.T.S.

- NOTES:**
- ANCHORING TYPE 90° BEND SHALL ONLY BE USED WHERE RIGHT-OF-WAY CONSTRUCTIONS WILL NOT ALLOW INSTALLATION OF A STRAIGHT ASSEMBLY.
 - METER BOX TO BE INSTALLED BY THE CONTRACTOR.



POTABLE WATER SYSTEM AIR RELEASE VALVE AND VAULT
N.T.S.

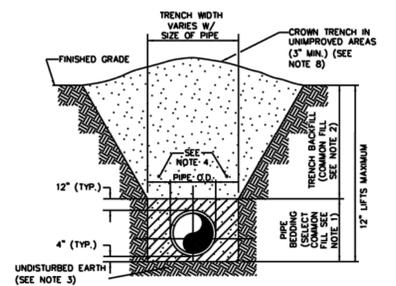
- NOTES:**
- THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 3.0 FEET.
 - DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 - PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 - INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 - CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 - COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION AND "POTABLE WATER".
 - NO GALVANIZED PIPE/VALVES.



BACKFLOW PREVENTER DETAIL
N.T.S.

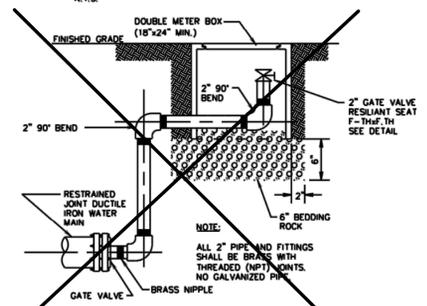
- NOTES:**
- ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 80 PVC. NO GALVANIZED PIPE WILL BE APPROVED.
 - ALL PIPE LARGER THAN 2" SHALL BE FLANGED DUCTILE IRON PIPE.
 - NO GALVANIZED PIPE ALLOWED.

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:
THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

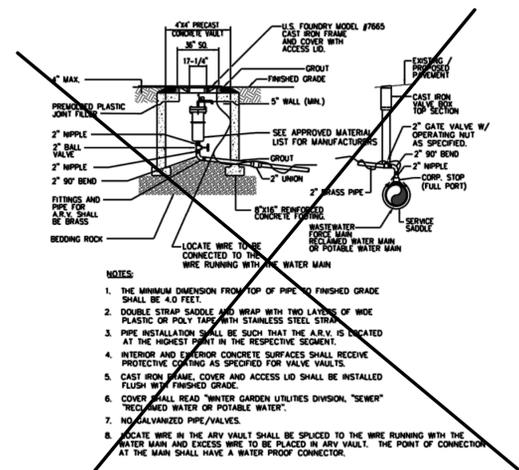


- NOTES:**
- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-150 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-150 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
 - (*) 15\"/>

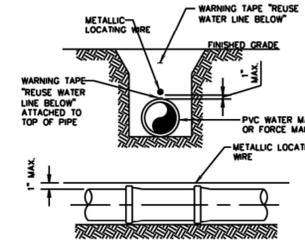
STANDARD BEDDING DETAIL
N.T.S.



BLOWOFF VALVE DETAIL
N.T.S.

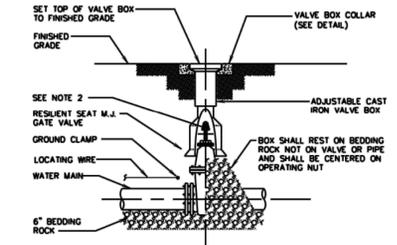


OFFSET TYPE AIR RELEASE VALVE ASSEMBLY
N.T.S.

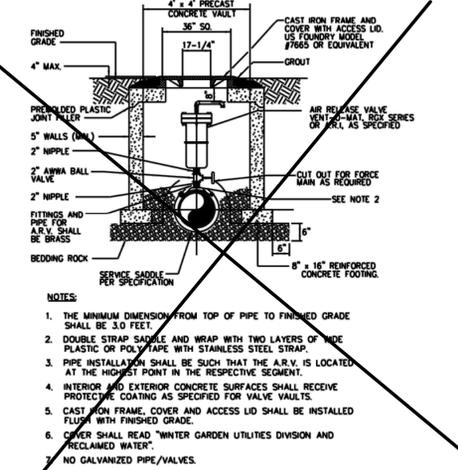


- NOTES:**
- PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE ATTACHED TO THE TOP OF PIPE WITH DUCT TAPE AT LEAST 5 TIMES PER JOINT.
 - LOCATING ROD SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING ABOVE TOP BOX 3\"/>

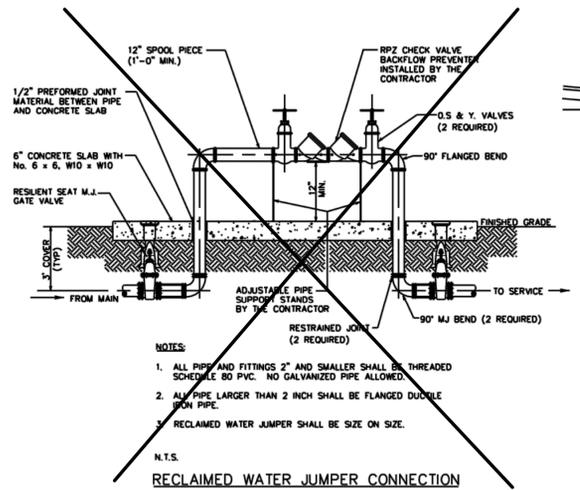
PVC PIPE LOCATING WIRE DETAIL
N.T.S.



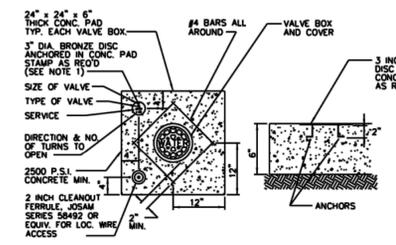
GATE VALVE AND VALVE BOX DETAIL
N.T.S.



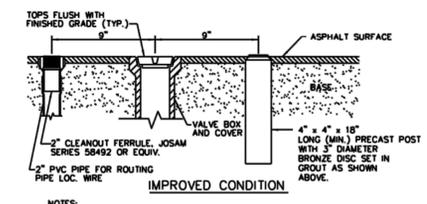
RECLAIMED WATER AIR RELEASE VALVE AND VAULT
N.T.S.



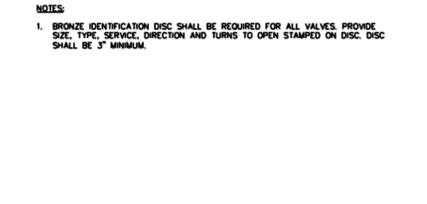
RECLAIMED WATER JUMPER CONNECTION
N.T.S.



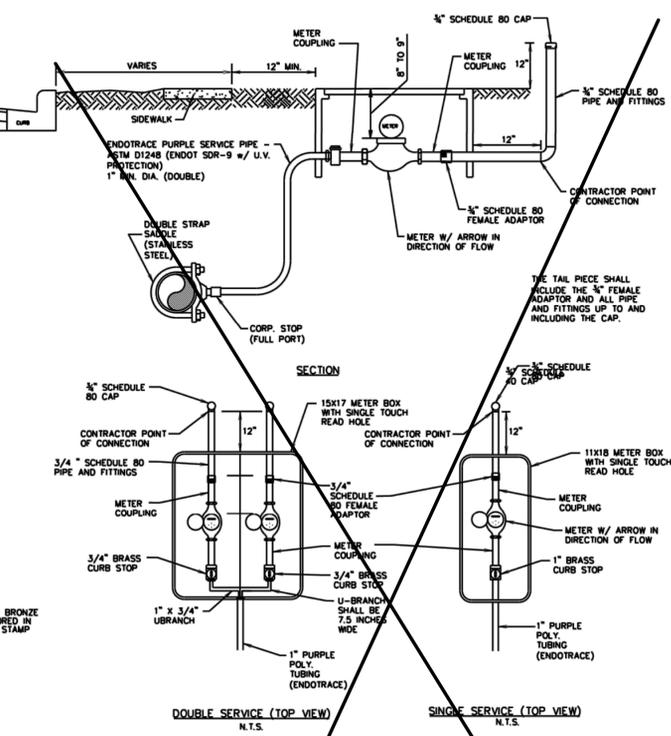
UNIMPROVED CONDITION
N.T.S.



IMPROVED CONDITION
N.T.S.



VALVE BOX COLLAR
N.T.S.



RECLAIMED WATER SINGLE AND DOUBLE SERVICE DETAIL
N.T.S.

- NOTES:**
- ALL FITTINGS BETWEEN THE WATER MAIN AND THE METER COUPLING SHALL BE BRASS WITH COMPRESSION/PACK JOINT CONNECTIONS.
 - NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
 - EACH SERVICE SHALL TERMINATE IN A METER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE UTILITY EASEMENT AT THE PROPERTY LINE(S) OF THE LOT(S) TO BE SERVED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION TO AND INCLUDING THE METER BOX ASSEMBLY. THE CITY SHALL FURNISH THE METER AND THE TAIL PIECE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING THE METER BOX ASSEMBLY TO FINISH GRADE AND MAKING ANY GRADE ADJUSTMENTS TO THE METER BOX IF REGRADING OCCURS.
 - ALL SERVICE LINES SHALL BE POLY ENDTRACE PIPE AND SHALL BE PURPLE IN COLOR W/WIRE.
 - THE POINT OF CONNECTION IS LOCATED ONE FOOT BEYOND THE METER BOX. THE USER/CUSTOMER SHALL BE RESPONSIBLE FOR MAINTENANCE BEYOND THE POINT OF CONNECTION.
 - IN NO CASE IS METER TO BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:

THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

NO.	ITEM	DATE
1	WATER METER SERVICE	4/7/14
2	ARY DETAILS	4/7/14

City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Utilities Construction



STANDARD DETAILS
FOR
RECLAIMED WATER SYSTEMS

DATE	SHEET
JANUARY 2008	7
7 OF 10	

MADDEN
MOORHEAD & STOKES, INC.
CIVIL ENGINEERS
431 E. Horatio Avenue
Suite 260
Maitland, Florida 32751
(407) 629-8330

CITY DETAILS
FOR
ALTA CROWN POINT
CITY OF WINTER GARDEN, FLORIDA

CLIENT:
WIP SOUTH ACQUISITIONS, L.L.C.
636 W. YALE STREET
ORLANDO, FL 32804
(407) 982-2516

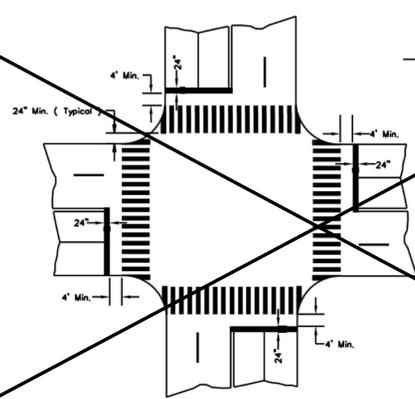
DATE	REVISIONS

JOB # 18053
DATE: 06/20/2019
SCALE: N.T.S.
DESIGNED BY: DAS
DRAWN BY: DAS
APPROVED BY: DAS

C-913

GENERAL NOTES:

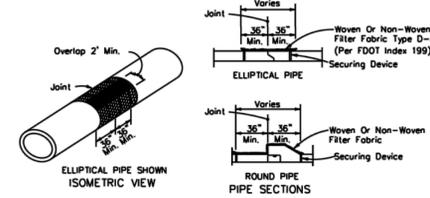
1. ALL NEW STORM AND SANITARY SEWER LINES IN THE CITY OF WINTER GARDEN SHALL BE SUBJECT TO CLOSED CIRCUIT TV INSPECTION PRIOR TO BEING ACCEPTED BY THE CITY, WHETHER PRIVATE OR CITY MAINTAINED. ALL STORM SEWER PIPE SHALL BE REINSPECTED AT THE YEAR END, COST TO BE PAID BY THE OWNER.
2. PIPE MATERIAL SHALL BE AS SHOWN ON THE CONSTRUCTION PLANS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
3. CONTRACTOR AND OWNER ARE RESPONSIBLE FOR ENSURING THAT ALL CITY, COUNTY, STATE (FDOP, FDOT, SURVMD, ETC.), AND FEDERAL PERMITS HAVE BEEN ISSUED FOR THE PROJECT.
4. ALL STORM SYSTEM MUST BE WATER-TIGHT WITH ALL JOINTS WRAPPED.
5. STORM SYSTEM WILL BE CLEANED PRIOR TO BEING TV'D.
6. THE OWNER SHALL KEEP A COPY OF THE WATER MANAGEMENT DISTRICT PERMIT, NPDES, NOI AND SWPP PLAN IN A CONSPICUOUS LOCATION ON THE JOB SITE AT ALL TIMES.
7. ALL STORM SEWER MANHOLES FRAME & COVER SHALL BE ASTM 225.
8. CLEAN SAND SHALL CONSIST OF MATERIAL HAVING LESS THAN 5% PASSING THE #200 SIEVE.
9. ONLY CONCRETE RISER RINGS WILL BE ALLOWED TO BE PLACED FOR STORM MANHOLES. ALL RISER RINGS SHALL BE SEALED TO THE STRUCTURE USING WRAPID SEAL. NO MORE THAN 15" WILL BE ALLOWED.
10. STORM SEWER PIPES SHALL MEET ASTM C76 & ASTM C507.
11. ALL STORM SEWER STRUCTURE SECTIONS SHALL BE SEALED WITH WRAPID SEAL.



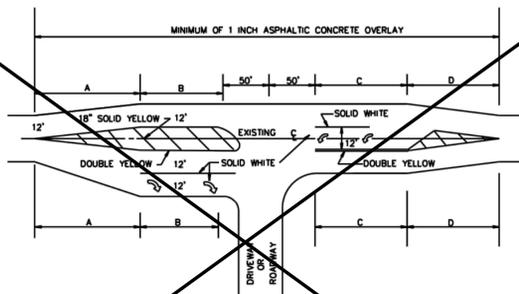
GENERAL NOTES

1. For traffic and pedestrian signal installation, refer to Index No. 17721 through 17890.
2. For public sidewalk curb ramps, refer to Index No. 304.
3. For pavement marking and sign installation, refer to Index No. 95.35 through 1455.
4. Crosswalk minimum width: Intersection Crosswalk 6' Mid Block Crosswalk 10'

SPECIAL EMPHASIS CROSSWALK SIGNALIZED OR STOP SIGN CONTROLLED INTERSECTION
N.T.S.



FILTER FABRIC JACKET
N.T.S.

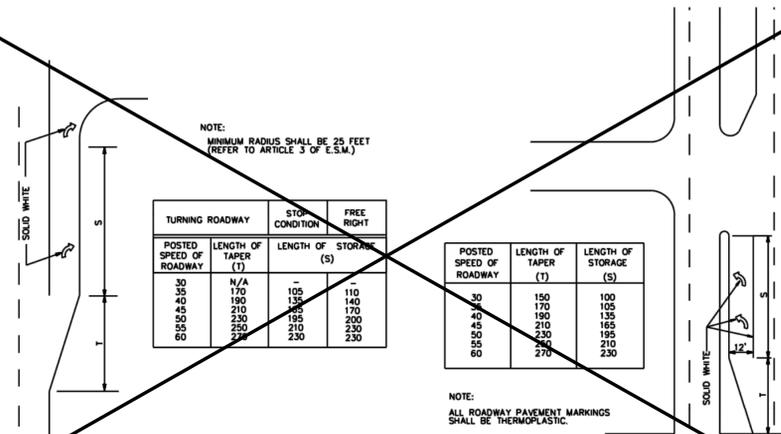


NOTES:

- 1) STRIPING ACCORDING TO A.D.O.T. STANDARD INDEX #17346B.
- 2) LANE WIDTHS TO MATCH EXISTING LANE WIDTHS.
- 3) MINIMUM RADIUS SHALL BE 25 FEET (REFER TO ARTICLE 3 OF E.S.M.)
- 4) ALL ROADWAY PAVEMENT MARKING SHALL BE THERMOPLASTIC.

SPEED	PAVEMENT MARKING LENGTHS			
	A	B	C	D
40 MPH	180	110	135	190
45 MPH	210	140	165	210
50 MPH	230	170	195	230
55 MPH	250	200	210	250

TYPICAL INTERSECTION
N.T.S.



NOTE: MINIMUM RADIUS SHALL BE 25 FEET (REFER TO ARTICLE 3 OF E.S.M.)

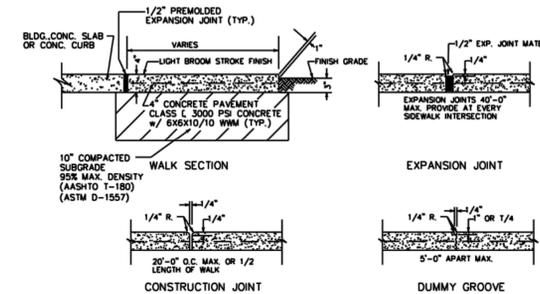
TURNING ROADWAY	STOP CONDITION	FREE RIGHT
POSTED SPEED OF ROADWAY (T)	LENGTH OF TAPER (S)	LENGTH OF STORAGE (S)
30	N/A	-
35	170	110
40	190	140
45	210	170
50	230	200
55	250	210
60	270	230

POSTED SPEED OF ROADWAY	LENGTH OF TAPER (T)	LENGTH OF STORAGE (S)
30	150	100
35	170	105
40	190	135
45	210	165
50	230	195
55	250	210
60	270	230

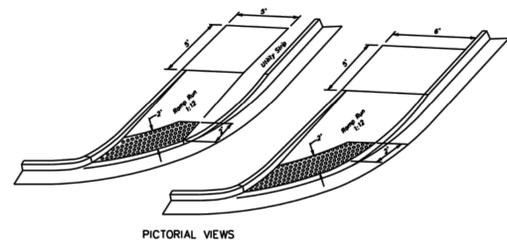
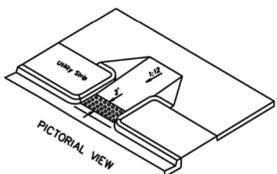
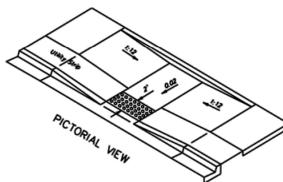
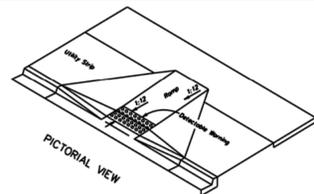
NOTE: ALL ROADWAY PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.

RIGHT TURN DECELERATION LANE
N.T.S.

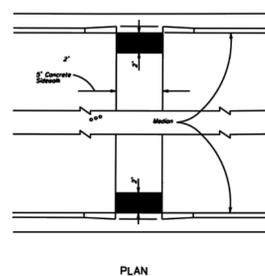
LEFT TURN STORAGE LANE (DIVIDED HIGHWAY)
N.T.S.



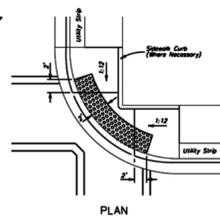
SIDEWALK DETAILS
N.T.S.



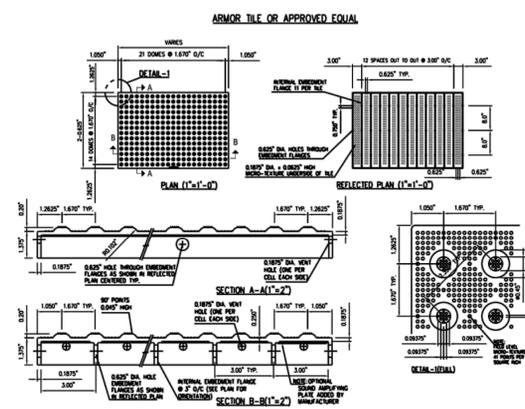
TYPICAL PLACEMENT OF DETECTABLE WARNING ON CURB RAMPS
N.T.S.



PLAN



PLAN



NOTE: 1. CURB RAMP DETECTABLE WARNING TILE SHALL BE ARMOR TILE OR EQUAL.

CURB RAMP DETECTABLE WARNING DETAIL
N.T.S.

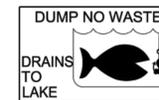


PLATE SHALL BE ADDED TO STORMWATER INLETS AS REQUIRED BY THE CITY.

NO.	ITEM	DATE
1	Deleted Underdrain Detail	4/7/14

City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Roadway & Drainage Construction



GENERAL NOTES
FOR
PUBLIC SERVICES

DATE
JANUARY 2008
SHEET

8 OF 10

MADDEN
MOORHEAD & STOKES, INC.
CIVIL ENGINEERS
431 E. Horatio Avenue
Suite 260
Maitland, Florida 32751
(407) 629-8330

CITY DETAILS
FOR
ALTA CROWN POINT
FLORIDA
CITY OF WINTER GARDEN

CLIENT:
WP SOUTH ACQUISITIONS, L.L.C.
634 W. YALE STREET
ORLANDO, FL 32804
(407) 982-2516

ENGINEER
DAVID W. STOKES, P.E.
No. 66527
STATE OF FLORIDA
LICENSED PROFESSIONAL ENGINEER
CERTIFICATE OF REGISTRATION NO. EP-0007723

NO.	REVISIONS	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		

JOB # 18053
DATE: 06/20/2019
SCALE: N.T.S.
DESIGNED BY: DAS
DRAWN BY: DAS
APPROVED BY: DAS

Date:	10/16/19
Drawn by:	R/J
Reviewed by:	BH
Job Number:	50044
Revision:	Date:
△	11/21/19

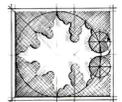
ALTA WINTER GARDEN

90% HARDSCAPE PLANS

Prepared For Wood Partners
OCTOBER 16, 2019

△ Revised N 0 0 MB R 1, 019 0 SI 0 P 0 RMI 0 C 0 MM 0 N 0 S

ALTA WINTER GARDEN
Winter Garden, FL
Wood Partners
401 S. Dixie Hwy., Suite 303, West Palm Beach, FL 33409



DIXIEHITE
WOOD PARTNERS
100 WOOD FLORIDA
LOANWOOD, FLORIDA
TEL 407.667.1777
FAX 407.667.1777

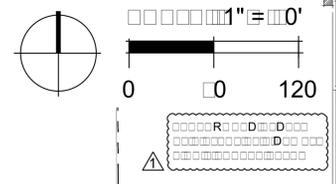
ARDS APE PLANS

Cover Sheet

0 0 BL 0 FC 0 N 0 N 0 S	
SH 0 0 N 0 MB 0 R	SH 0 0 N 0 M 0
L 1.01	H 0 RDSC 0 P 0 0 0 SH 0 0 0
L 1.01B	C 0 NS 0 R 0 C 0 0 N PH 0 SING PL 0 N
L 1.02	P 0 R 0 0 0 IL 0 0 N 0 0 DS PL 0 N
L 1.03	W 0 S 0 0 C 0 N 0 R 0 L S 0 0 0 0 IL 0 0 N 0 0 DS PL 0 N
L 1.04	0 0 S 0 S 0 0 0 0 IL 0 0 N 0 0 DS PL 0 N
L 1.10	P 0 R 0 N 0 R 0 H H 0 RDSC 0 P 0 PL 0 N
L 1.11	P 0 R 0 S 0 0 0 H H 0 RDSC 0 P 0 PL 0 N
L 1.10	N 0 R 0 HW 0 S 0 H 0 RDSC 0 P 0 PL 0 N
L 1.11	C 0 N 0 R 0 L H 0 RDSC 0 P 0 PL 0 N
L 1.12	S 0 0 0 HW 0 S 0 H 0 RDSC 0 P 0 PL 0 N
L 1.13	S 0 0 0 H 0 0 S 0 H 0 RDSC 0 P 0 PL 0 N
L 1.14	N 0 R 0 H 0 0 S 0 H 0 RDSC 0 P 0 PL 0 N

L 1.30	P 0 0 L C 0 0 R 0 0 0 RD C 0 LL 0 0 0 PL 0 N
L 1.31	P 0 0 L C 0 0 R 0 0 0 RD F 0 RNISHINGS PL 0 N
L 1.32	P 0 0 L C 0 0 R 0 0 0 RD GR 0 DING PL 0 N
L 1.33	P 0 0 L C 0 0 R 0 0 0 RD DR 0 IN 0 G 0 PL 0 N
L 1.34	P 0 0 L D 0 C 0 DIM 0 NS 0 NING PL 0 N
L 1.35	P 0 0 L DIM 0 NS 0 NING PL 0 N
L 1.40	W 0 S 0 C 0 0 R 0 0 0 RD C 0 LL 0 0 0 DIM 0 NS 0 NING PL 0 NS
L 1.50	0 0 S 0 C 0 0 R 0 0 0 RD C 0 LL 0 0 0 DIM 0 NS 0 NING PL 0 NS
L 1.00 0 L 1.1	H 0 RDSC 0 P 0 D 0 0 0 ILS
L 1.90	LIGH 0 ING SCH 0 D 0 L 0
L 3.00	M 0 0 0 R 0 LS SCH 0 D 0 L 0
L 3.10 0 L 3.1	S 0 0 F 0 RNISHINGS SCH 0 D 0 L 0
L 3.10	PL 0 N 0 0 R P 0 0 SCH 0 D 0 L 0
L 4.00 0 L 4.0	S 0 R 0 C 0 0 R 0 L PL 0 NS

Sheet Number:
LA 1.00



Date:	10/16/19
Drawn by:	R/J
Reviewed by:	BH
Job Number:	50044
Revision:	Date:
1	11/21/19



LEGEND	
	SEQUENCE PHASE 1 (BUILDING TYPE 1) UNITS: 55 UNITS (77 PARKING SPACES) REQUIRED, 110 SPACES PROVIDED
	SEQUENCE PHASE 2 (BUILDING TYPE 2) UNITS: 66 UNITS (10 PARKING SPACES) REQUIRED, 141 SPACES PROVIDED
	SEQUENCE PHASE 3 (BUILDING TYPE 3) UNITS: 4 UNITS (66 PARKING SPACES) REQUIRED, 11 SPACES PROVIDED
	SEQUENCE PHASE 4 (BUILDING TYPE 4) UNITS: 6 UNITS (90 PARKING SPACES) REQUIRED, 91 SPACES PROVIDED
	SEQUENCE PHASE 5 (BUILDING TYPE 5) UNITS: 4 UNITS (45 PARKING SPACES) REQUIRED, 45 SPACES PROVIDED

SEQUENCING NOTES	
1.	ALL STRUCTURE, FIRE RATED WALLS, AND FIRE PROTECTION SYSTEMS, TO BE INSTALLED AND OPERATIONAL IN THE ENTIRE BUILDING BEFORE FIRST TURN OVER SEQUENCE IS TO BE OCCUPIED.
2.	LIFE SAFETY PLANS STILL APPLICABLE TO SEQUENCING PLAN - SEE LIFE SAFETY SHEETS.
3.	ALL LANDSCAPING TO BE INSTALLED, ALL AMENITIES AND BUILDING SERVICES TO BE COMPLETE, BEFORE THE FIRST UNIT IS OCCUPIED.

ALTA WINTER GARDEN
Winter Garden, FL

Wood Partners
401 S. Dixie Hwy., Suite 303, West Palm Beach, FL 33401

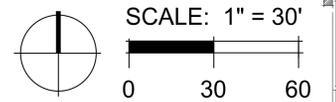
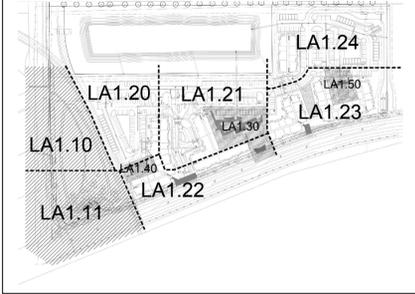


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ARCHITECTS
150 S. WOODS BLVD.
LOANWOOD, FLORIDA
TEL: 407.667.1777
FAX: 407.667.1777

ARDS APE PLANS
Construction Phasing Plan

Sheet Number:
LA.00

KEY:



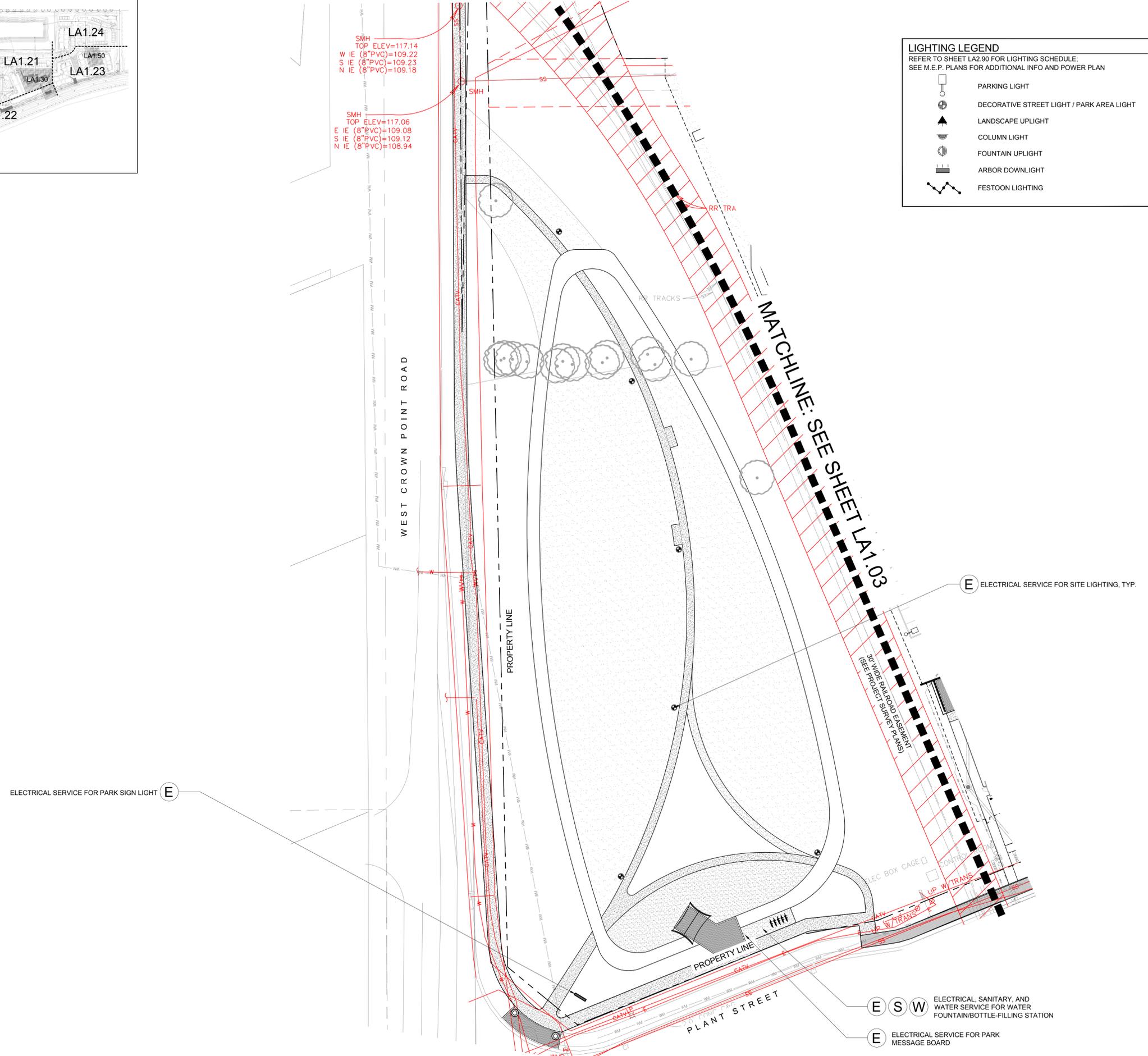
Date:	10/16/19
Drawn by:	RJ/ll
Reviewed by:	BH
Job Number:	50044
Revision:	Date:

LIGHTING LEGEND
REFER TO SHEET LA2.90 FOR LIGHTING SCHEDULE;
SEE M.E.P. PLANS FOR ADDITIONAL INFO AND POWER PLAN

- PARKING LIGHT
- DECORATIVE STREET LIGHT / PARK AREA LIGHT
- LANDSCAPE UPLIGHT
- COLUMN LIGHT
- FOUNTAIN UPLIGHT
- ARBOR DOWNLIGHT
- FESTOON LIGHTING

UTILITY + ELECTRICAL ELEMENTS LEGEND

- ELECTRIC SERVICE
- NEW WATER SERVICE
- GAS SERVICE
- SANITARY DRAINAGE
- GFCI SERVICE
- POOL EQUIPMENT
- USB PORT CONNECTION (POWER ONLY)
- RECEPTACLE OUTLET



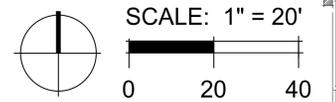
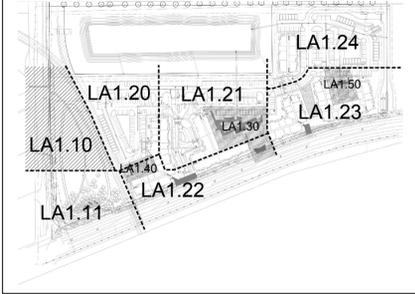
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Winter Garden, FL

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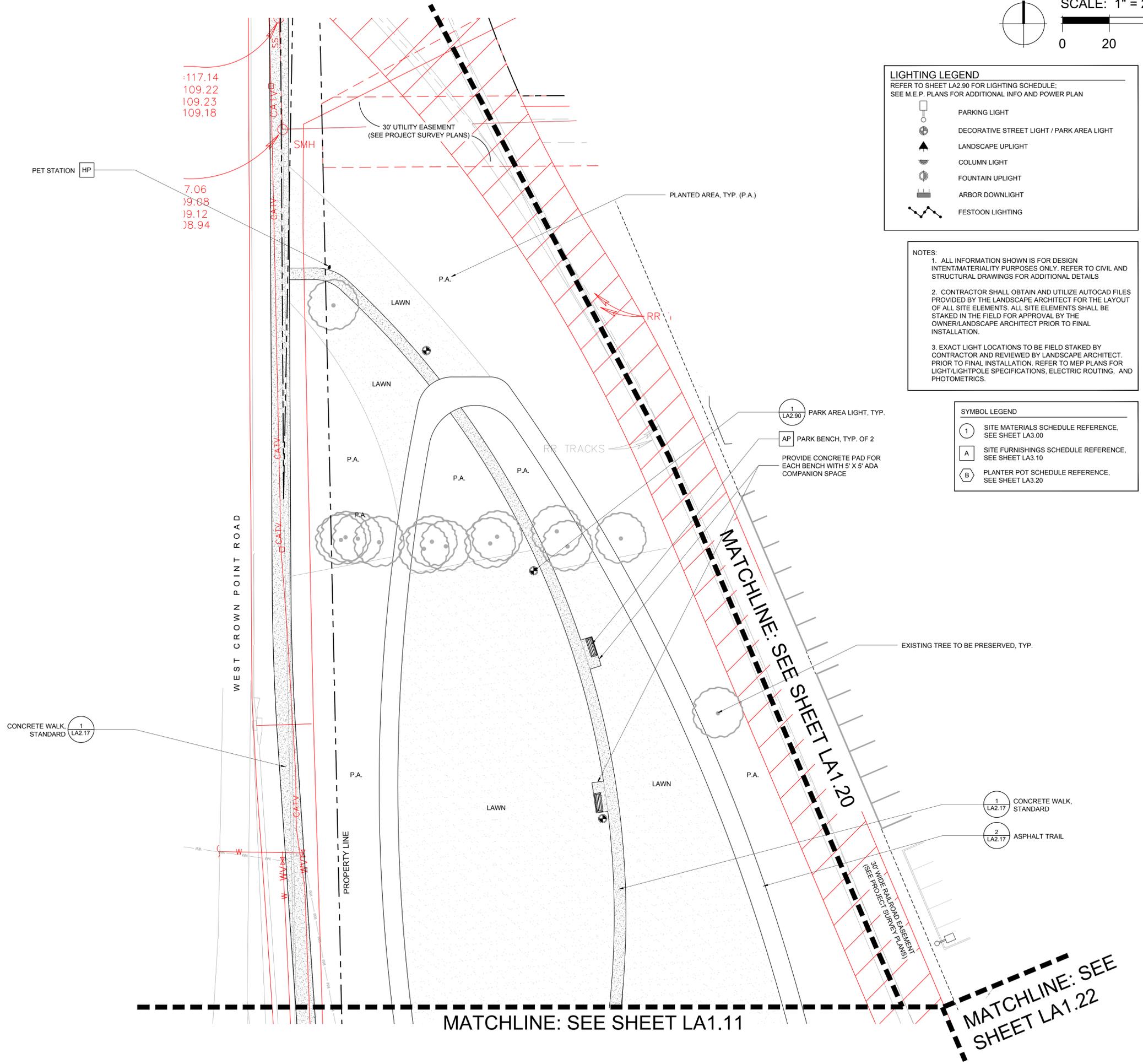
ARDS APE PLANS
Part Utility Needs Plan

Sheet Number:
LA .0

KEY:



Date:	10/16/19
Drawn by:	RJ/ll
Reviewed by:	BH
Job Number:	50044
Revision:	Date:



LIGHTING LEGEND
REFER TO SHEET LA2.90 FOR LIGHTING SCHEDULE;
SEE M.E.P. PLANS FOR ADDITIONAL INFO AND POWER PLAN

- PARKING LIGHT
- DECORATIVE STREET LIGHT / PARK AREA LIGHT
- LANDSCAPE UPLIGHT
- COLUMN LIGHT
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NOTES:

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SYMBOL LEGEND

- SITE MATERIALS SCHEDULE REFERENCE, SEE SHEET LA3.00
- SITE FURNISHINGS SCHEDULE REFERENCE, SEE SHEET LA3.10
- PLANTER POT SCHEDULE REFERENCE, SEE SHEET LA3.20

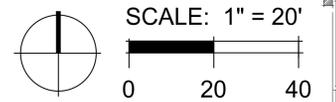
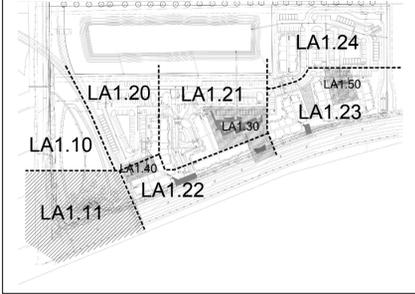
ALTA WINTER GARDEN
Winter Garden, FL
Wood Partners
401 S. Dixie Hwy., Suite 303, West Palm Beach, FL 33409



ARDS APE PLANS
Part North Hardscape Plan

Sheet Number:
LA 10

KEY:



Date:	10/16/19
Drawn by:	R/
Reviewed by:	BH
Job Number:	50044
Revision:	Date:

LIGHTING LEGEND
REFER TO SHEET LA2.90 FOR LIGHTING SCHEDULE;
SEE M.E.P. PLANS FOR ADDITIONAL INFO AND POWER PLAN

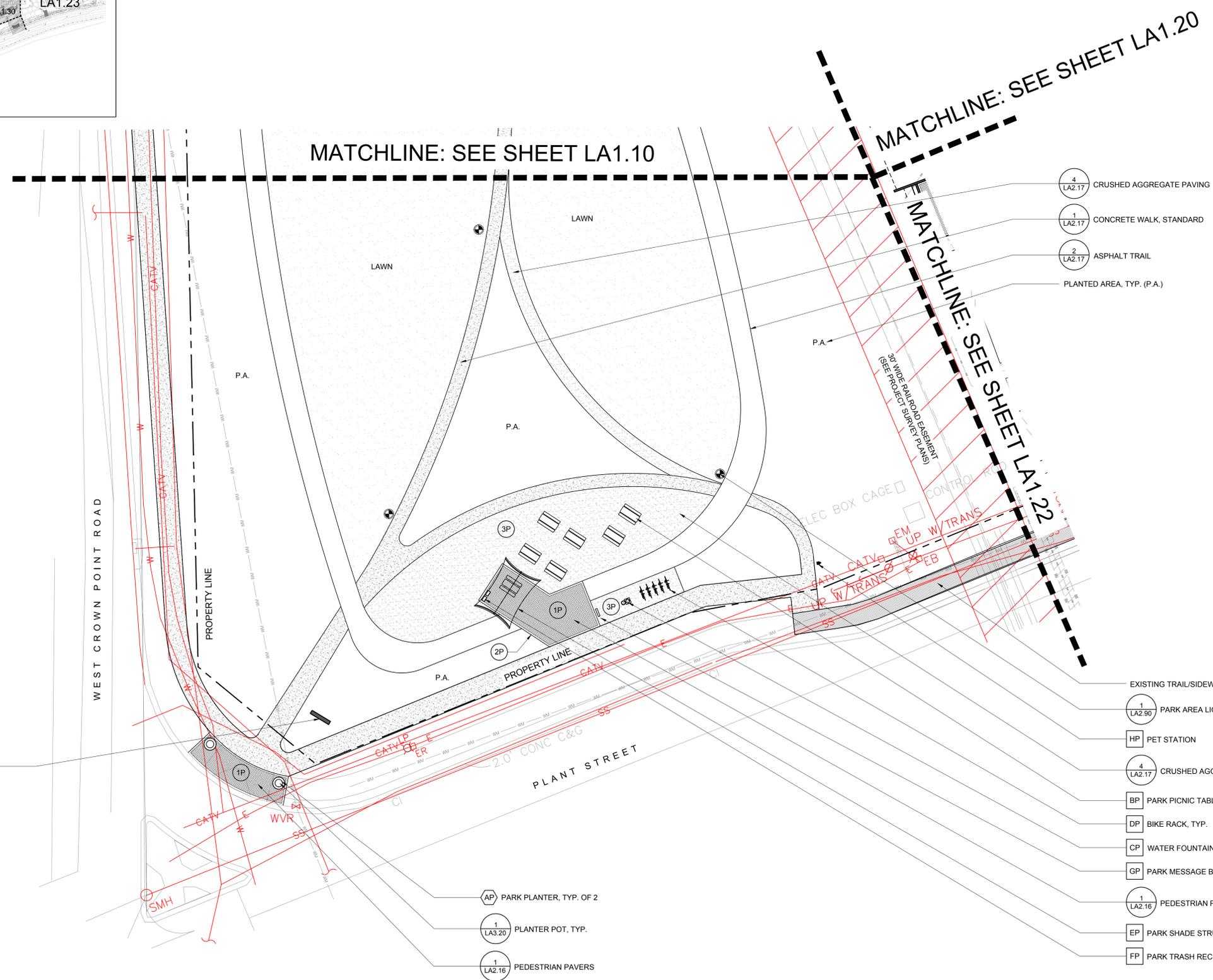
- PARKING LIGHT
- DECORATIVE STREET LIGHT / PARK AREA LIGHT
- LANDSCAPE UPLIGHT
- COLUMN LIGHT
- FOUNTAIN UPLIGHT
- ARBOR DOWNLIGHT
- FESTOON LIGHTING

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SYMBOL LEGEND

- SITE MATERIALS SCHEDULE REFERENCE, SEE SHEET LA3.00
- SITE FURNISHINGS SCHEDULE REFERENCE, SEE SHEET LA3.10
- PLANTER POT SCHEDULE REFERENCE, SEE SHEET LA3.20

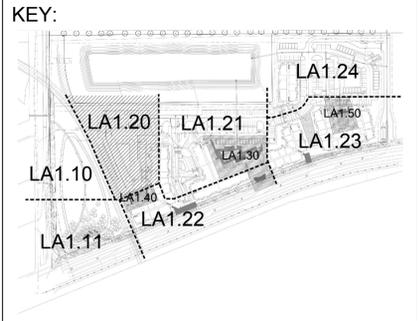


ALTA WINTER GARDEN
Winter Garden, FL

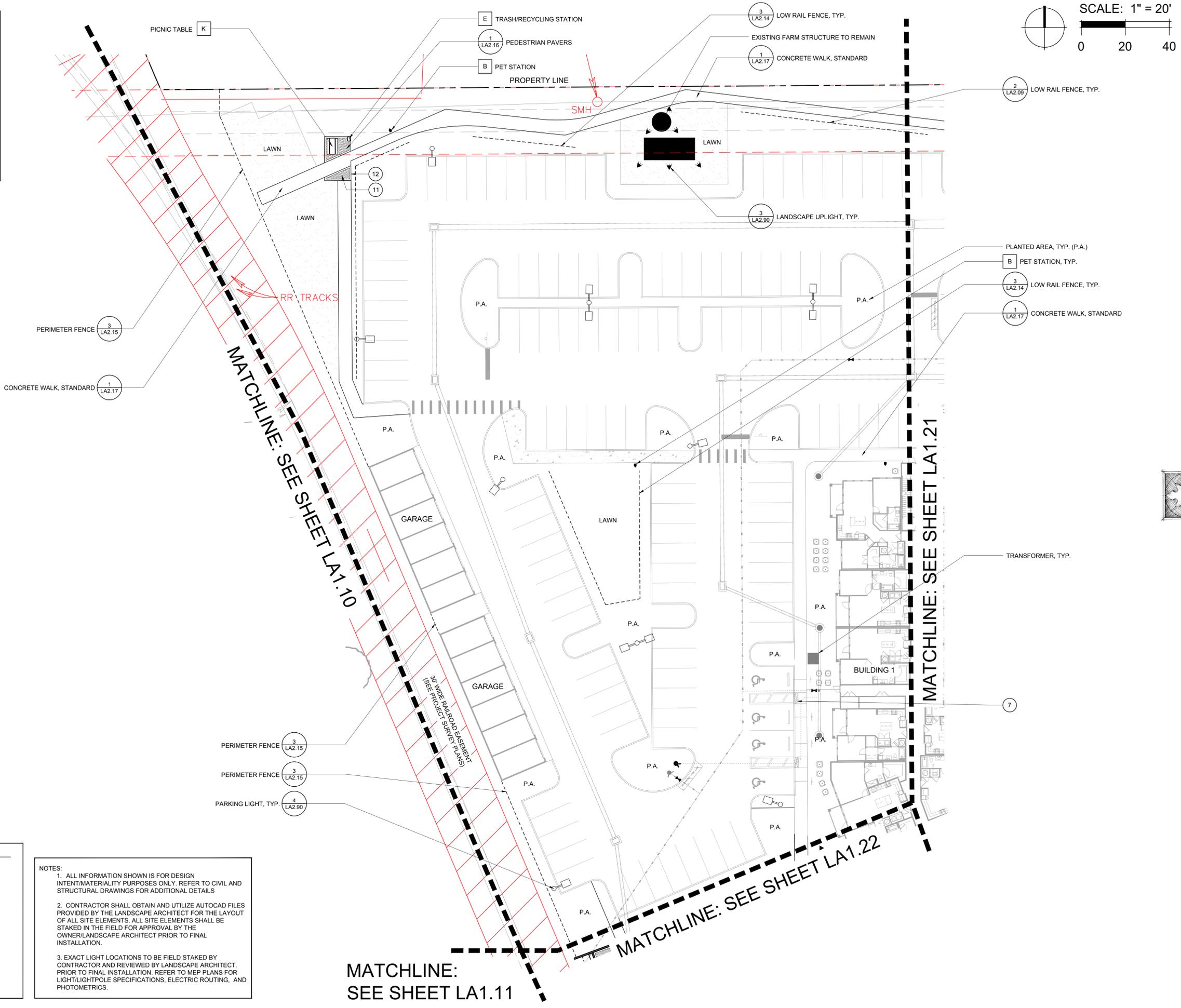
WOOD PARTNERS
401 S. Dixie Hwy., Suite 303, West Palm Beach, FL 33409
TEL 407.667.1777
FAX 407.667.1777

ARDS APE PLANS
Partl South Hardscape Plan

Sheet Number:
LA 00



Date:	10/16/19
Drawn by:	R/II
Reviewed by:	BH
Job Number:	50044
Revision:	Date:



SYMBOL LEGEND

1	SITE MATERIALS SCHEDULE REFERENCE, SEE SHEET LA3.00
A	SITE FURNISHINGS SCHEDULE REFERENCE, SEE SHEET LA3.10
B	PLANTER POT SCHEDULE REFERENCE, SEE SHEET LA3.20

LIGHTING LEGEND
REFER TO SHEET LA2.90 FOR LIGHTING SCHEDULE; SEE M.E.P. PLANS FOR ADDITIONAL INFO AND POWER PLAN

	PARKING LIGHT
	DECORATIVE STREET LIGHT / PARK AREA LIGHT
	LANDSCAPE UPLIGHT
	COLUMN LIGHT
	FOUNTAIN UPLIGHT
	ARBOR DOWNLIGHT
	FESTOON LIGHTING

NOTES:

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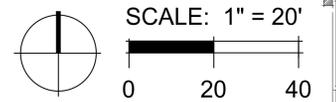
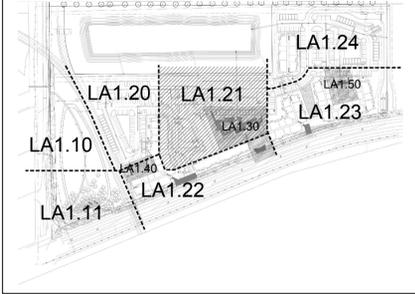
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401 S. Dixie Hwy., Suite 303, West Palm Beach, FL 33411
TEL 407.687.1777
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ARDS APE PLANS
Northwest Hardscape Callout Plan

Sheet Number:
LA 10

KEY:

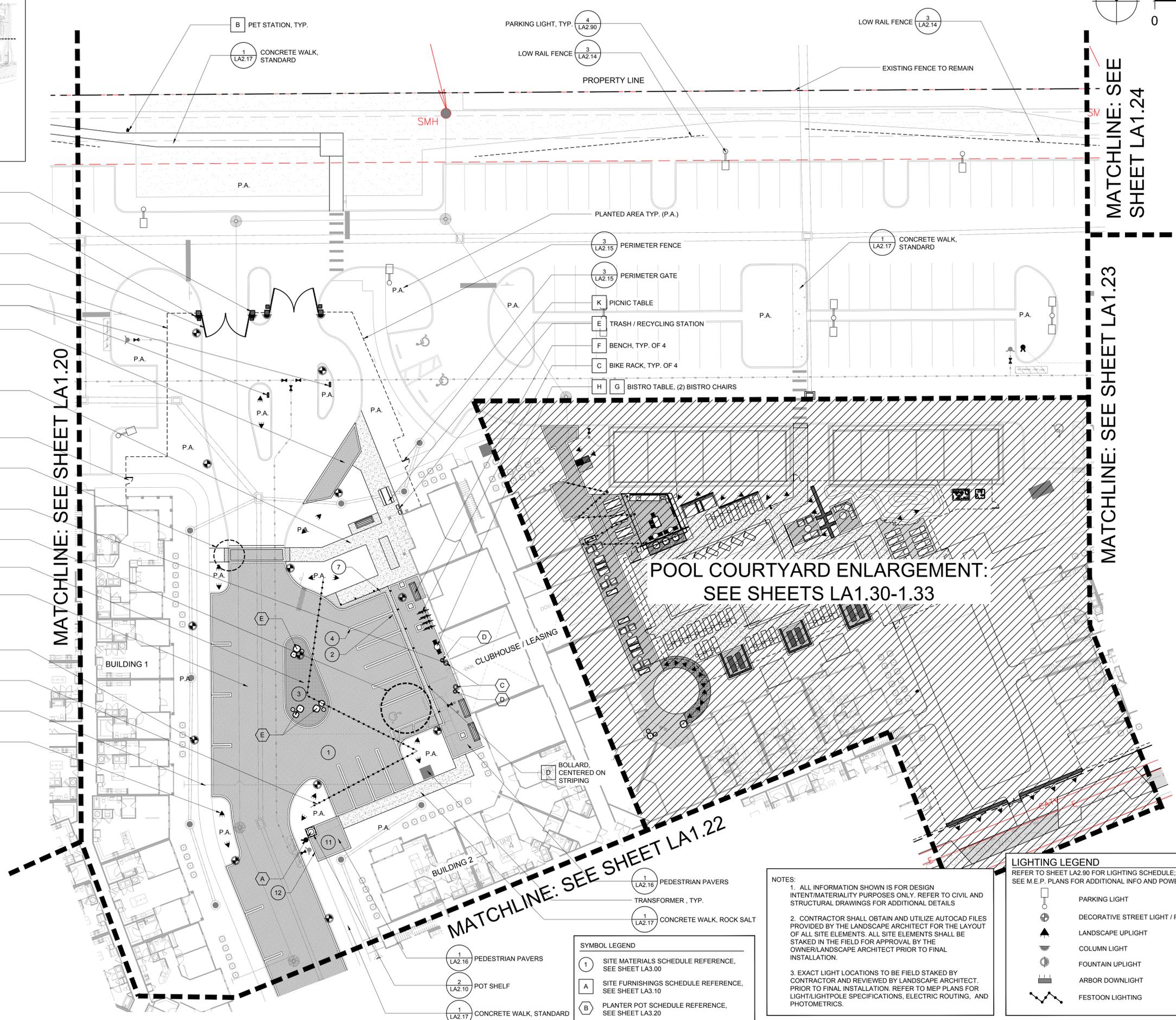


Date: 10/16/19
Drawn by: R/J
Reviewed by: BH
Job Number: 50044
Revision: Date:

- 1 LA2.10 BRICK COLUMN, TYP.
- 8 LA2.90 COLUMN LIGHT, TYP.
- 2 LA2.08 VEHICULAR GATE
- 3 LA2.15 PERIMETER FENCE
- CALL BOX
- 2 LA2.16 VEHICULAR PAVERS
- 1 LA2.17 CONCRETE WALK, ROCK SALT
- 3 LA2.15 PERIMETER GATE
- 4 LA2.16 PAVER CROSSWALK PAVING ENLARGEMENT
- 1 LA3.20 PLANTER POT, TYP.
- 3 LA2.16 ADA PARKING SYMBOL PAVING ENLARGEMENT
- J PAVER GRATE B
- 2 LA2.16 VEHICULAR PAVERS, TYP.
- 5 LA2.90 DECORATIVE STREET LIGHT, TYP.
- 6 LA2.90 FESTOON LIGHTING
- 1 LA2.17 CONCRETE WALK, STANDARD
- 3 LA2.90 LANDSCAPE UPLIGHT, TYP.

MATCHLINE: SEE SHEET LA1.20

MATCHLINE: SEE SHEET LA1.23
MATCHLINE: SEE SHEET LA1.24



POOL COURTYARD ENLARGEMENT:
SEE SHEETS LA1.30-1.33

MATCHLINE: SEE SHEET LA1.22

- 1 LA2.16 PEDESTRIAN PAVERS
- 2 LA2.10 POT SHELF
- 1 LA2.17 CONCRETE WALK, STANDARD

SYMBOL LEGEND	
1	SITE MATERIALS SCHEDULE REFERENCE, SEE SHEET LA3.00
A	SITE FURNISHINGS SCHEDULE REFERENCE, SEE SHEET LA3.10
B	PLANTER POT SCHEDULE REFERENCE, SEE SHEET LA3.20

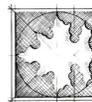
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LIGHTING LEGEND	
	PARKING LIGHT
	DECORATIVE STREET LIGHT / PARK AREA LIGHT
	LANDSCAPE UPLIGHT
	COLUMN LIGHT
	FOUNTAIN UPLIGHT
	ARBOR DOWNLIGHT
	FESTOON LIGHTING

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Wood Partners
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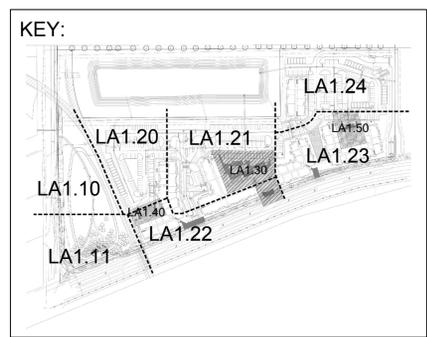
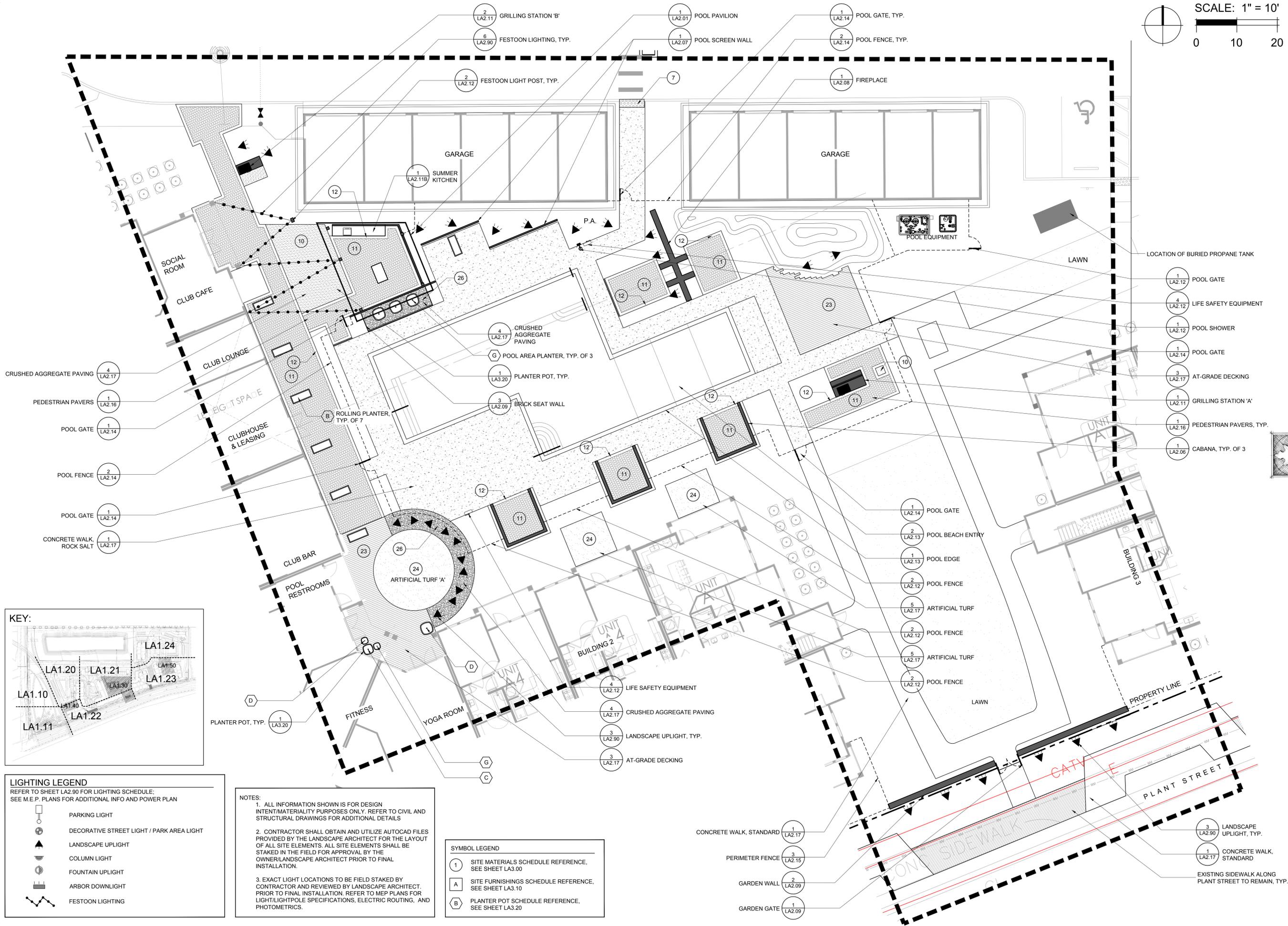


DIX.HITE
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1515 WOODLAND AVENUE
LOUISVILLE, KY 40202
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FAX 502.462.1777

ARDS APE PLANS

Central Hardscape Callout Plan

Sheet Number:
LA 11



LIGHTING LEGEND
 REFER TO SHEET LA2.90 FOR LIGHTING SCHEDULE;
 SEE M.E.P. PLANS FOR ADDITIONAL INFO AND POWER PLAN

	PARKING LIGHT
	DECORATIVE STREET LIGHT / PARK AREA LIGHT
	LANDSCAPE UPLIGHT
	COLUMN LIGHT
	FOUNTAIN UPLIGHT
	ARBOR DOWNLIGHT
	FESTOON LIGHTING

NOTES:

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SYMBOL LEGEND

	SITE MATERIALS SCHEDULE REFERENCE, SEE SHEET LA3.00
	SITE FURNISHINGS SCHEDULE REFERENCE, SEE SHEET LA3.10
	PLANTER POT SCHEDULE REFERENCE, SEE SHEET LA3.20

- 1 LA2.12 POOL GATE
- 4 LA2.12 LIFE SAFETY EQUIPMENT
- 1 LA2.12 POOL SHOWER
- 1 LA2.14 POOL GATE
- 3 LA2.17 AT-GRADE DECKING
- 1 LA2.11 GRILLING STATION 'A'
- 1 LA2.16 PEDESTRIAN PAVERS, TYP.
- 1 LA2.06 CABANA, TYP. OF 3

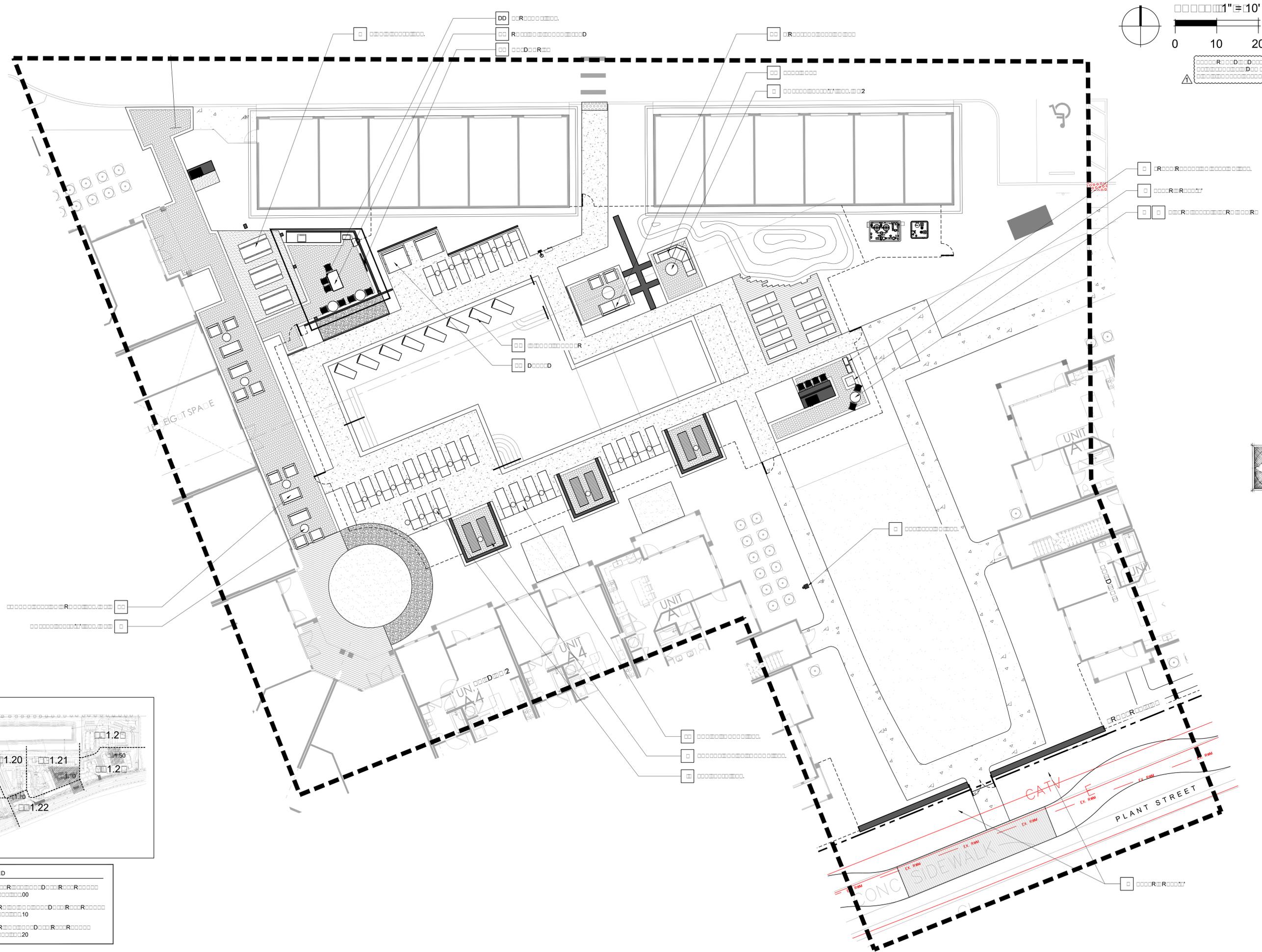
- 4 LA2.17 CRUSHED AGGREGATE PAVING
- 1 LA2.16 PEDESTRIAN PAVERS
- 1 LA2.14 POOL GATE
- 2 LA2.14 POOL FENCE
- 1 LA2.14 POOL GATE
- 1 LA2.17 CONCRETE WALK, ROCK SALT

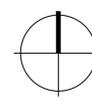
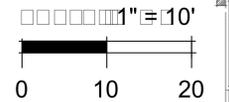
- 4 LA2.12 LIFE SAFETY EQUIPMENT
- 4 LA2.17 CRUSHED AGGREGATE PAVING
- 3 LA2.90 LANDSCAPE UPLIGHT, TYP.
- 3 LA2.17 AT-GRADE DECKING

- 1 LA2.14 POOL GATE
- 2 LA2.13 POOL BEACH ENTRY
- 1 LA2.13 POOL EDGE
- 2 LA2.12 POOL FENCE
- 5 LA2.17 ARTIFICIAL TURF
- 2 LA2.12 POOL FENCE
- 5 LA2.17 ARTIFICIAL TURF
- 2 LA2.12 POOL FENCE

- 1 LA2.17 CONCRETE WALK, STANDARD
- 3 LA2.15 PERIMETER FENCE
- 2 LA2.09 GARDEN WALL
- 1 LA2.09 GARDEN GATE

- 3 LA2.90 LANDSCAPE UPLIGHT, TYP.
- 1 LA2.17 CONCRETE WALK, STANDARD
- EXISTING SIDEWALK ALONG PLANT STREET TO REMAIN, TYP.

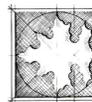


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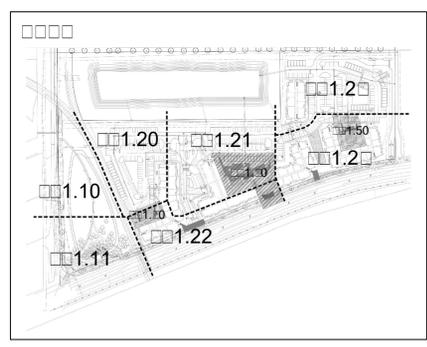
Date:	10/16/19
Drawn by:	R/J
Reviewed by:	BH
Job Number:	50044
Revision:	Date:
1	11/21/19

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 Winter Garden, FL
Wood Partners
 401 S. Dixie Hwy., Suite 303, West Palm Beach, FL 33



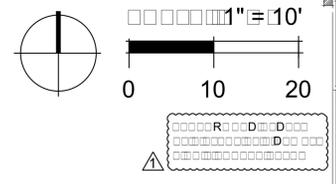
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 + PARTNERS
 1501 WOODS FLORENCE
 LOUISIANA, FLORIDA
 TEL 407.667.1777
 FAX 407.667.1777

ARDS APE PLANS
 Pool Courtyard Furnishings Plan

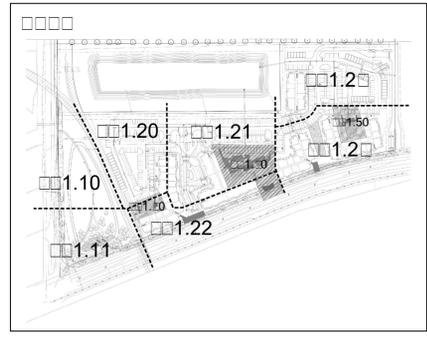
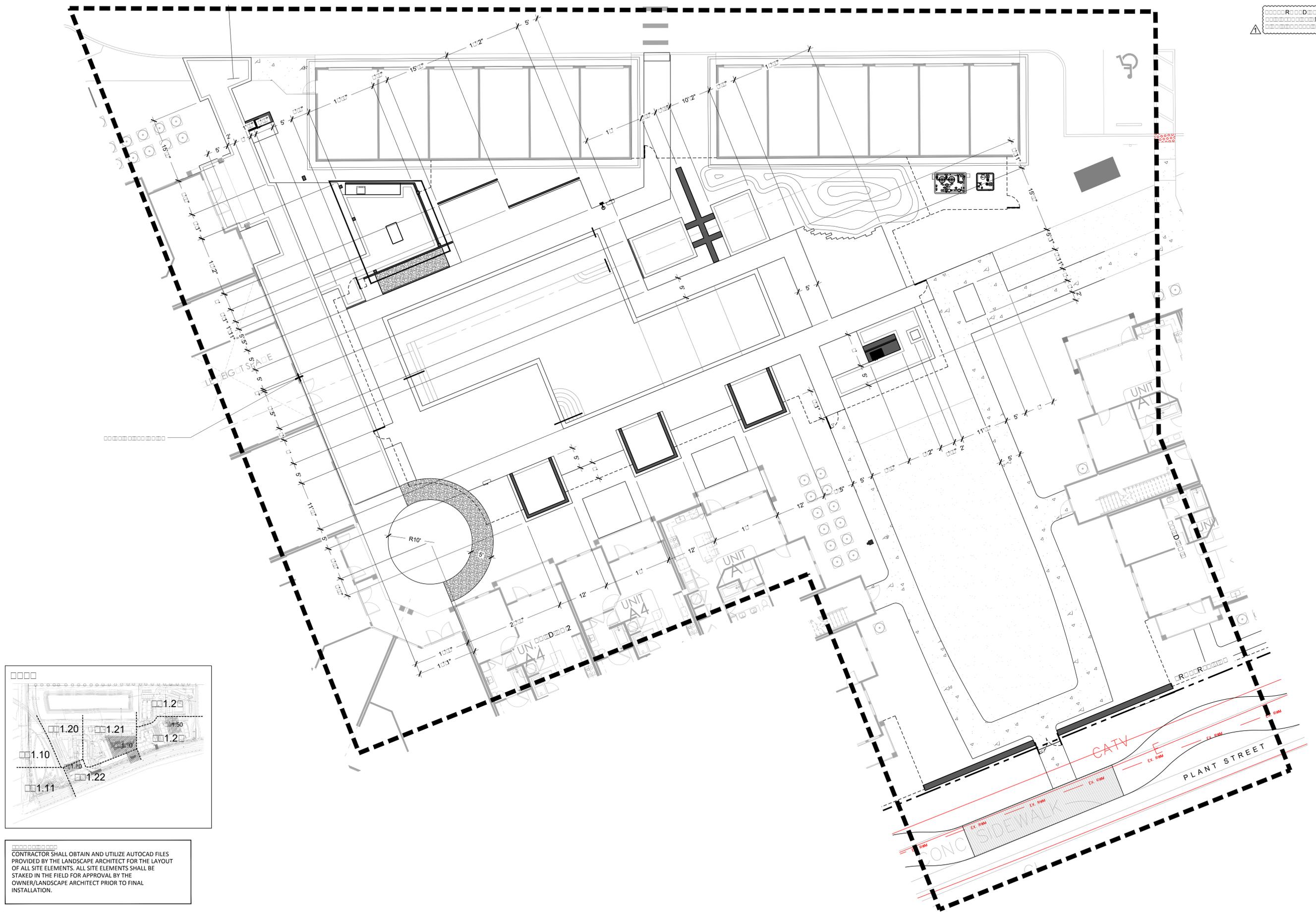


	M R D 00
	R R D R R 10
	R R D R R 20

Sheet Number:
LA 00



Date:	10/16/19
Drawn by:	RJ/II
Reviewed by:	BH
Job Number:	50044
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CONTRACTOR SHALL OBTAIN AND UTILIZE AUTOCAD FILES PROVIDED BY THE LANDSCAPE ARCHITECT FOR THE LAYOUT OF ALL SITE ELEMENTS. ALL SITE ELEMENTS SHALL BE STAKED IN THE FIELD FOR APPROVAL BY THE OWNER/LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.

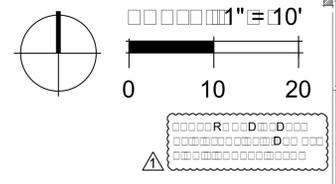
ALTA WINTER GARDEN
Winter Garden, FL

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401 S. Dixie Hwy., Suite 303, West Palm Beach, FL 33409
TEL 407.667.1777
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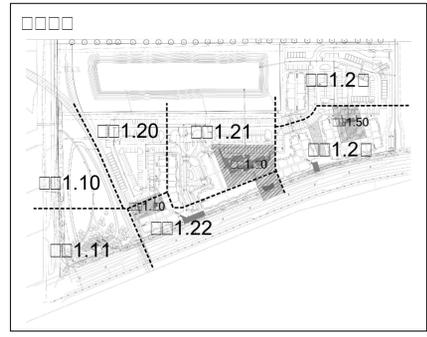
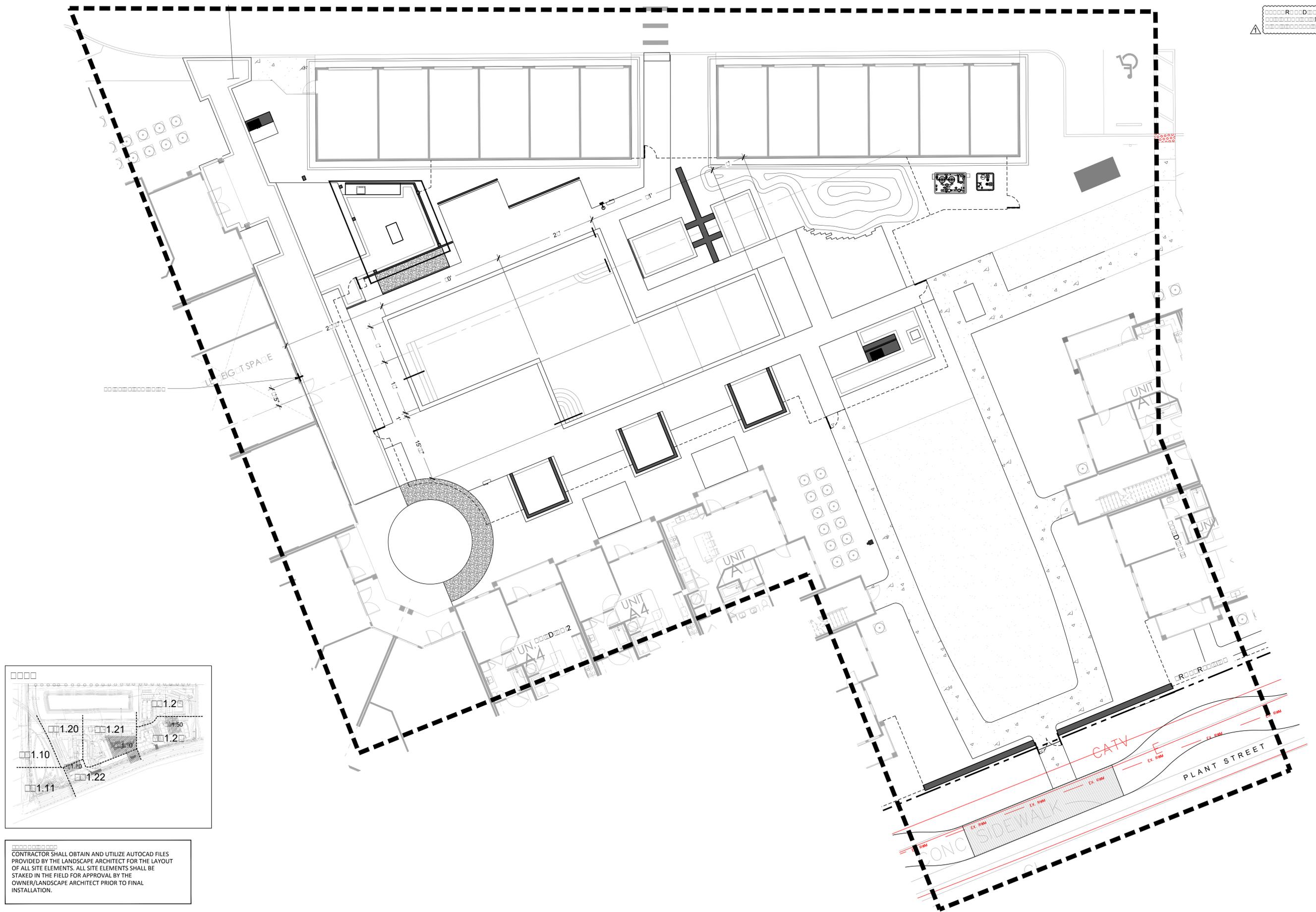


ARDS APE PLANS
Pool Decl Dimensioning Plan

Sheet Number:
LA 00



Date:	10/16/19
Drawn by:	RJ/LL
Reviewed by:	BH
Job Number:	50044
Revision:	Date:
1	11/21/19



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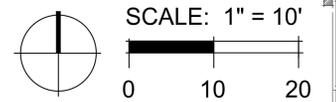
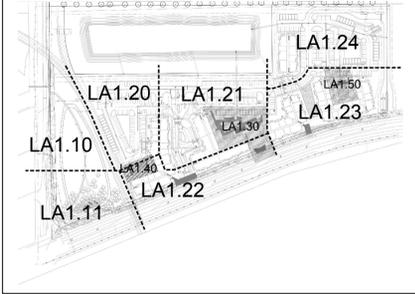
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FAX 407.667.1777



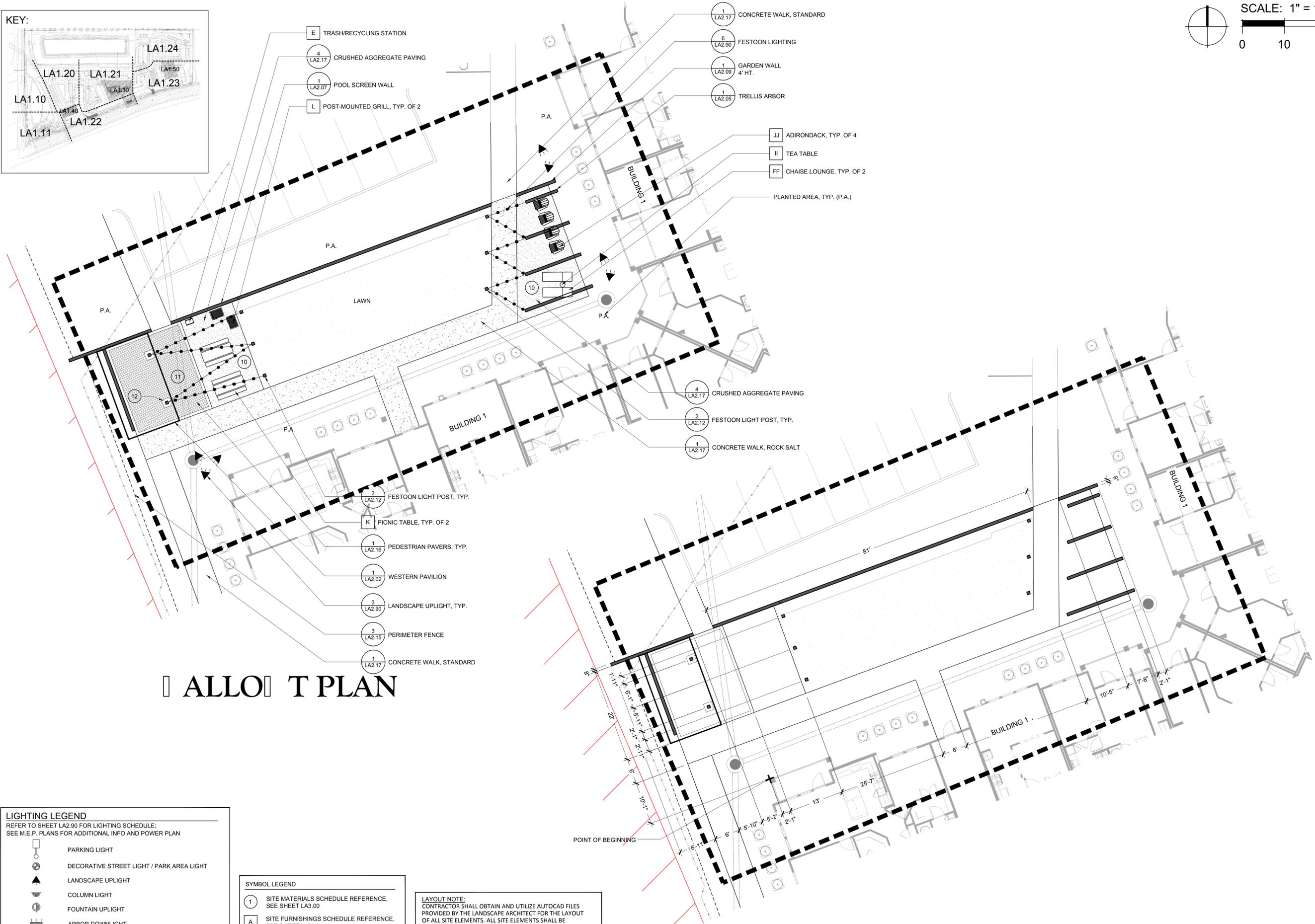
ARDS APE PLANS
Pool Dimensioning Plan

Sheet Number:
LA 00

KEY:



Date:	10/16/19
Drawn by:	R/11
Reviewed by:	BH
Job Number:	50044
Revision:	Date:



ALLOT PLAN

DIMENSIONING PLAN

LIGHTING LEGEND
REFER TO SHEET LA2.90 FOR LIGHTING SCHEDULE;
SEE M.E.P. PLANS FOR ADDITIONAL INFO AND POWER PLAN

	PARKING LIGHT
	DECORATIVE STREET LIGHT / PARK AREA LIGHT
	LANDSCAPE UPLIGHT
	COLUMN LIGHT
	FOUNTAIN UPLIGHT
	ARBOR DOWNLIGHT
	FESTOON LIGHTING

SYMBOL LEGEND

1	SITE MATERIALS SCHEDULE REFERENCE, SEE SHEET LA3.00
A	SITE FURNISHINGS SCHEDULE REFERENCE, SEE SHEET LA3.10
B	PLANTER POT SCHEDULE REFERENCE, SEE SHEET LA3.20

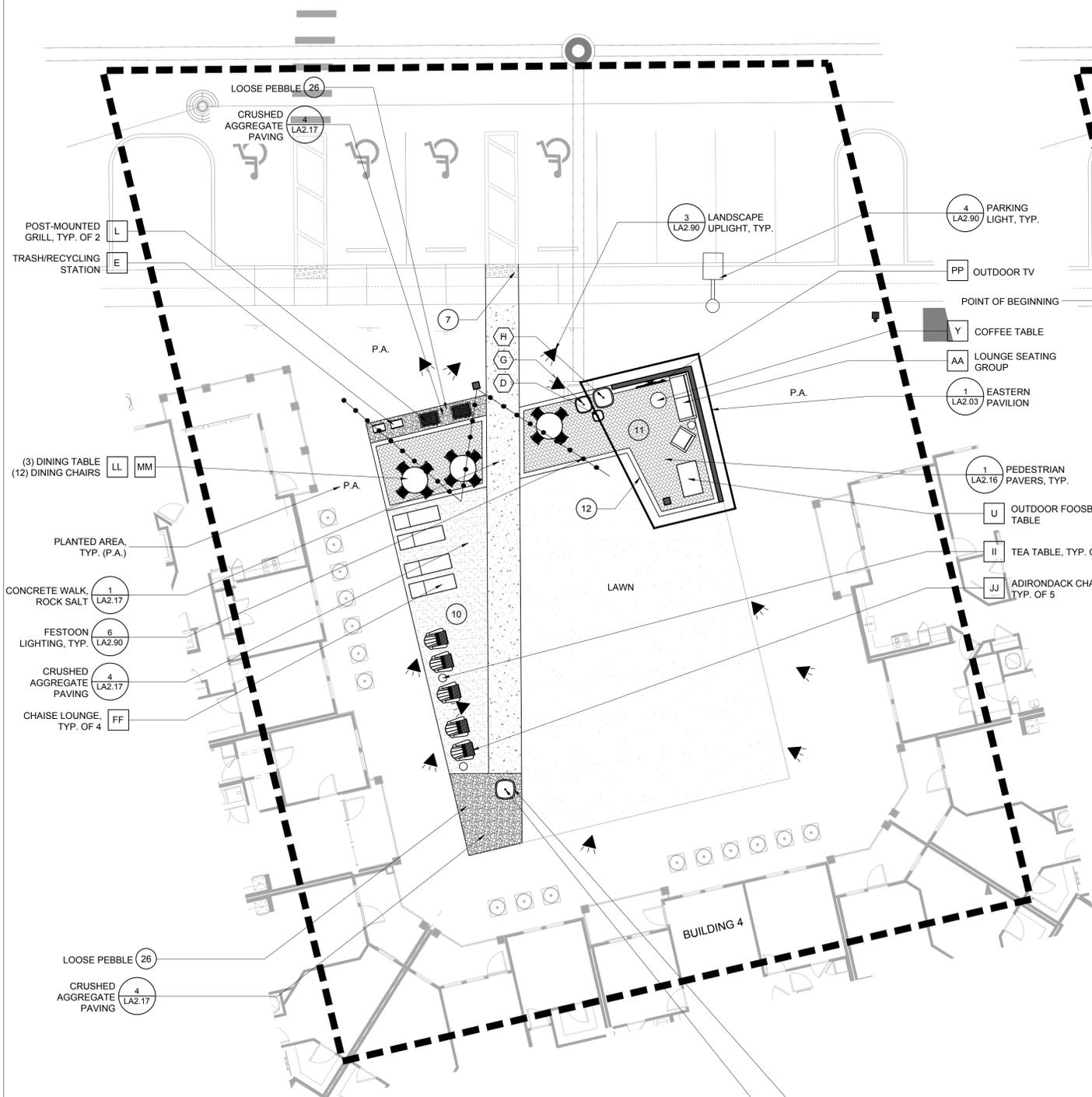
LAYOUT NOTE:
CONTRACTOR SHALL OBTAIN AND UTILIZE AUTOCAD FILES PROVIDED BY THE LANDSCAPE ARCHITECT FOR THE LAYOUT OF ALL SITE ELEMENTS. ALL SITE ELEMENTS SHALL BE STAKED IN THE FIELD FOR APPROVAL BY THE OWNER/LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.

ALTA WINTER GARDEN
Winter Garden, FL

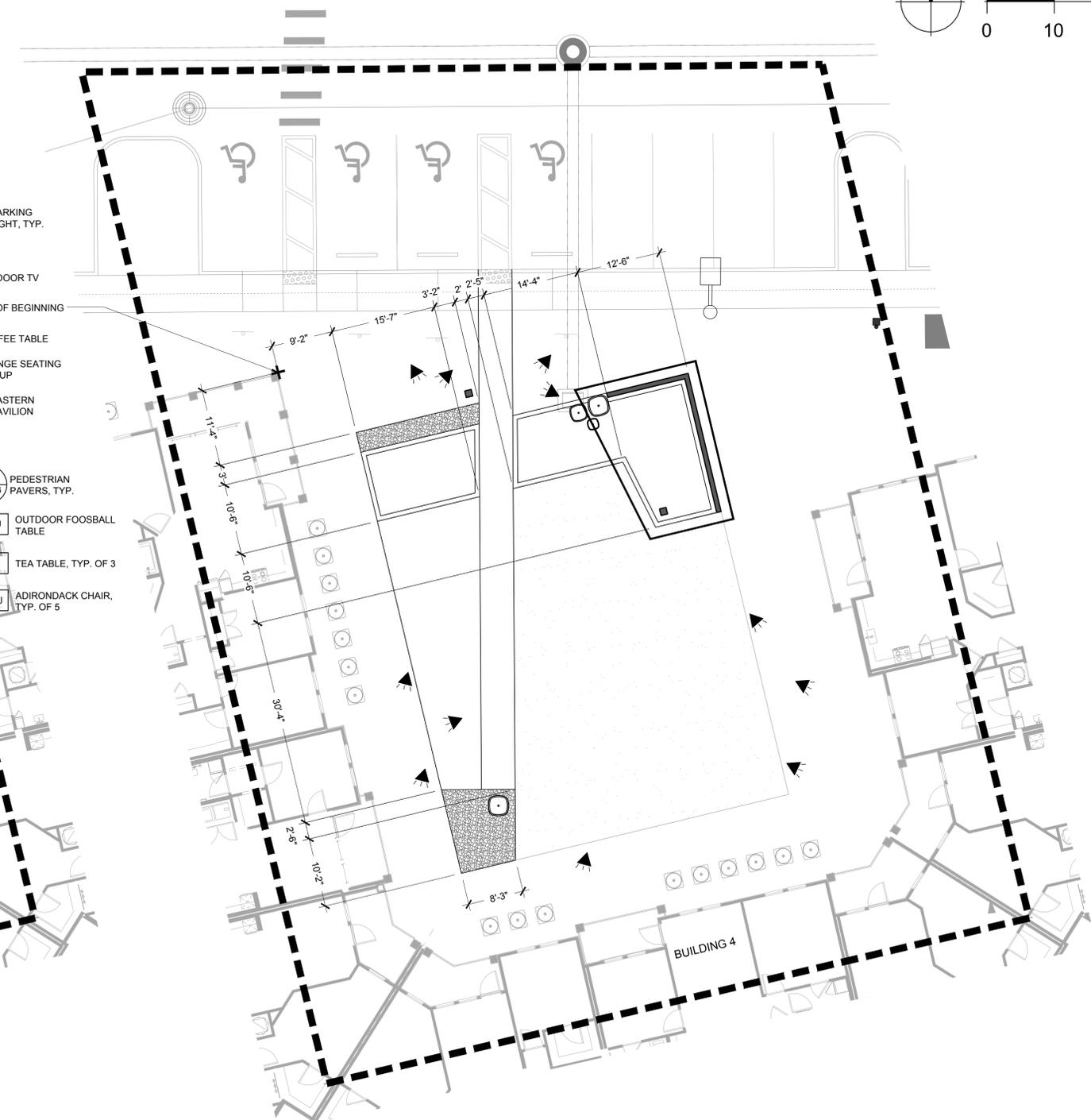
WOOD PARTNERS
401 S. Dixie Hwy., Suite 303, West Palm Beach, FL 33411
TEL 407.667.1777
FAX 407.667.1777

ARDS APE PLANS
West Courtyard Callout Dimensioning Plans

Sheet Number:
LA 10



ALLO T PLAN



DIMENSIONING PLAN

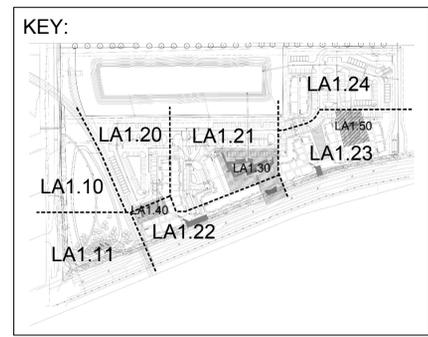
LIGHTING LEGEND
 REFER TO SHEET LA2.90 FOR LIGHTING SCHEDULE;
 SEE M.E.P. PLANS FOR ADDITIONAL INFO AND POWER PLAN

	PARKING LIGHT
	DECORATIVE STREET LIGHT / PARK AREA LIGHT
	LANDSCAPE UPLIGHT
	COLUMN LIGHT
	FOUNTAIN UPLIGHT
	ARBOR DOWNLIGHT
	FESTOON LIGHTING

SYMBOL LEGEND

	SITE MATERIALS SCHEDULE REFERENCE, SEE SHEET LA3.00
	SITE FURNISHINGS SCHEDULE REFERENCE, SEE SHEET LA3.10
	PLANTER POT SCHEDULE REFERENCE, SEE SHEET LA3.20

LAYOUT NOTE:
 CONTRACTOR SHALL OBTAIN AND UTILIZE AUTOCAD FILES PROVIDED BY THE LANDSCAPE ARCHITECT FOR THE LAYOUT OF ALL SITE ELEMENTS. ALL SITE ELEMENTS SHALL BE STAKED IN THE FIELD FOR APPROVAL BY THE OWNER/LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.

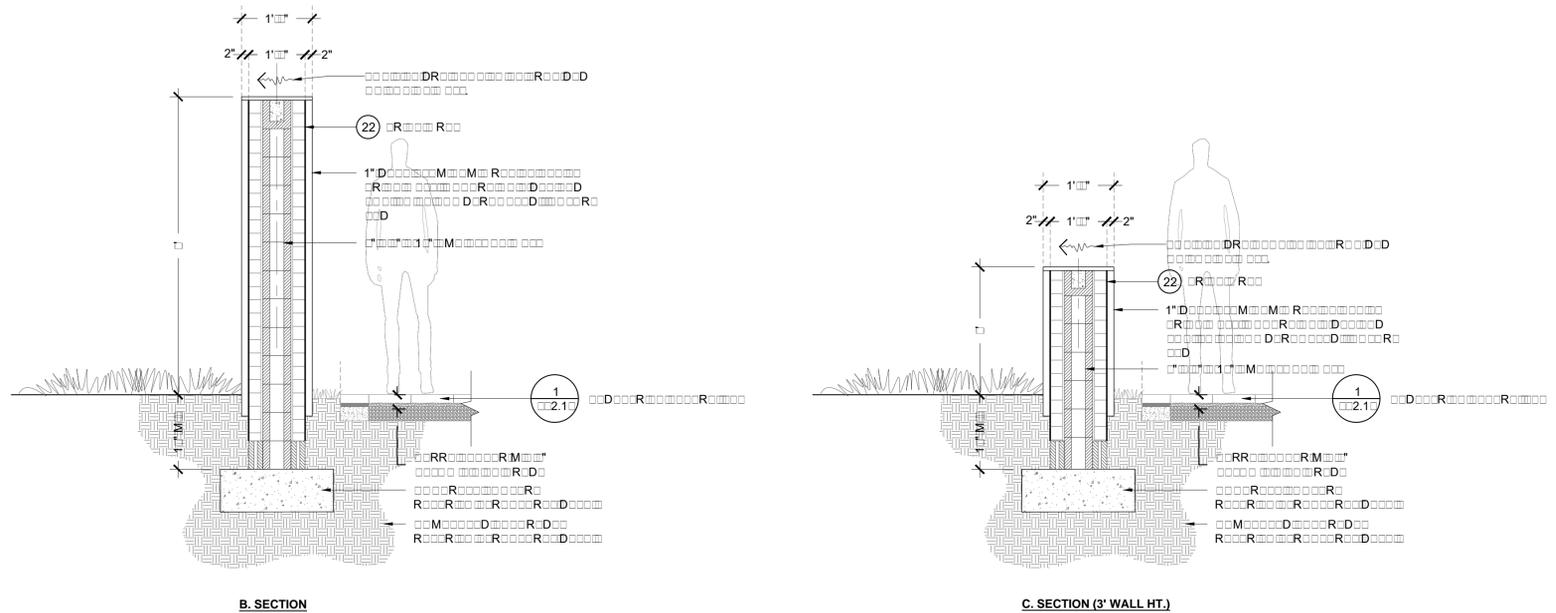
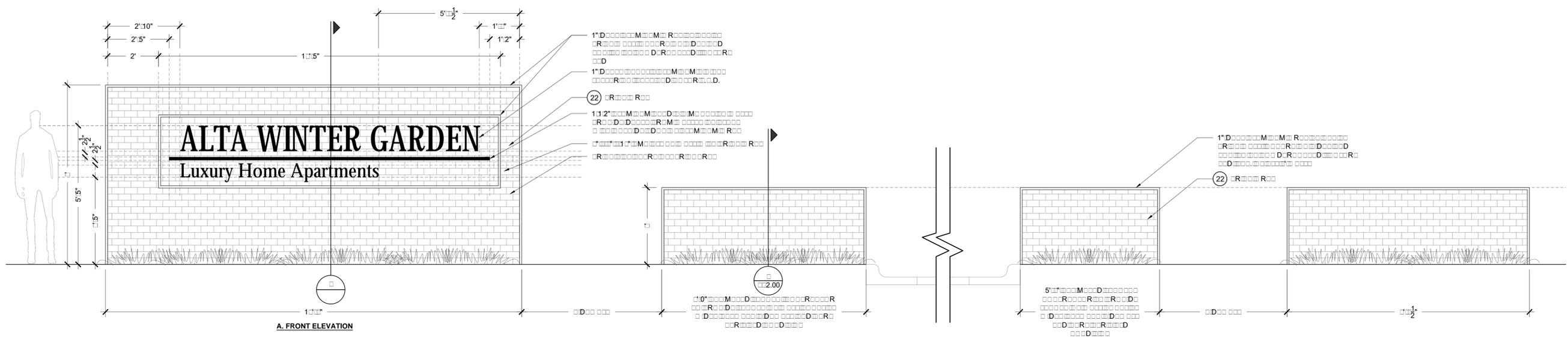


ALTA WINTER GARDEN
 Winter Garden, FL
Wood Partners
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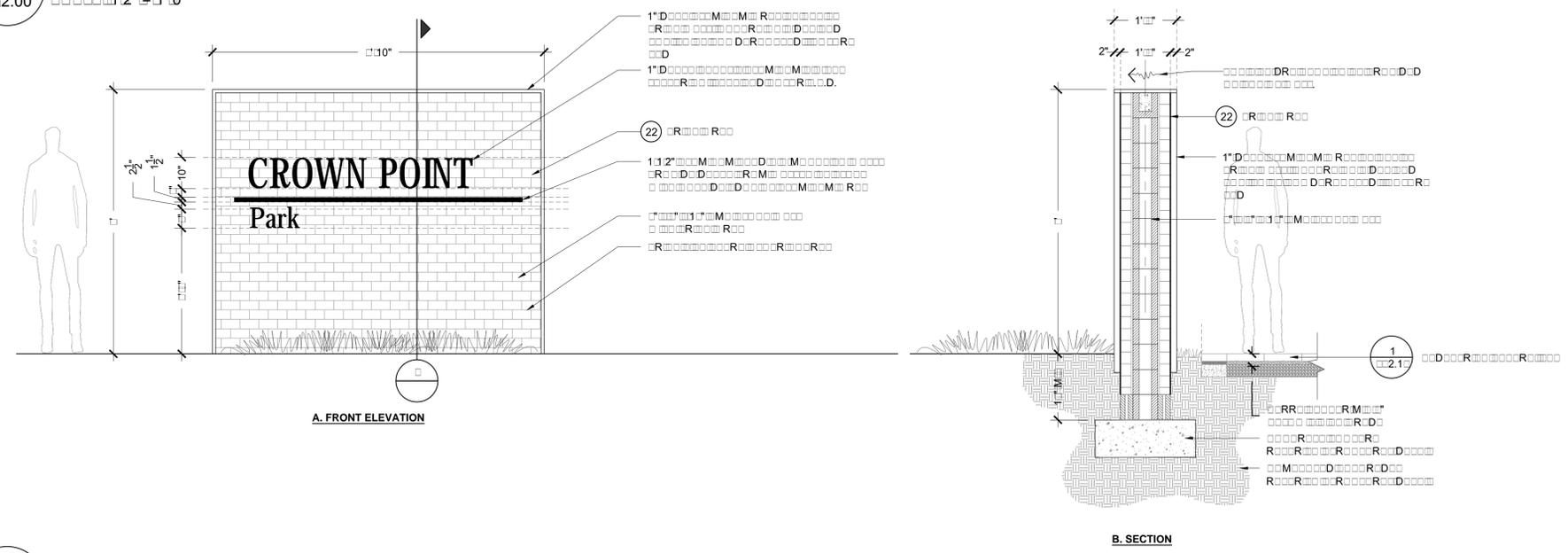


ARDS APE PLANS
 Courtyard Callout Dimensioning Plans

Date:	10/16/19
Drawn by:	R/J
Reviewed by:	BH
Job Number:	5004
Revision:	Date:



1
2.00
1/2" = 1'-0"



2
2.00
1/2" = 1'-0"

ALTA WINTER GARDEN
Winter Garden, FL

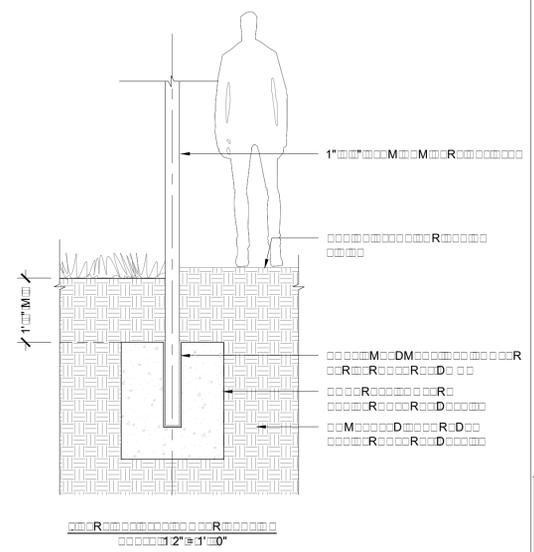
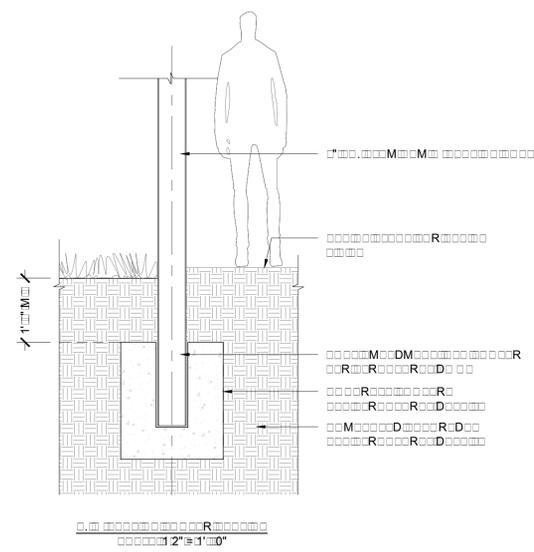
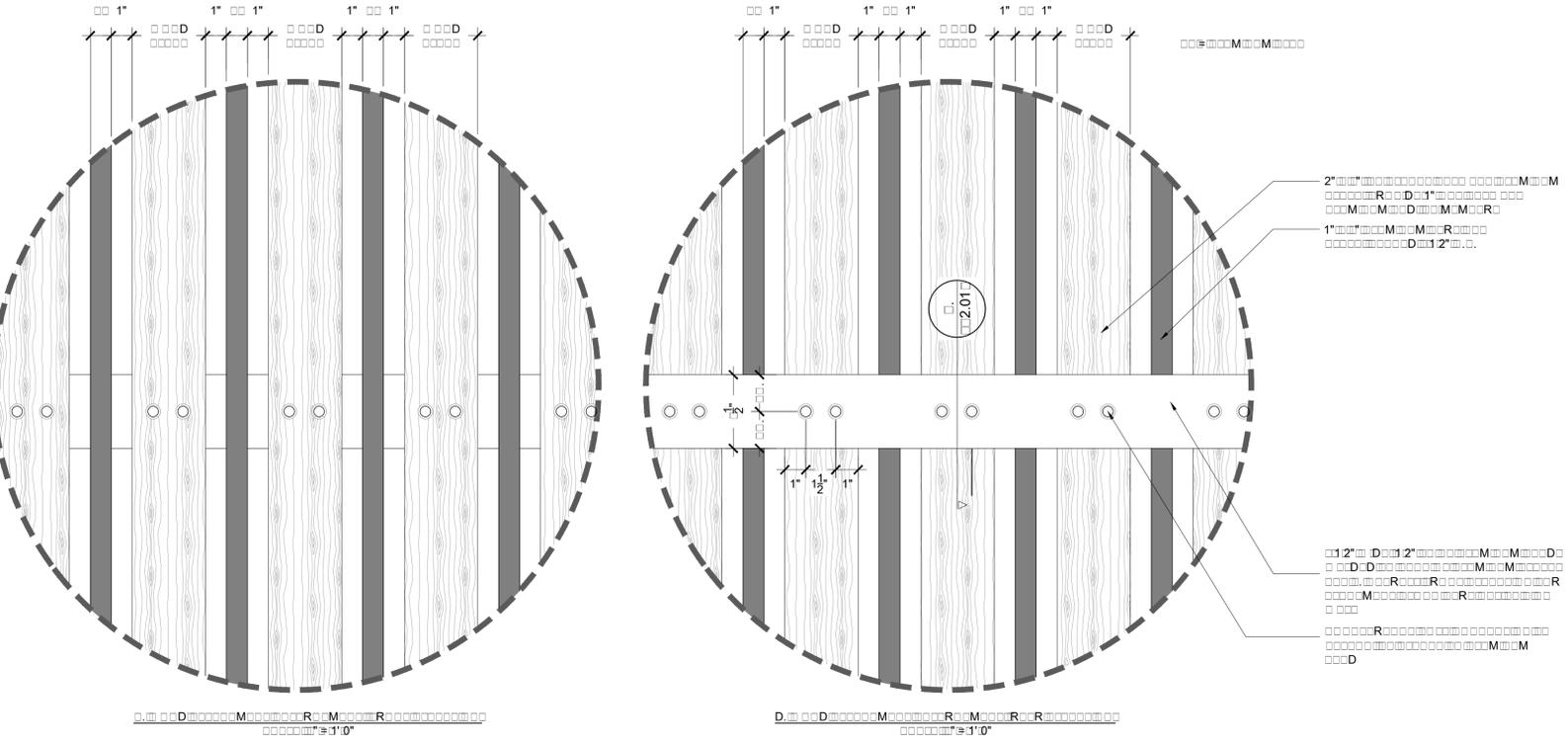
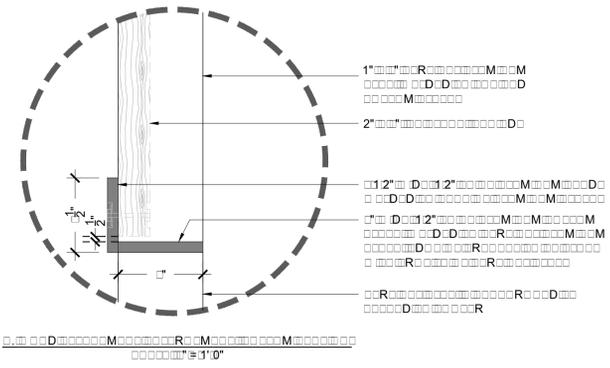
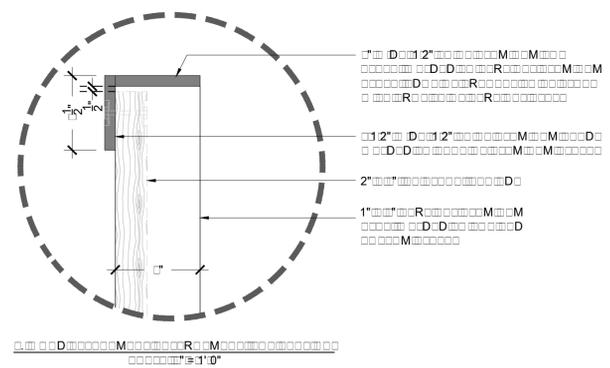
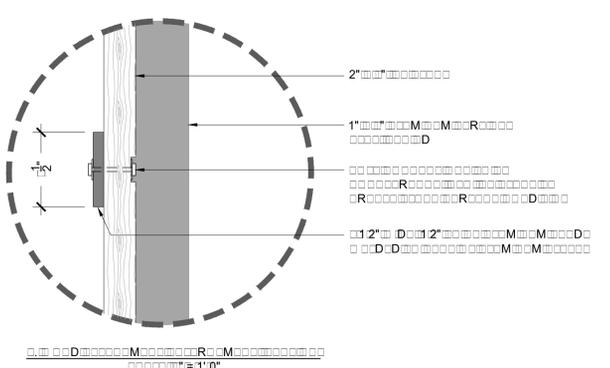
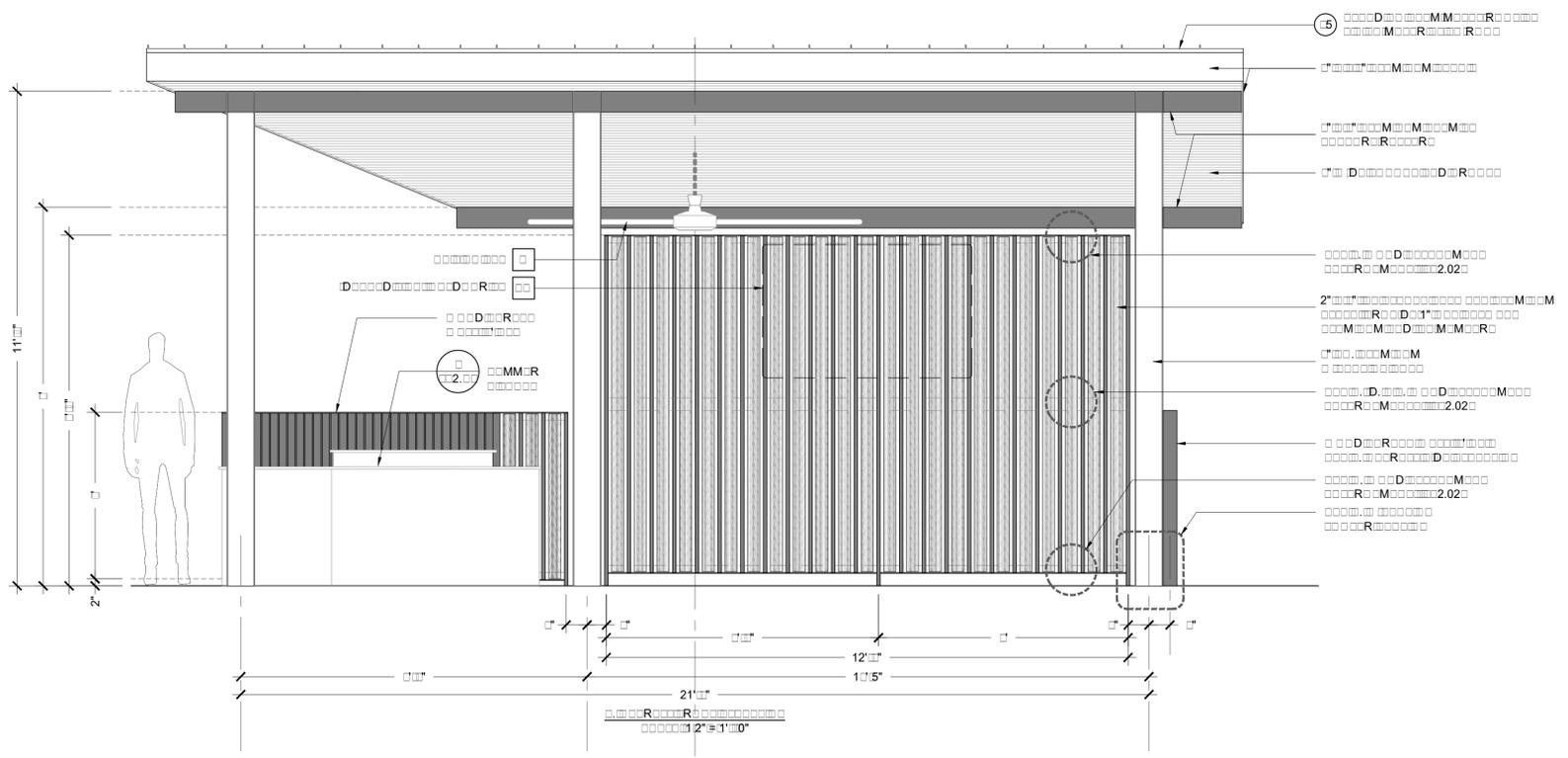
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FAX 407.467.1779

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+ PARTNERS
150 WOOD FLOOR
TEL 407.467.1777
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ARDS APE PLANS
Hardscape Details

Sheet Number:
LA .00

Date:	10/16/19
Drawn by:	R/J
Reviewed by:	BH
Job Number:	5004
Revision:	Date:



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+ PARTNERS

155 WOOD FLOREAU
LONGWOOD, FL 32779
TEL 407.467.1777
FAX 407.467.1777

ARDS] APE PLANS

Hardscape Details

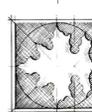
1
2.01
12" x 1'0"

Sheet Number:
LA .01

Date:	10/16/19
Drawn by:	R/ /
Reviewed by:	BH
Job Number:	5004
Revision:	Date:

ALTA WINTER GARDEN
Winter Garden, FL

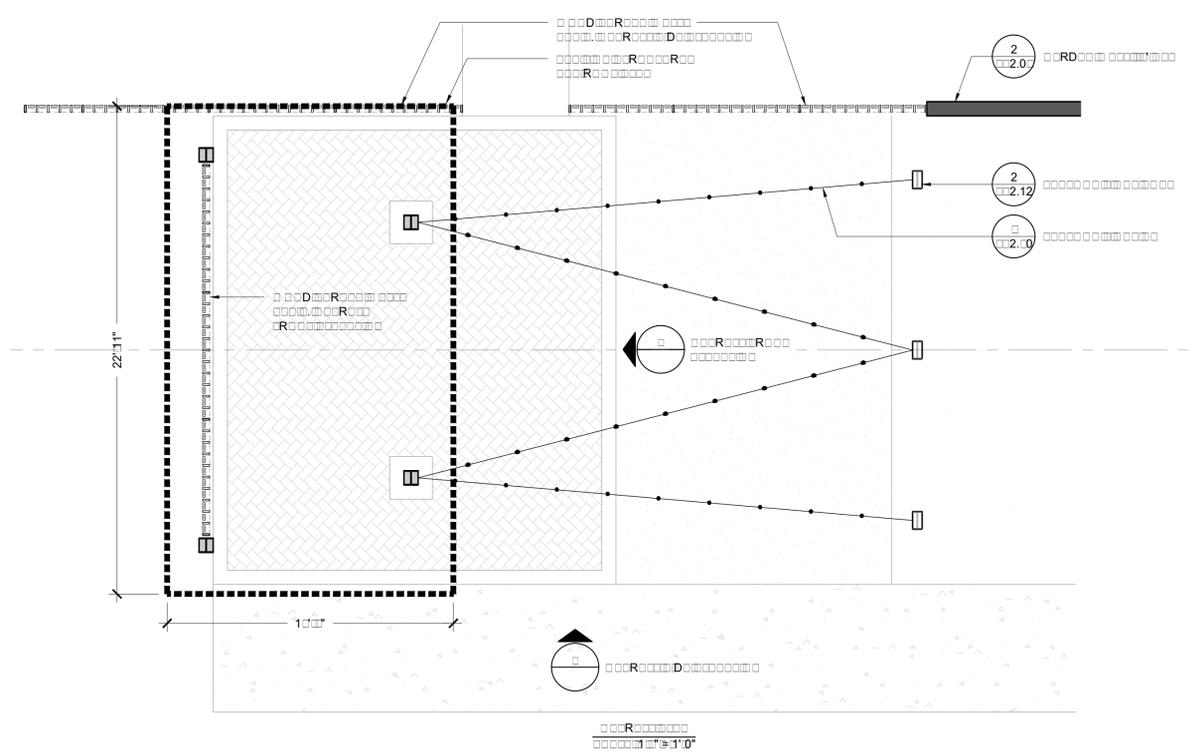
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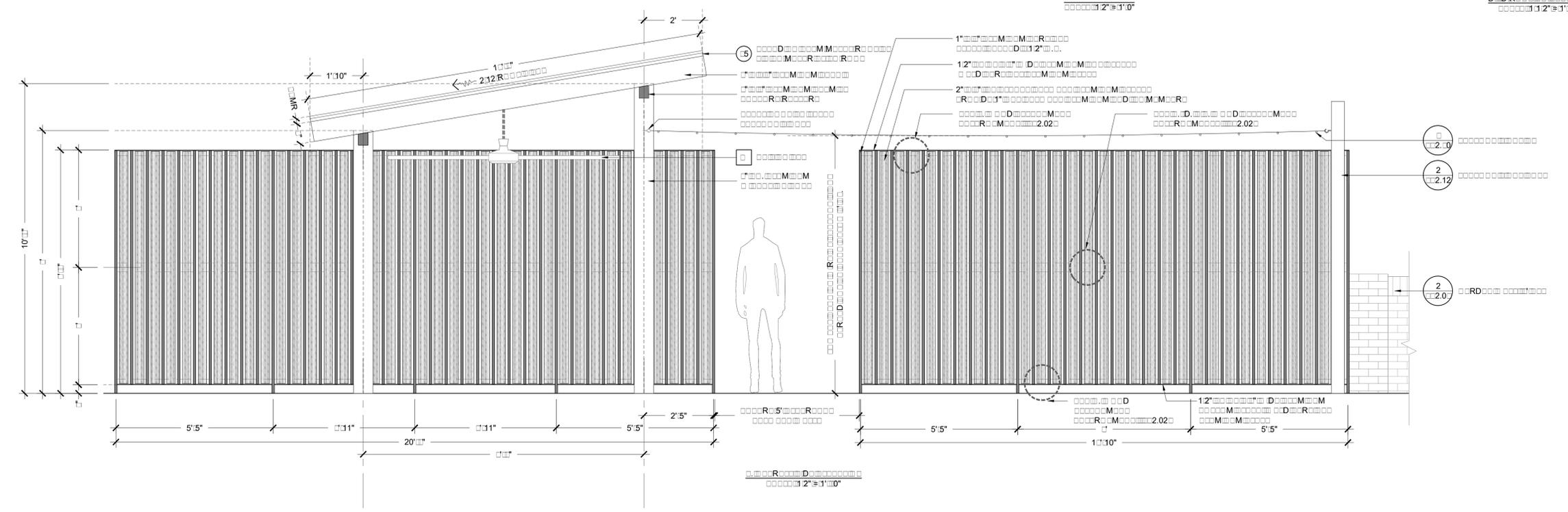
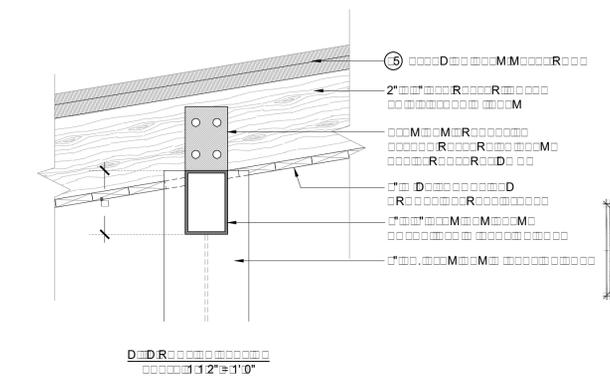
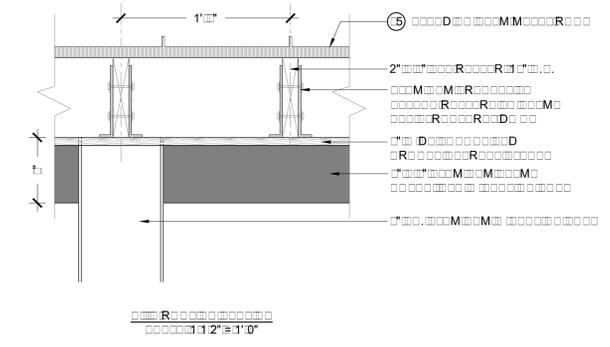
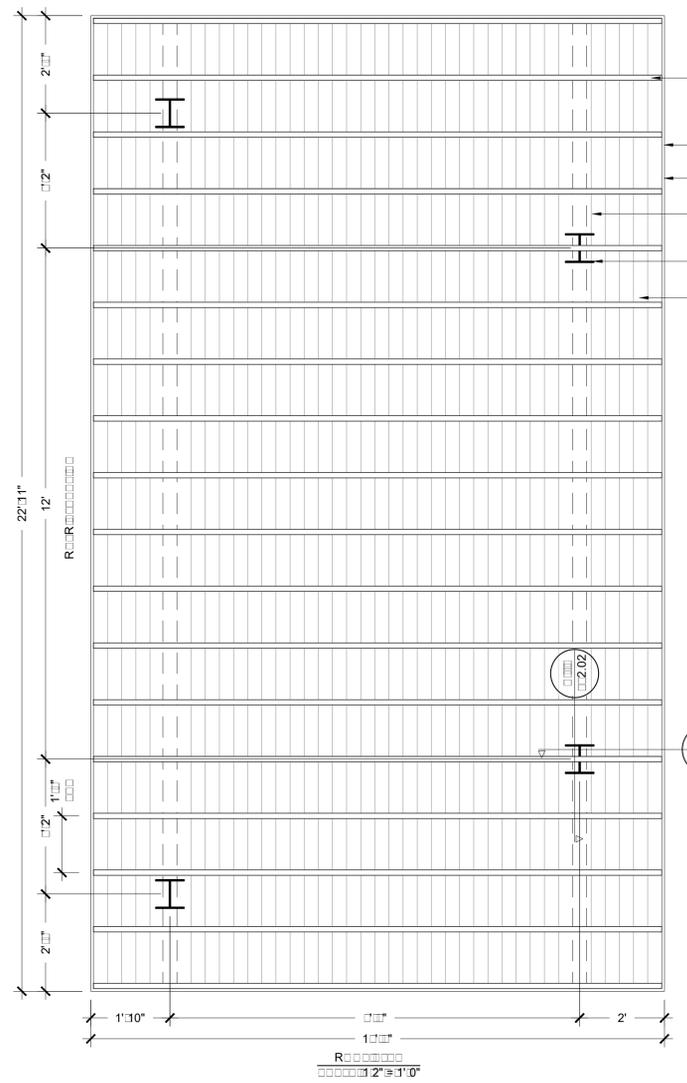
DIX.HITE
+ PARTNERS
150 WOODLAND BLVD
LONGWOOD, FLORIDA
TEL 407.467.1777
FAX 407.467.1779

ARDS] APE PLANS
Hardscape Details

Sheet Number:
LA] .01



Legend:
 [Symbol] 2 @ 2.0
 [Symbol] 2 @ 2.12
 [Symbol] 2 @ 2.0
 [Symbol] 2 @ 2.12
 [Symbol] 2 @ 2.0
 [Symbol] 2 @ 2.12
 [Symbol] 2 @ 2.0
 [Symbol] 2 @ 2.12



1
2.02
1.2" @ 1'0"

Date:	10/16/19
Drawn by:	R/J
Reviewed by:	BH
Job Number:	5004
Revision:	Date:

ALTA WINTER GARDEN
Winter Garden, FL

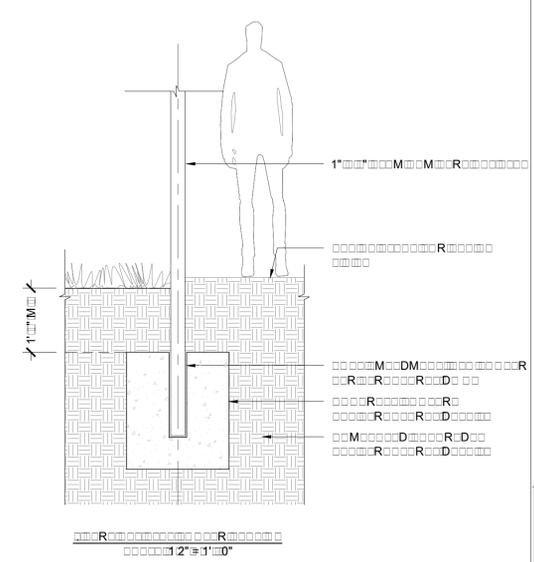
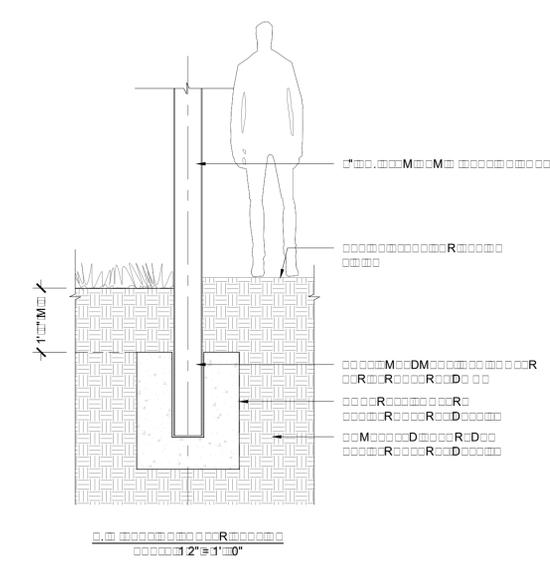
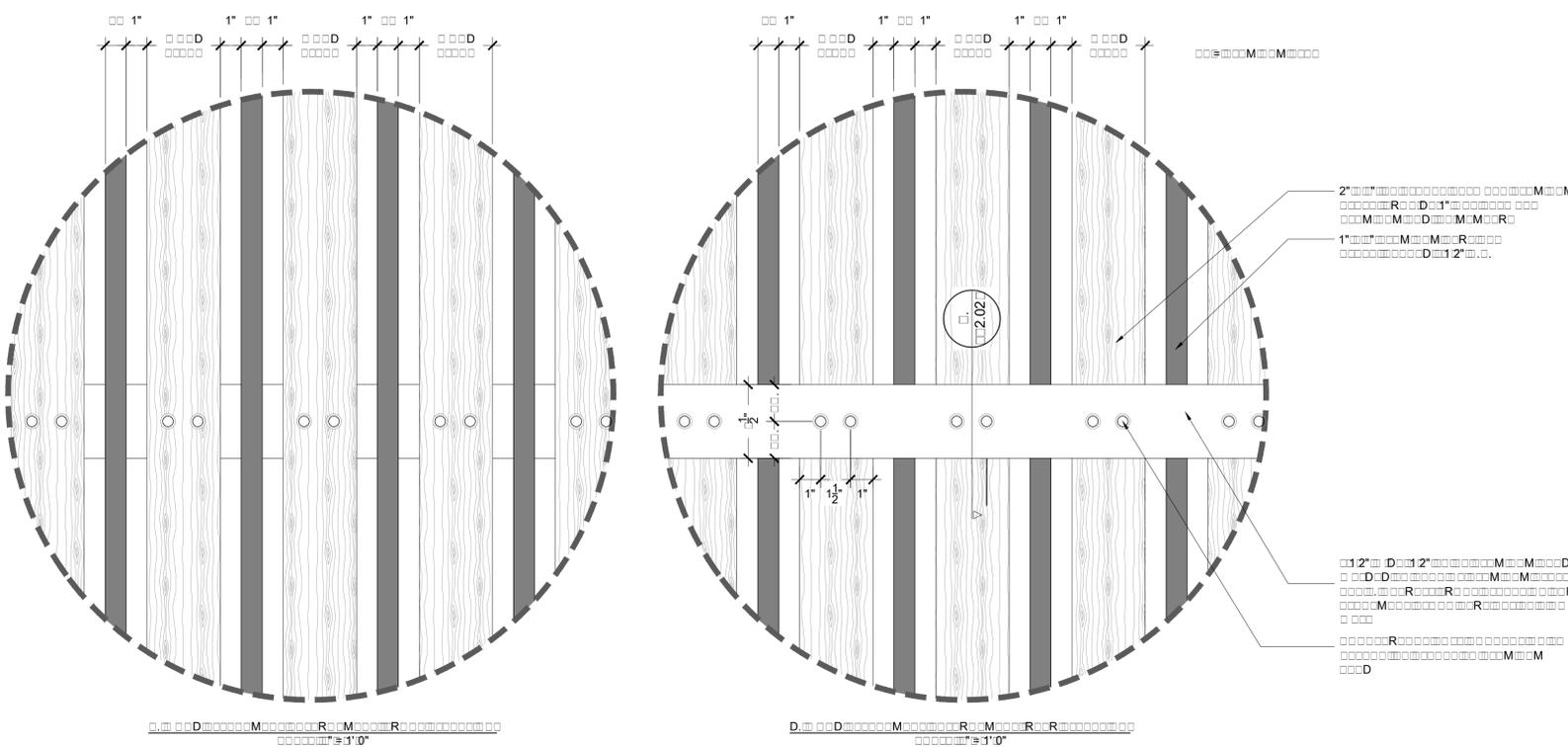
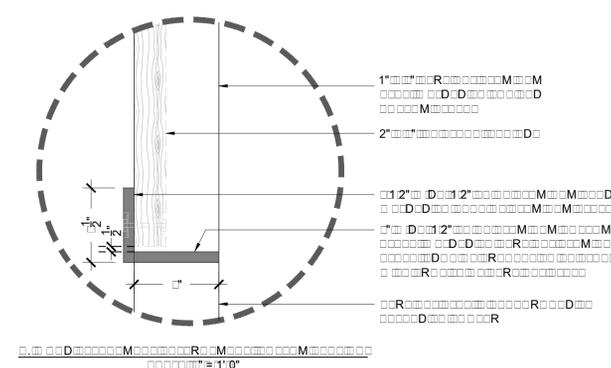
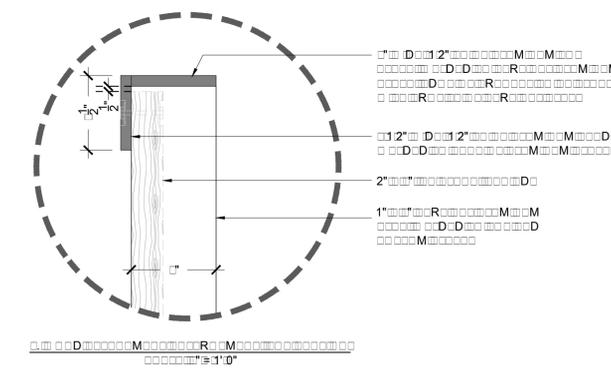
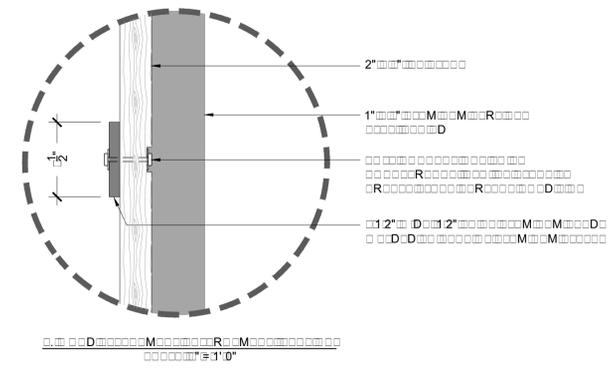
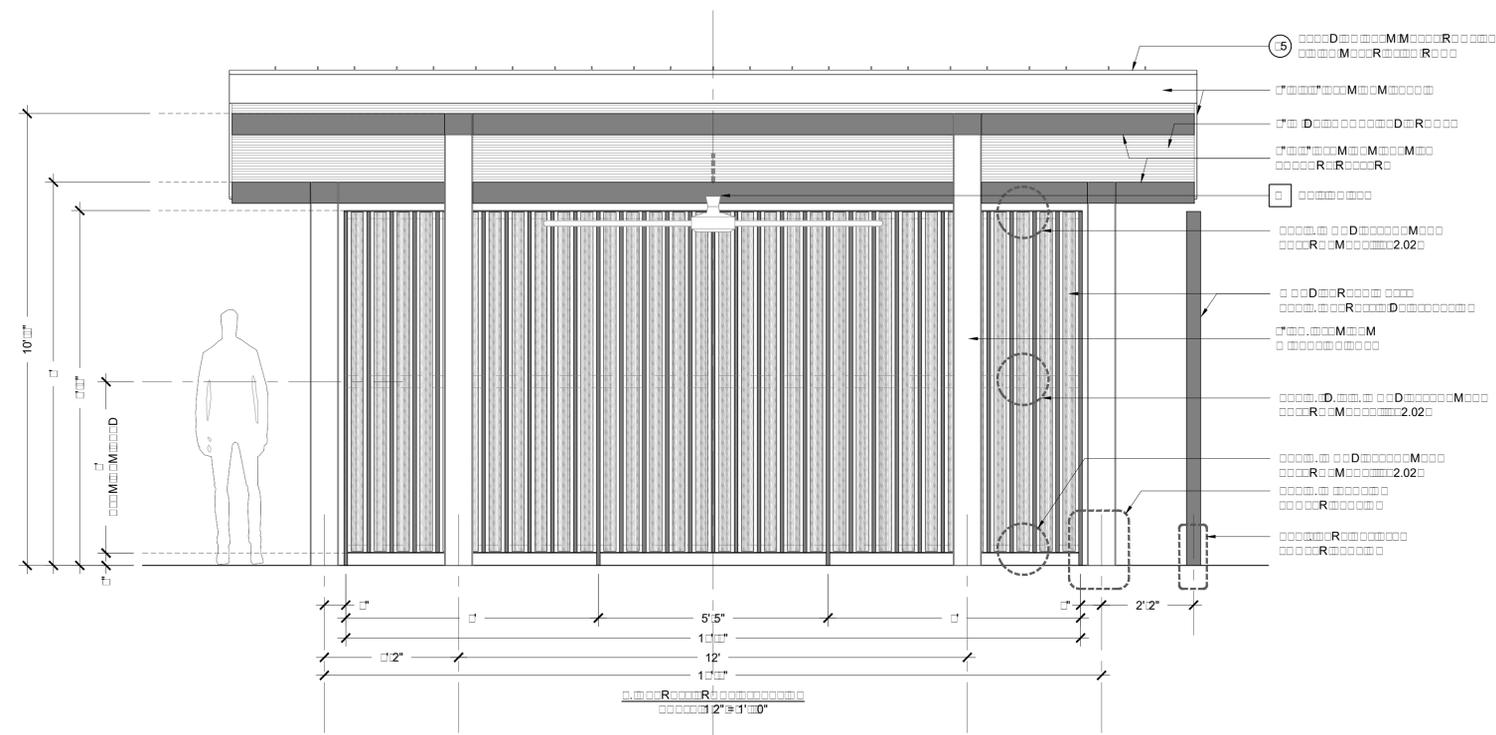
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ARDS | APE PLANS

Hardscape Details

Sheet Number:
LA .01



1
2.02
12' 0"

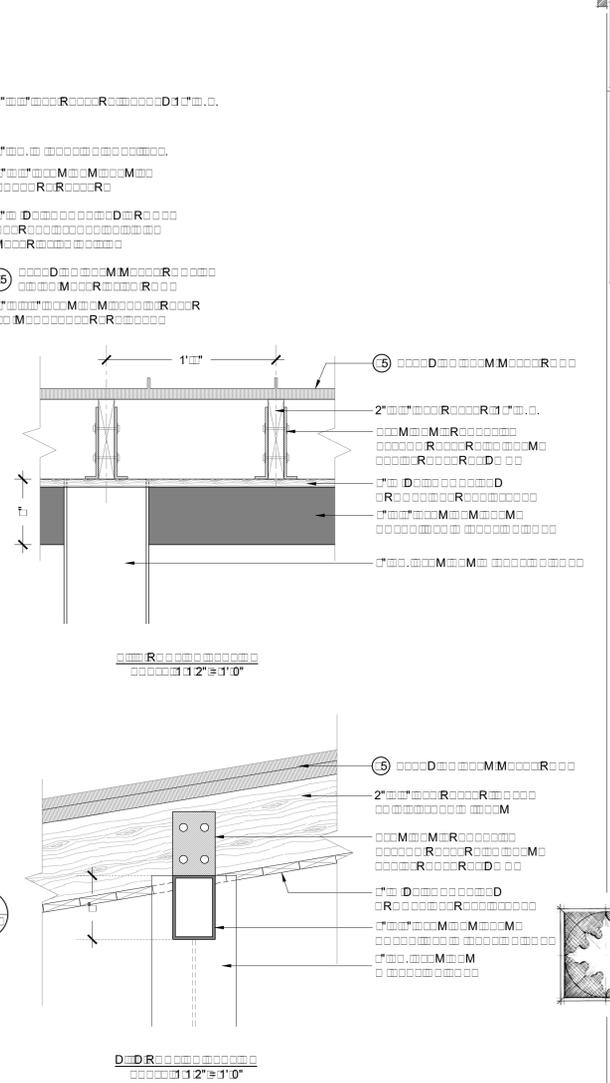
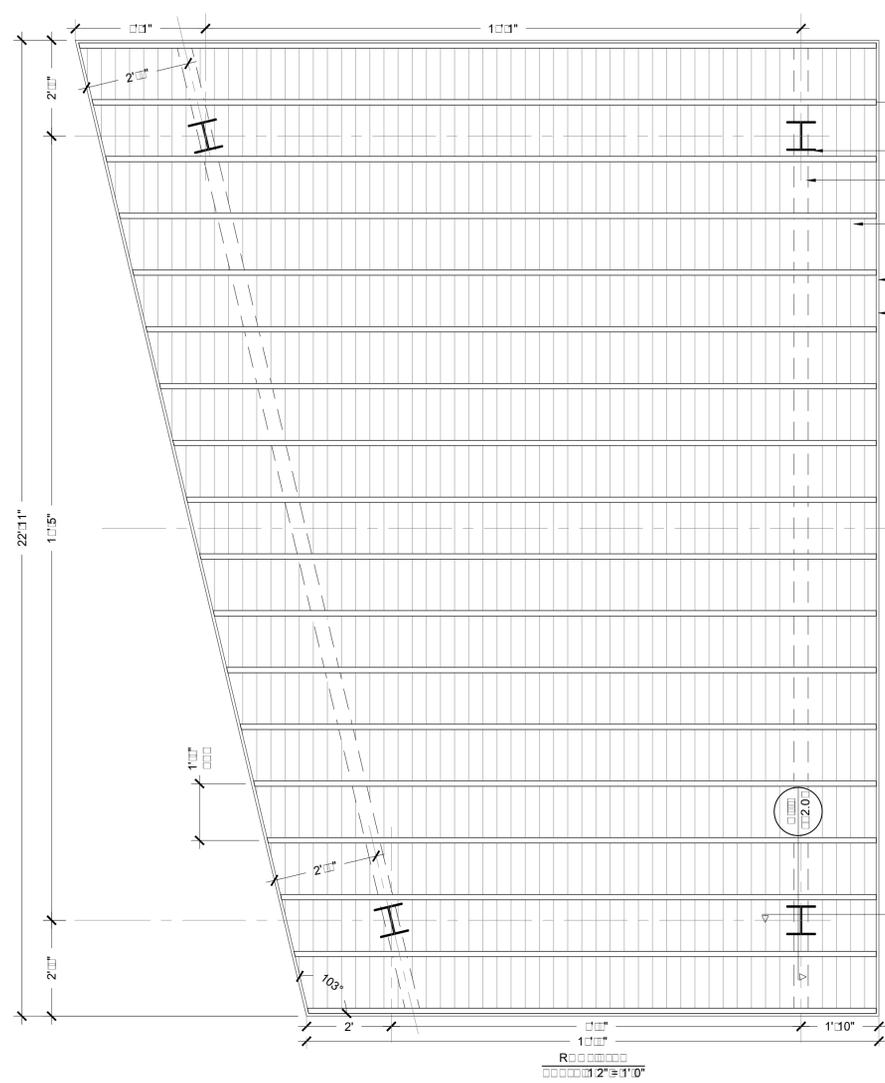
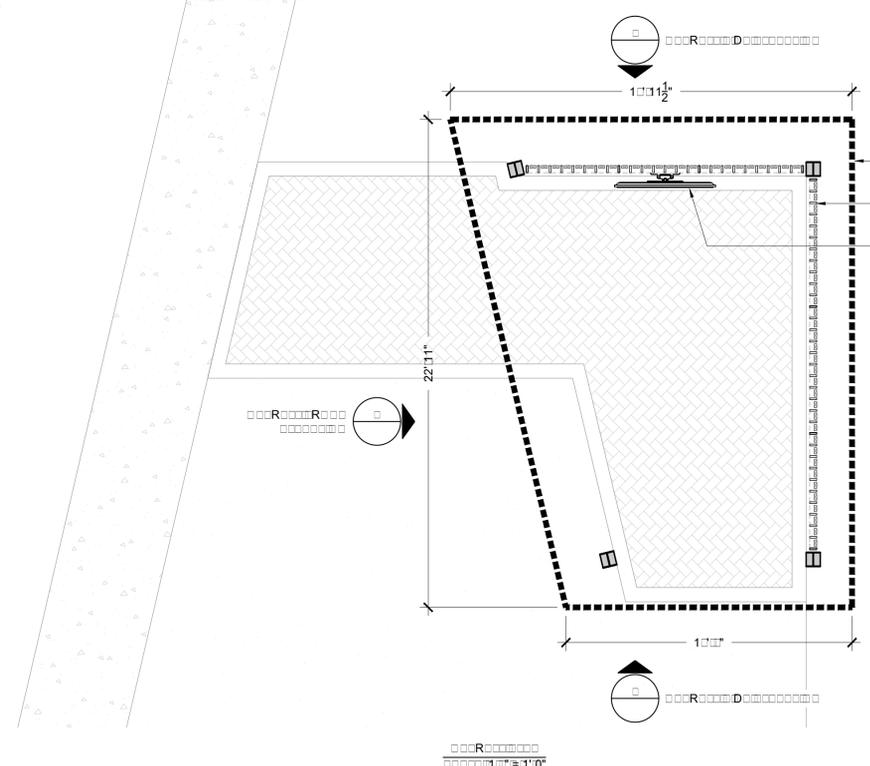
Date:	10/16/19
Drawn by:	R/J
Reviewed by:	BH
Job Number:	5004
Revision:	Date:

ALTA WINTER GARDEN
Winter Garden, FL

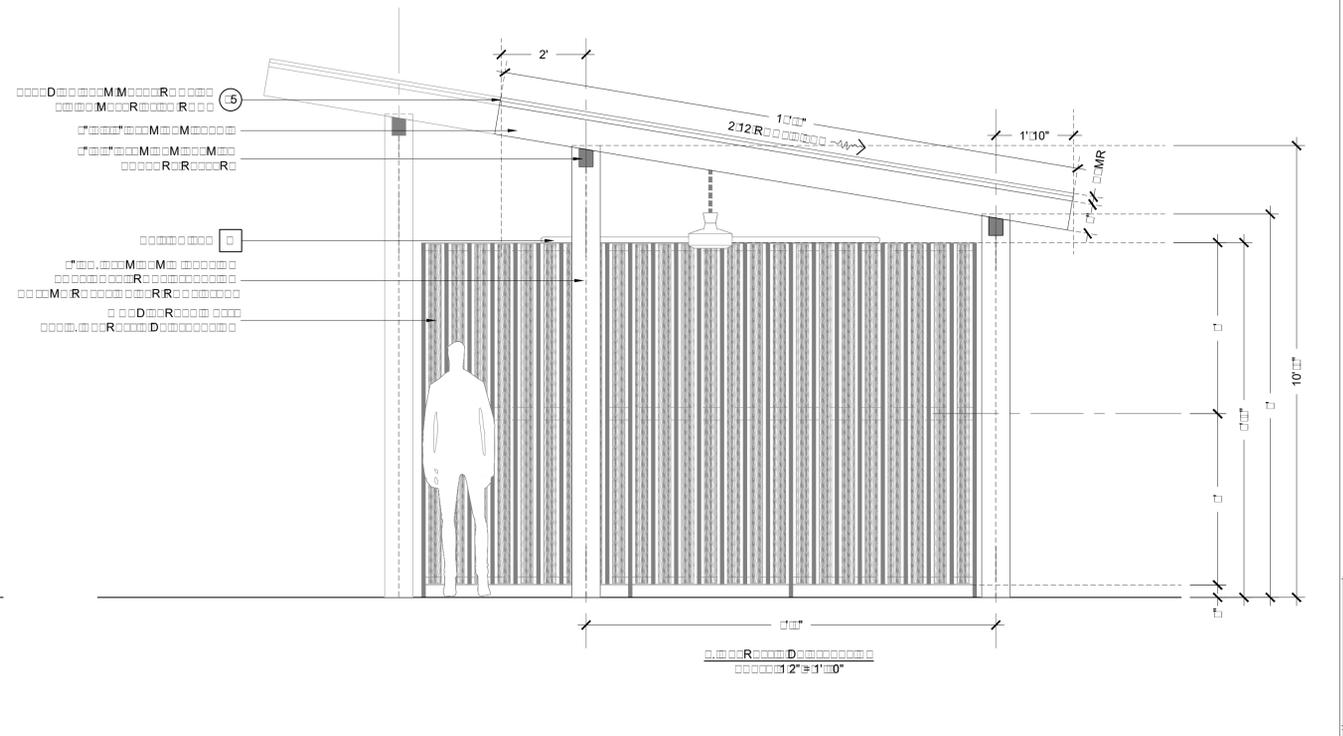
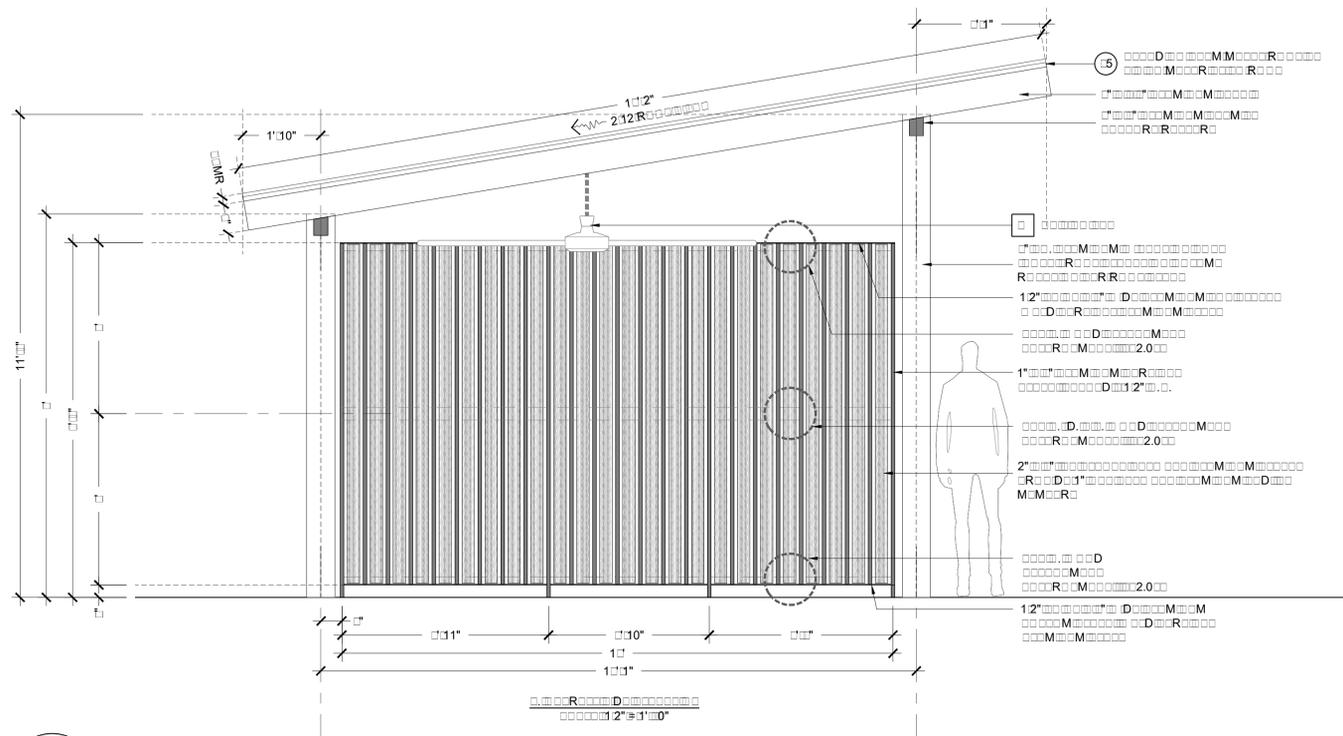
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ARDS APE PLANS
Hardscape Details

Sheet Number:
LA .01



12" R
1" M
2" M



1
2.0
12" R
1" M
2" M

Date:	10/16/19
Drawn by:	R/J
Reviewed by:	BH
Job Number:	5004
Revision:	Date:

ALTA WINTER GARDEN
Winter Garden, FL

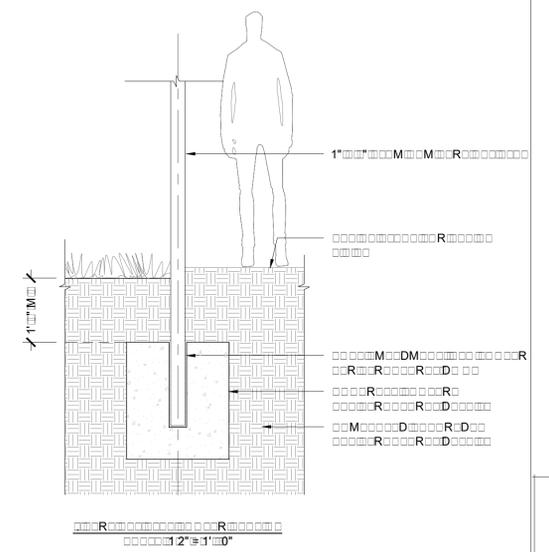
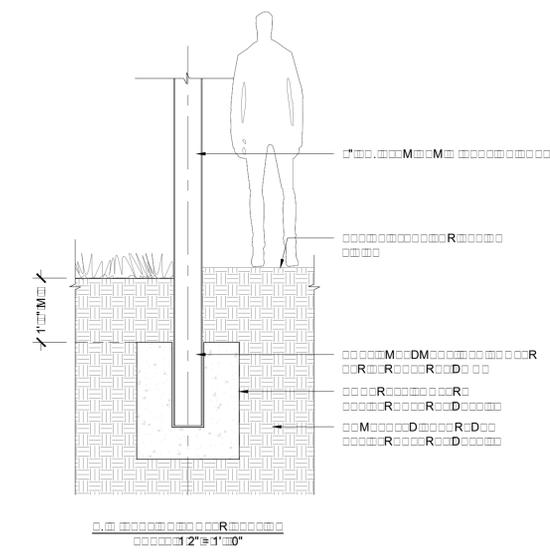
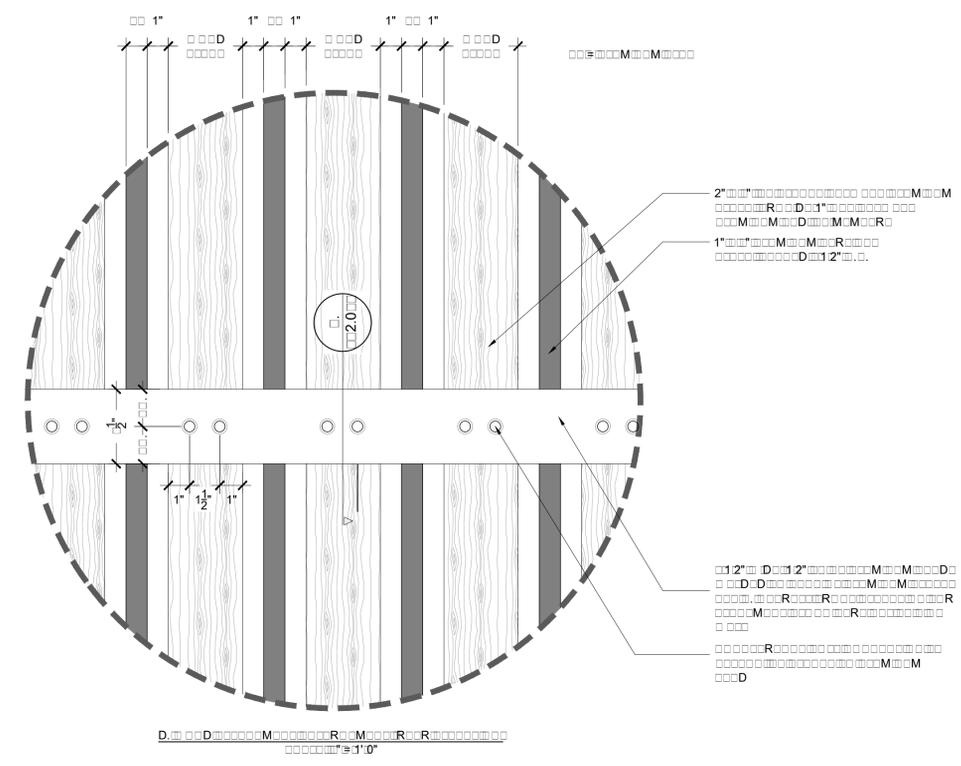
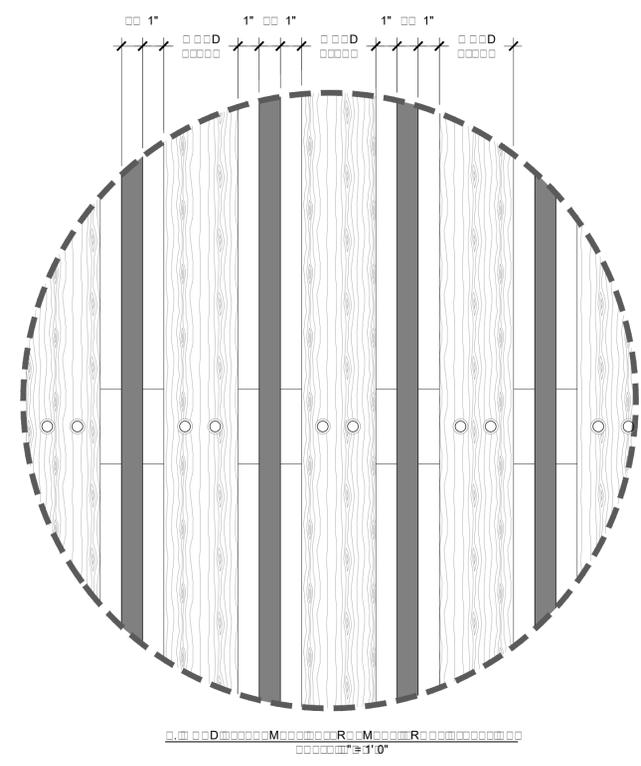
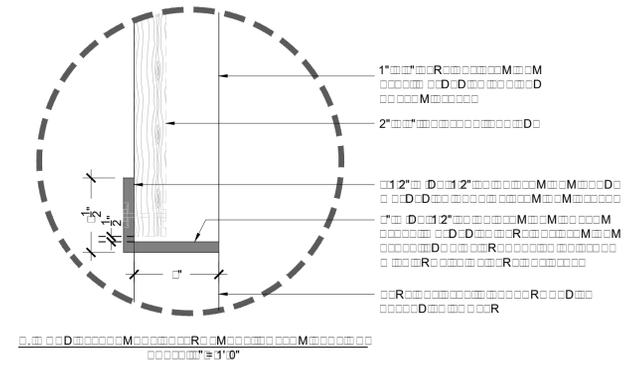
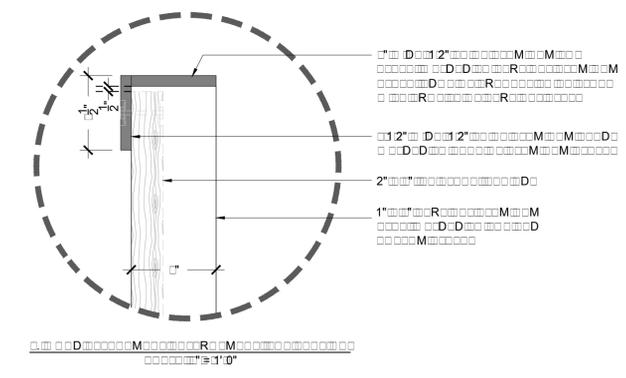
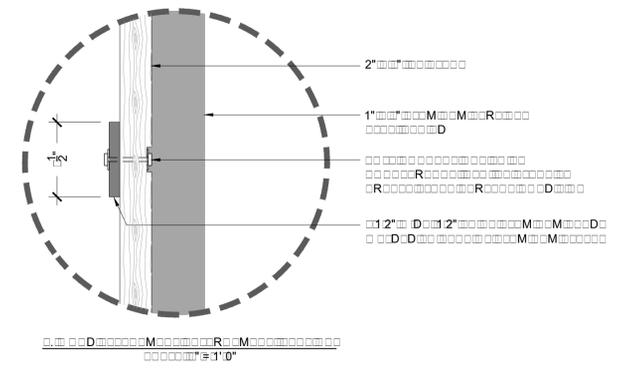
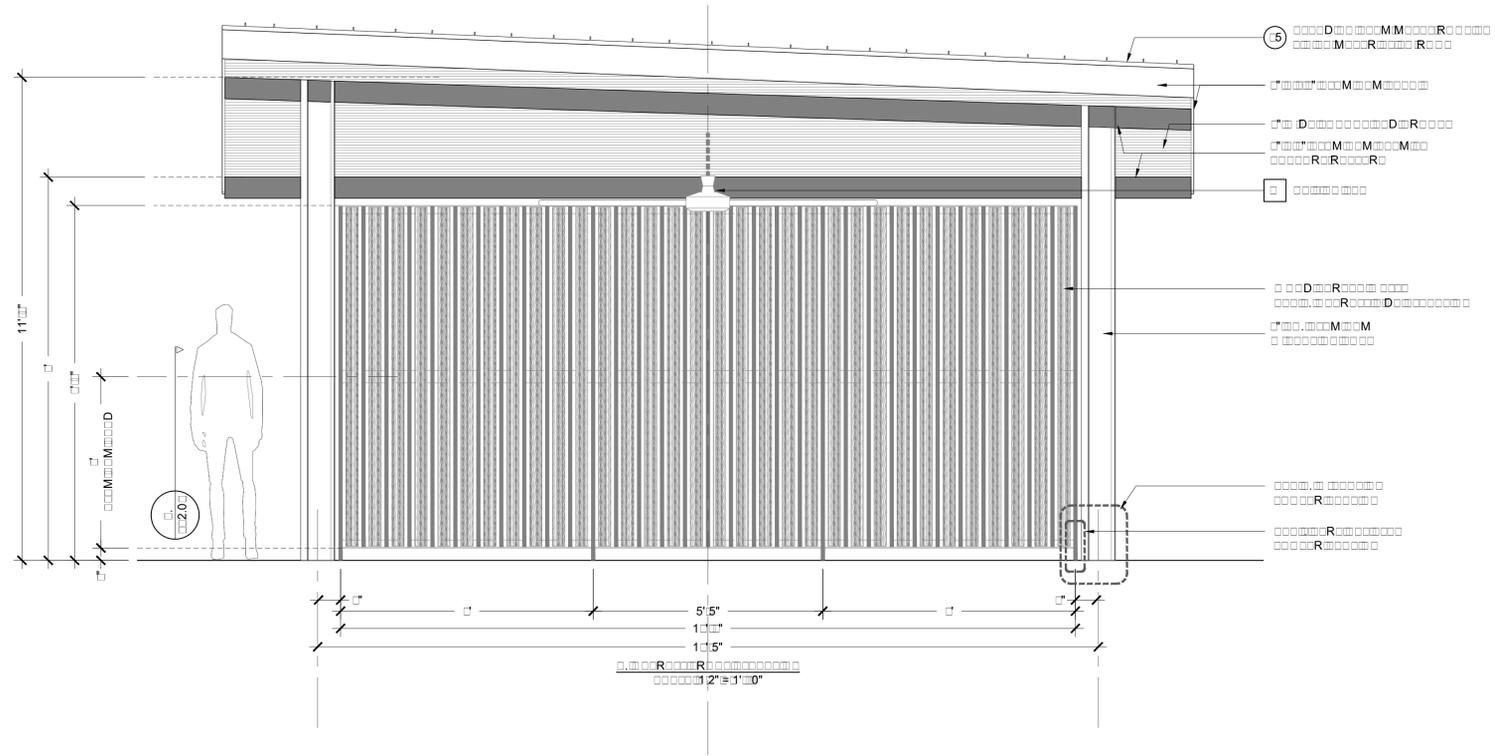
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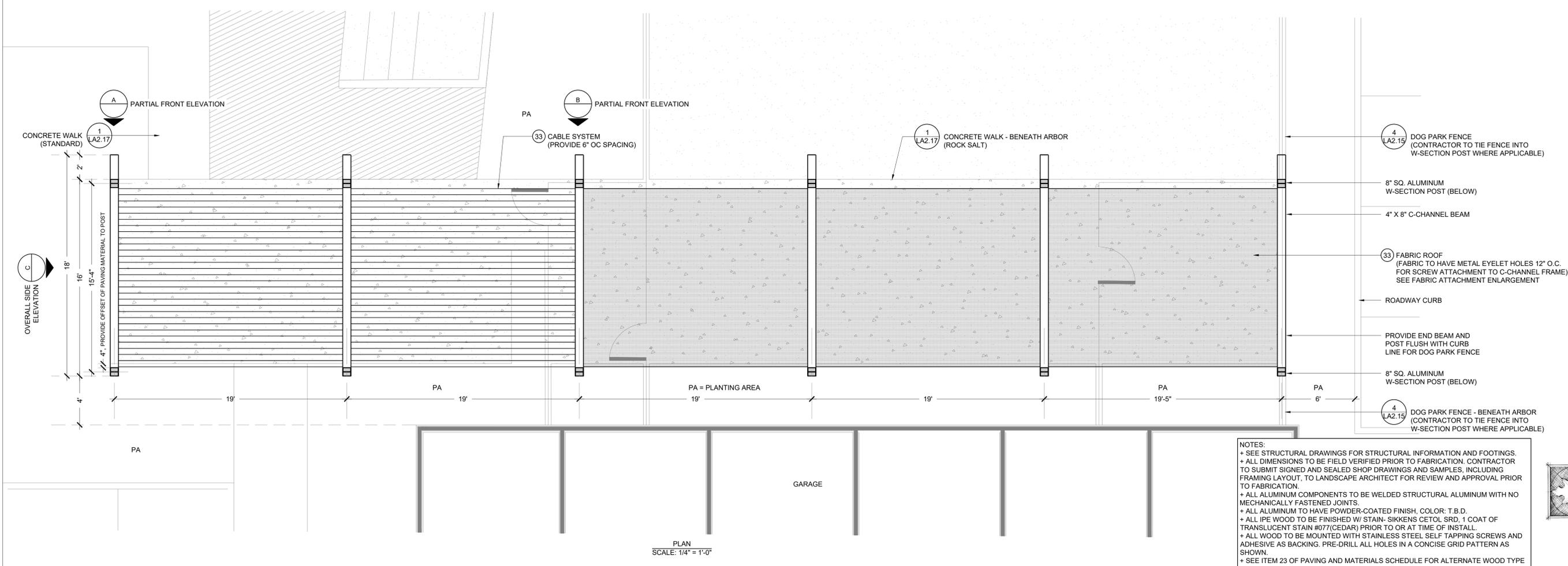
Hardscape Details

Sheet Number:
LA .01

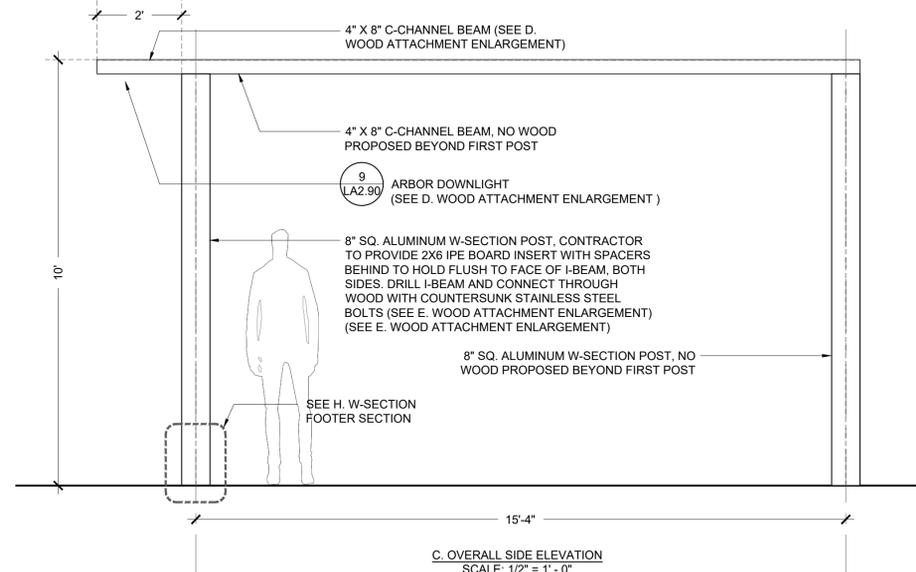
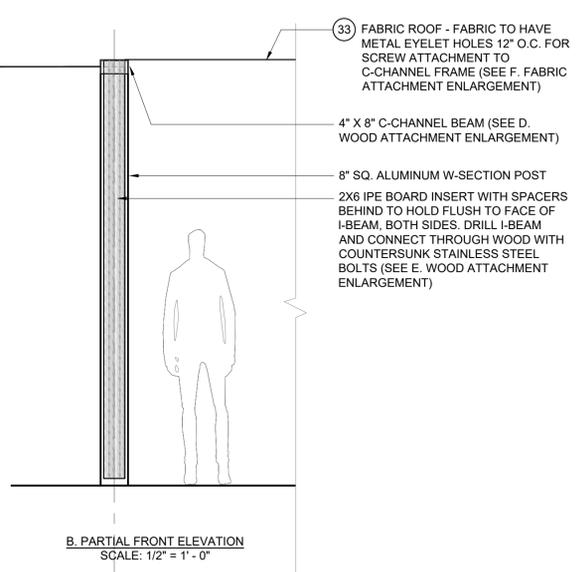
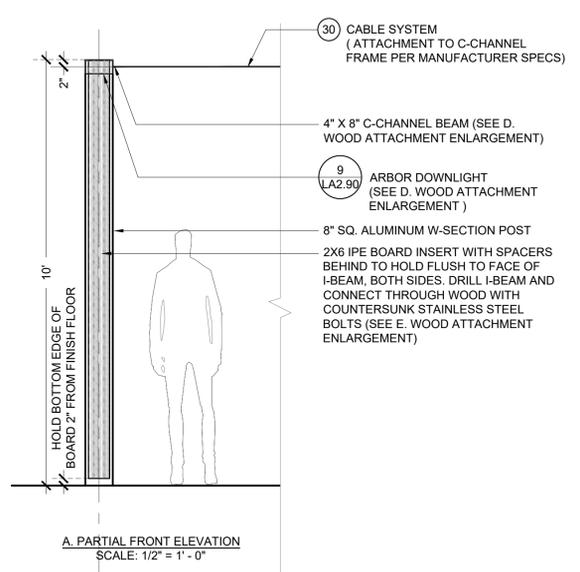


1
2'-0" 12" x 1'-0"

Date:	10/16/19
Drawn by:	R / I
Reviewed by:	BH
Job Number:	50044
Revision:	Date:



NOTES:
 + SEE STRUCTURAL DRAWINGS FOR STRUCTURAL INFORMATION AND FOOTINGS.
 + ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION. CONTRACTOR TO SUBMIT SIGNED AND SEALED SHOP DRAWINGS AND SAMPLES, INCLUDING FRAMING LAYOUT, TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 + ALL ALUMINUM COMPONENTS TO BE WELDED STRUCTURAL ALUMINUM WITH NO MECHANICALLY FASTENED JOINTS.
 + ALL ALUMINUM TO HAVE POWDER-COATED FINISH, COLOR: T.B.D.
 + ALL IPE WOOD TO BE FINISHED W/ STAIN- SIKKENS CETOL SRD. 1 COAT OF TRANSLUCENT STAIN #077(CEDAR) PRIOR TO OR AT TIME OF INSTALL
 + ALL WOOD TO BE MOUNTED WITH STAINLESS STEEL SELF TAPPING SCREWS AND ADHESIVE AS BACKING. PRE-DRILL ALL HOLES IN A CONCISE GRID PATTERN AS SHOWN.
 + SEE ITEM 23 OF PAVING AND MATERIALS SCHEDULE FOR ALTERNATE WOOD TYPE



1 DOG PARK ARBOR
 LA2.04



DIX.HITE
 + PARTNERS
 1505 WOODLAND FLORIDA
 LOANING WOODS, FLORIDA
 TEL 407.667.1777
 FAX 407.667.1777

ARDS APE PLANS
 Hardscape Details

Sheet Number:
 LA .04

Date:	10/16/19
Drawn by:	R/J
Reviewed by:	BH
Job Number:	5004
Revision:	Date:

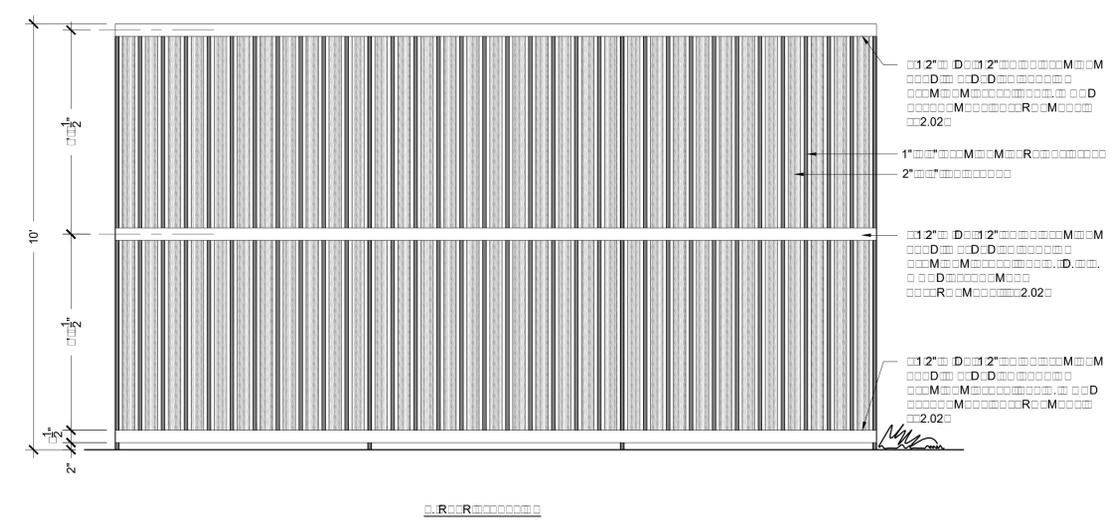
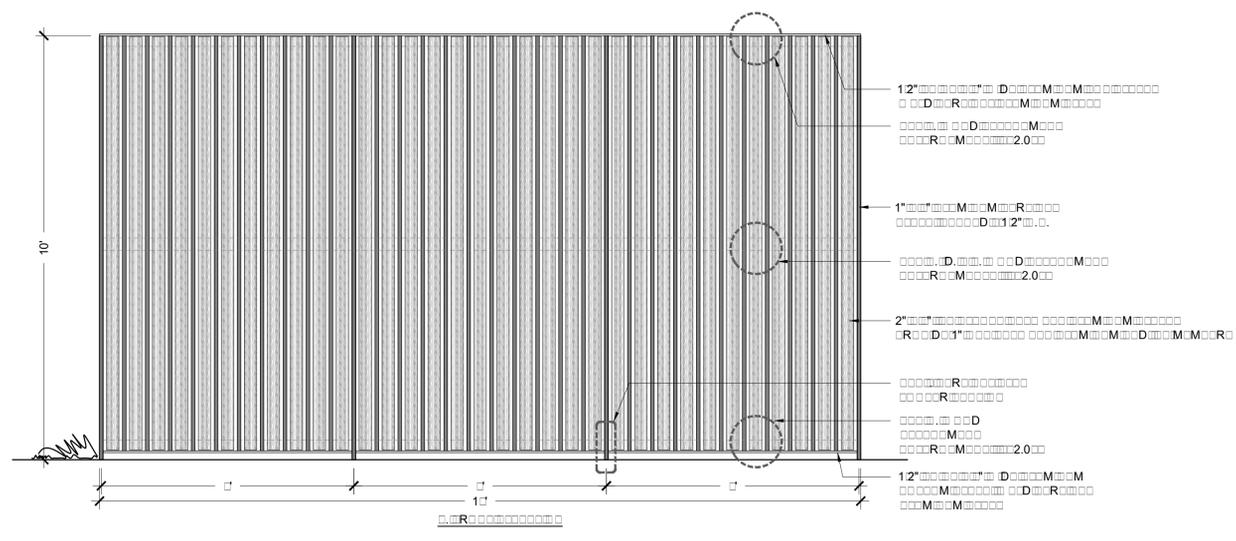
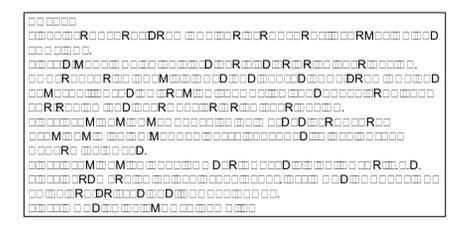
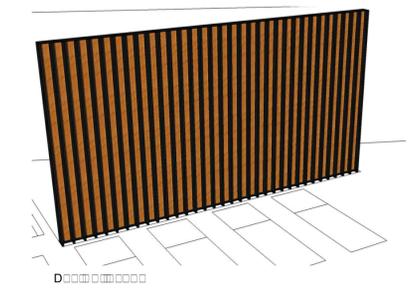
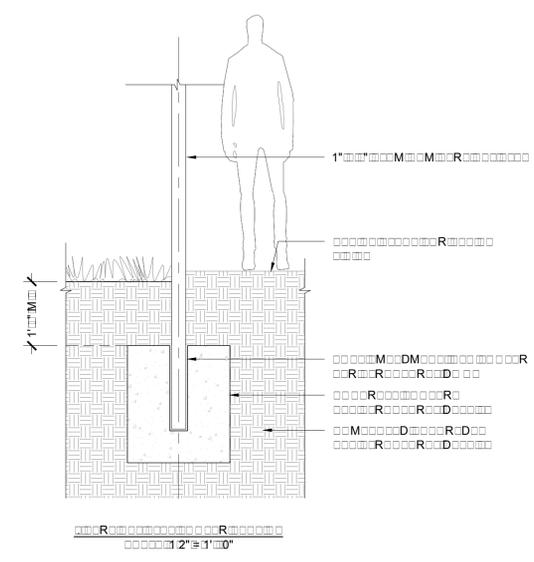
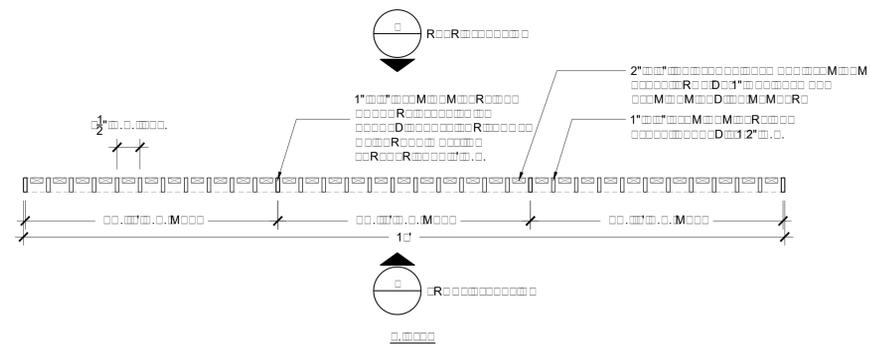
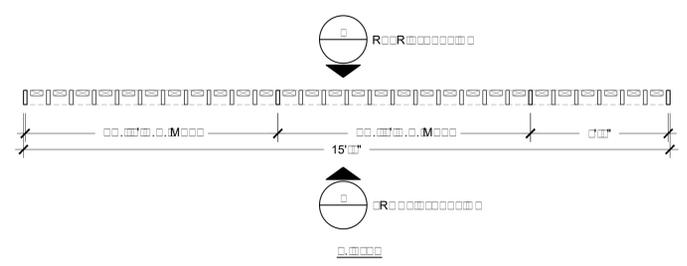
ALTA WINTER GARDEN
Winter Garden, FL

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ARDS APE PLANS
Hardscape Details

Sheet Number:
LA .01



1
2.0
12" @ 1'0"

Date:	10/16/19
Drawn by:	R/J
Reviewed by:	BH
Job Number:	50044
Revision:	Date:

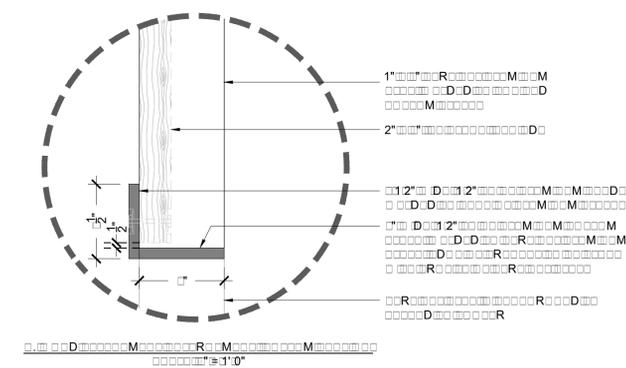
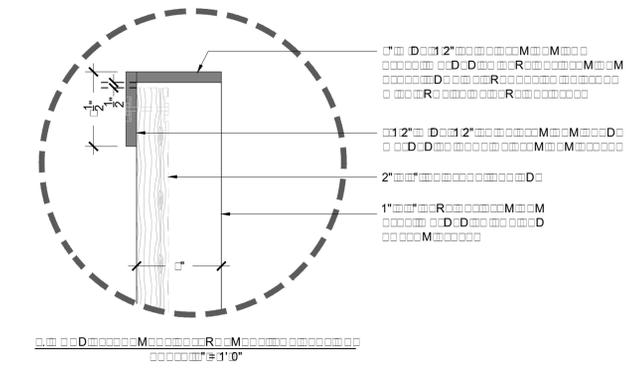
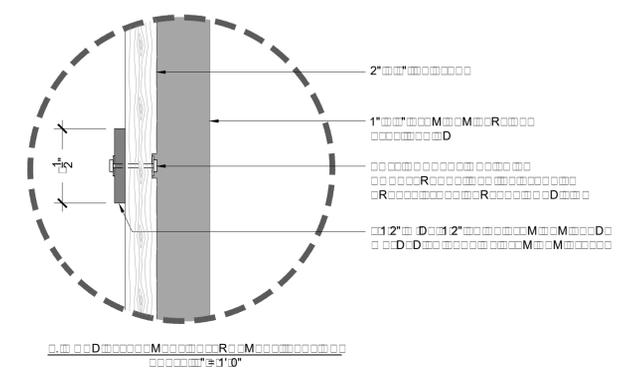
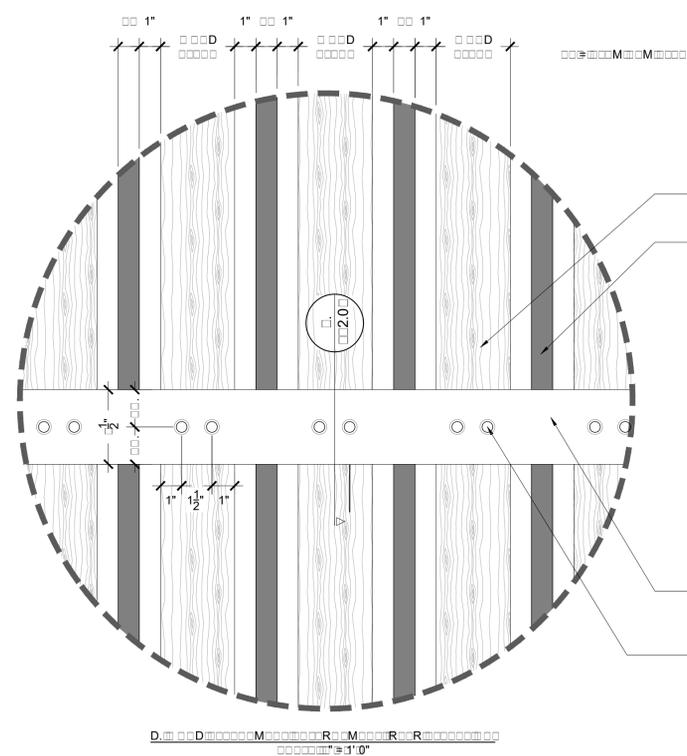
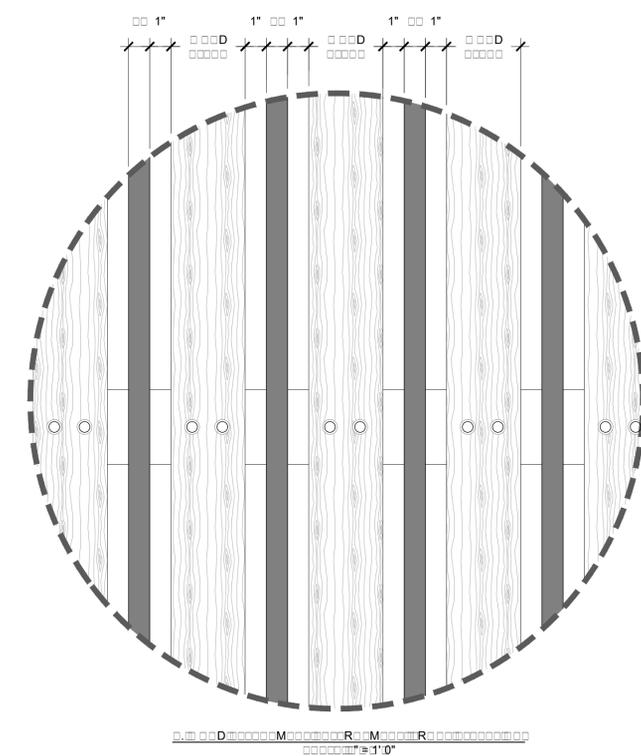
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ARDS APE PLANS
Hardscape Details

Sheet Number:
LA .01



Date:	10/16/19
Drawn by:	R/J
Reviewed by:	BH
Job Number:	5004
Revision:	Date:

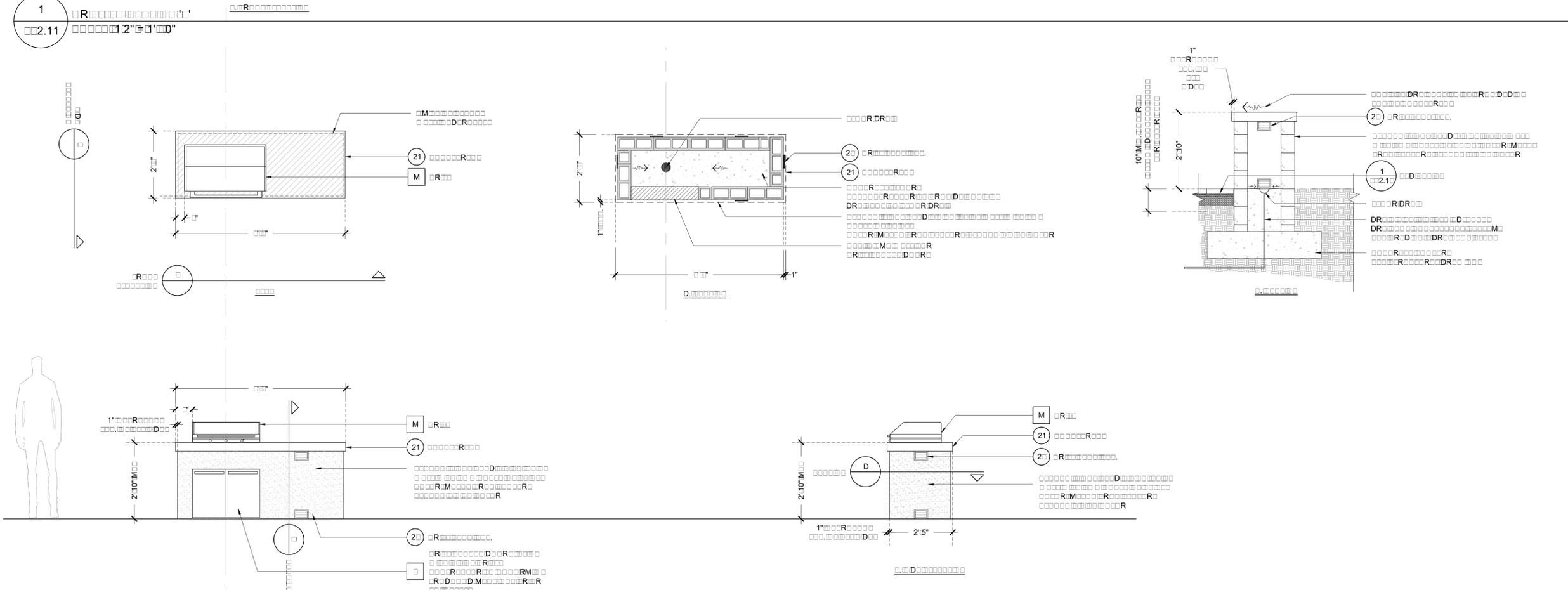
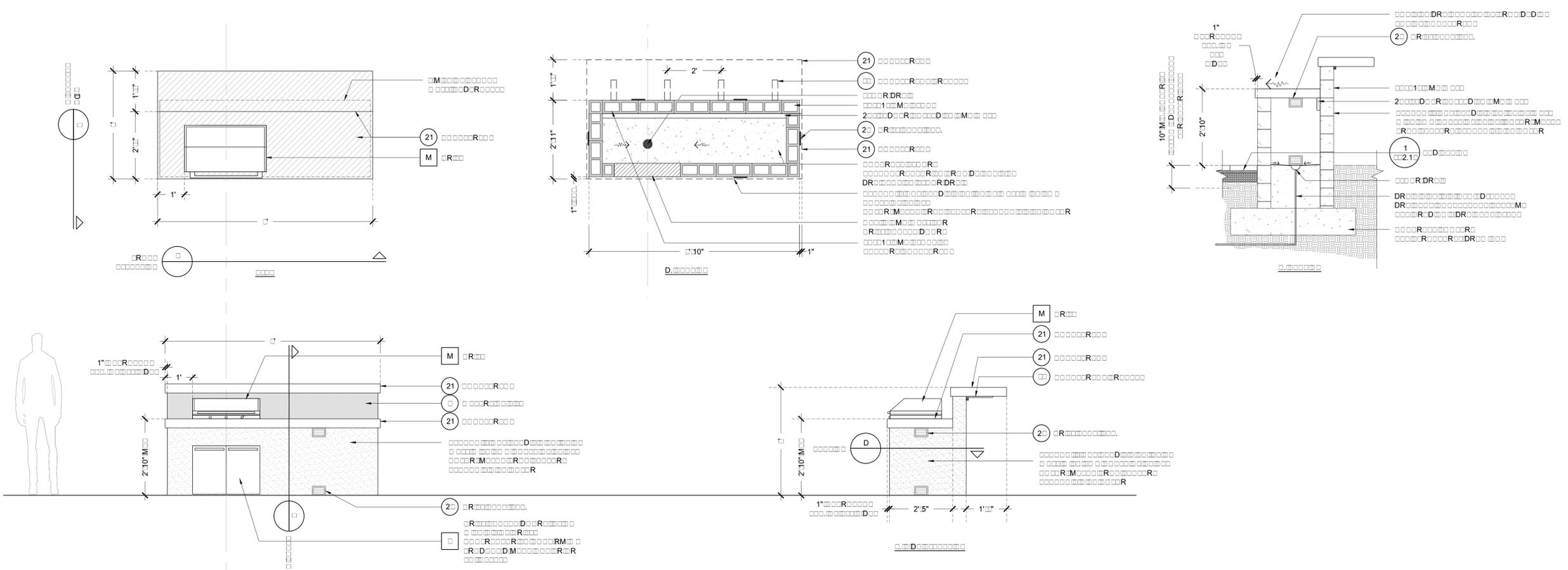
ALTA WINTER GARDEN
Winter Garden, FL

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ARDS APE PLANS
Hardscape Details

Sheet Number:
LA 10



Date:	10/16/19
Drawn by:	R/J
Reviewed by:	BH
Job Number:	5004
Revision:	Date:

ALTA WINTER GARDEN
Winter Garden, FL

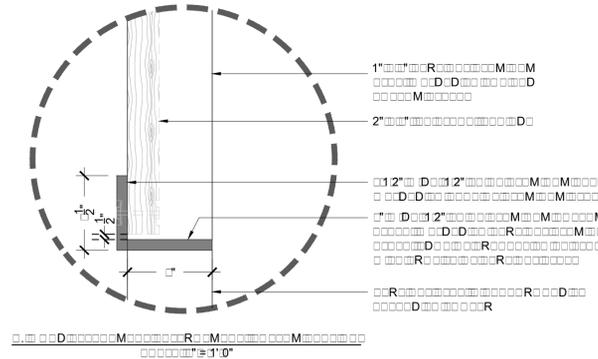
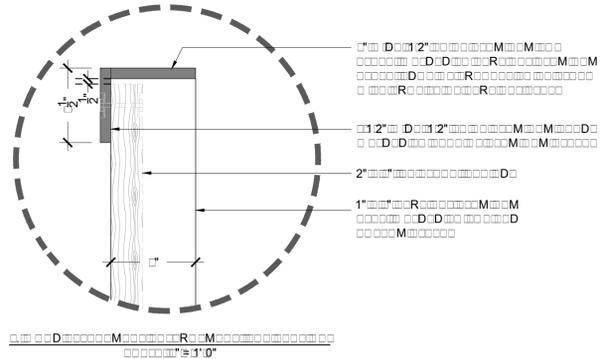
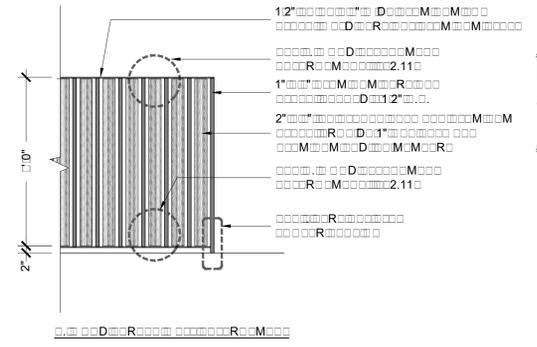
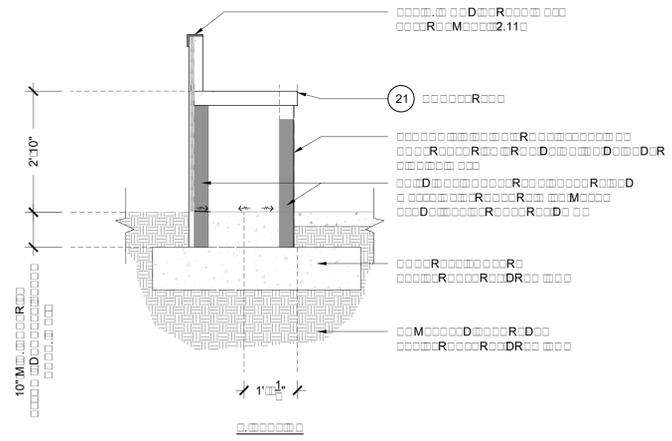
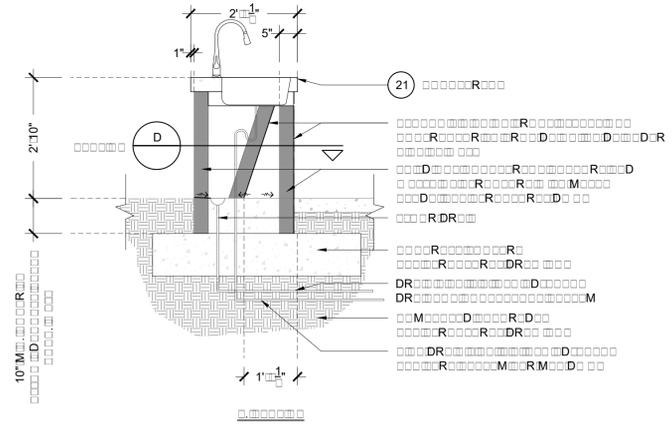
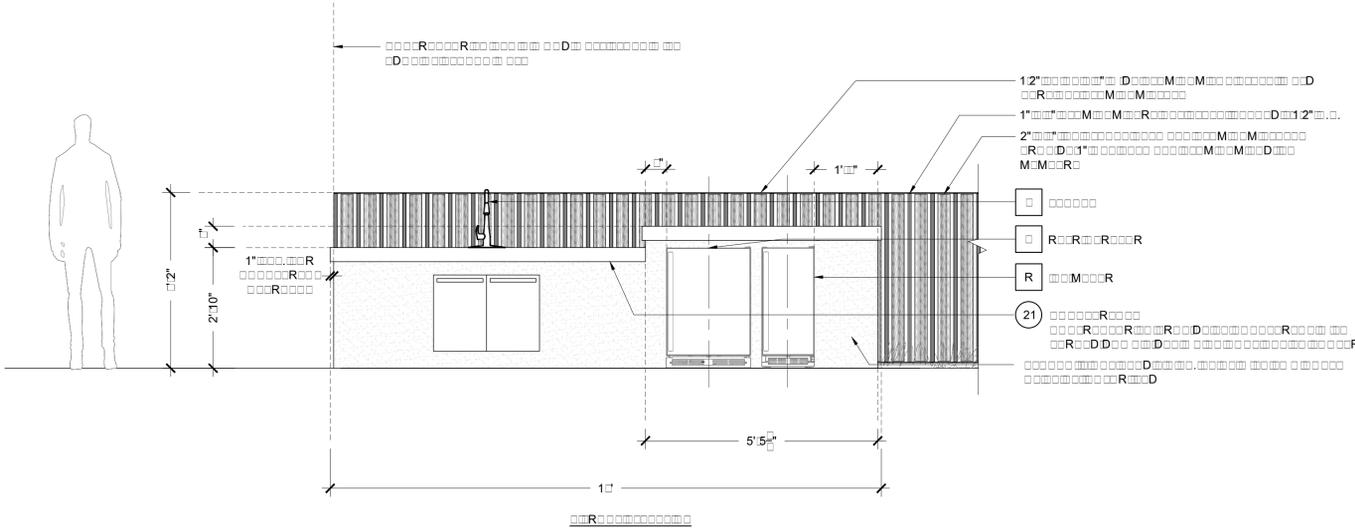
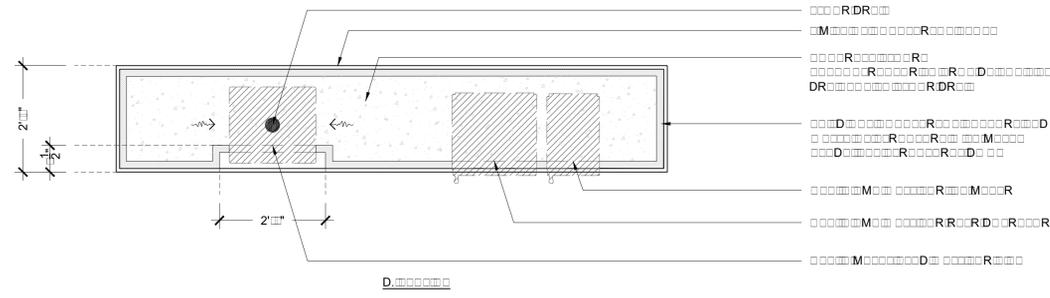
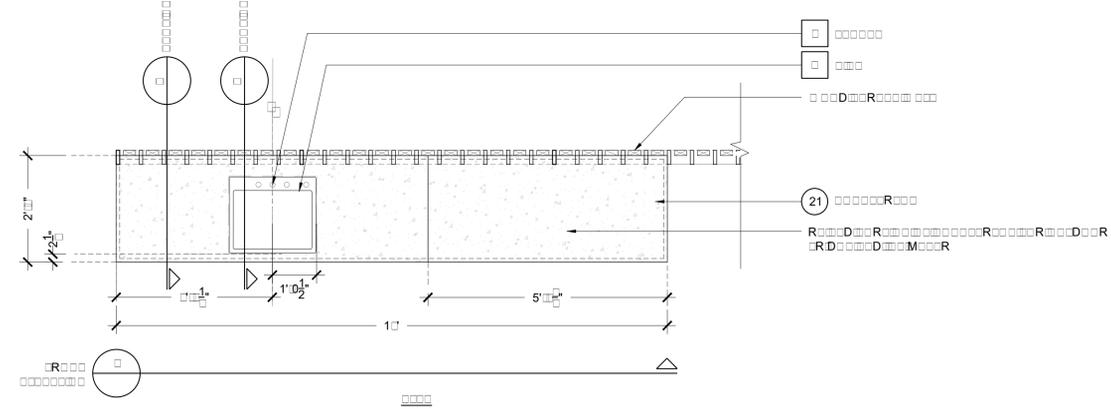
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ARDS APE PLANS

Hardscape Details

Sheet Number:
LA .000



1
2.11
12" @ 1'-10"

Date:	10/16/19
Drawn by:	R/J
Reviewed by:	BH
Job Number:	5004
Revision:	Date:

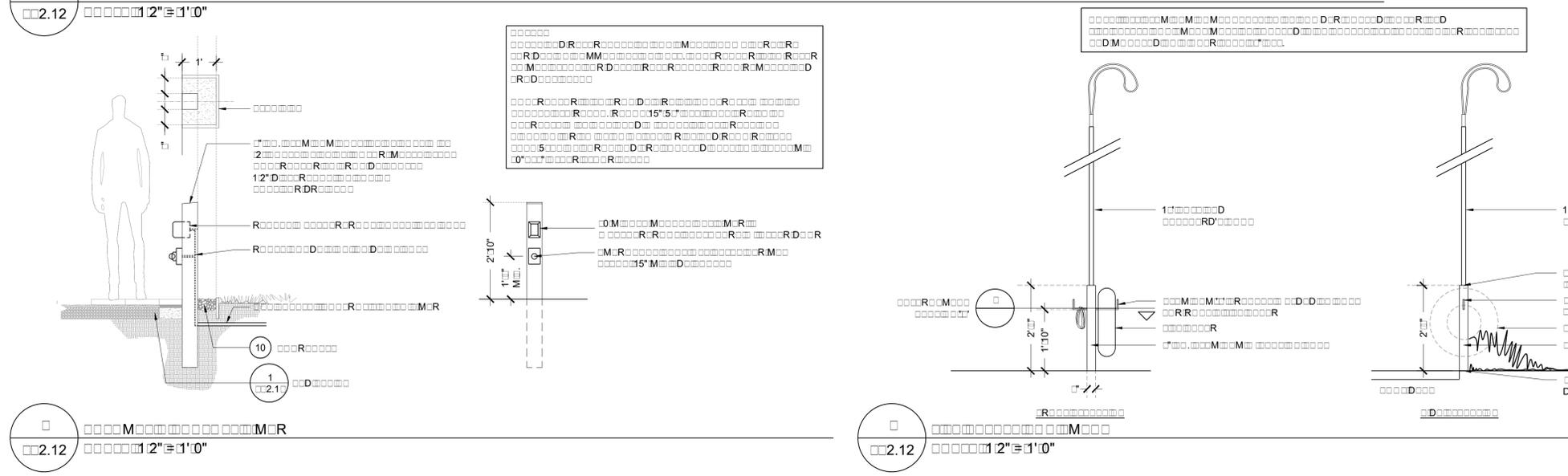
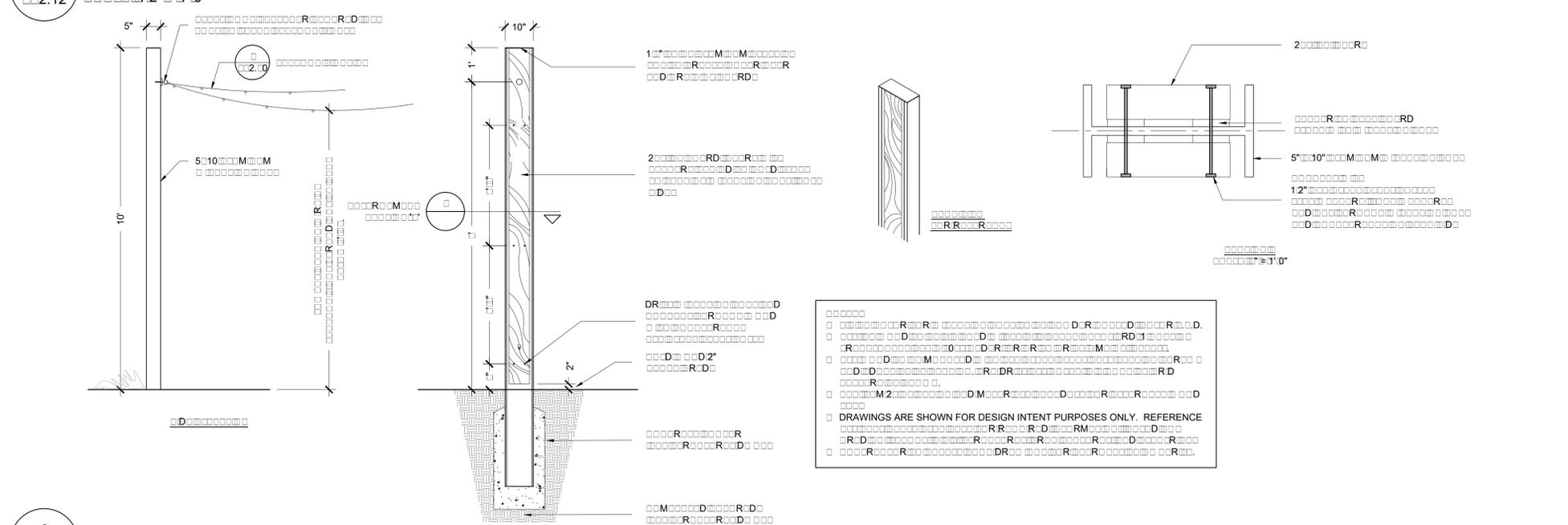
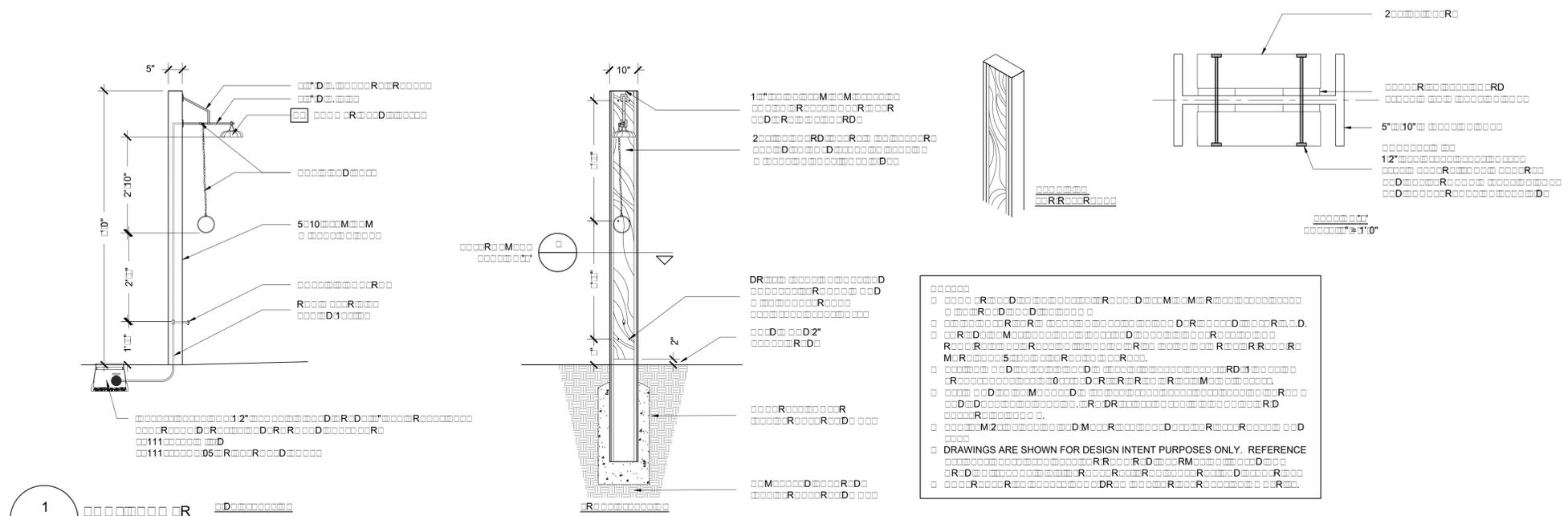
ALTA WINTER GARDEN
Winter Garden, FL

Wood Partners
401 S. Dixie Hwy., Suite 303, West Palm Beach, FL 334



ARDS APE PLANS
Hardscape Details

Sheet Number:
LA.01



Date:	10/16/19
Drawn by:	R/J
Reviewed by:	BH
Job Number:	50044
Revision:	Date:

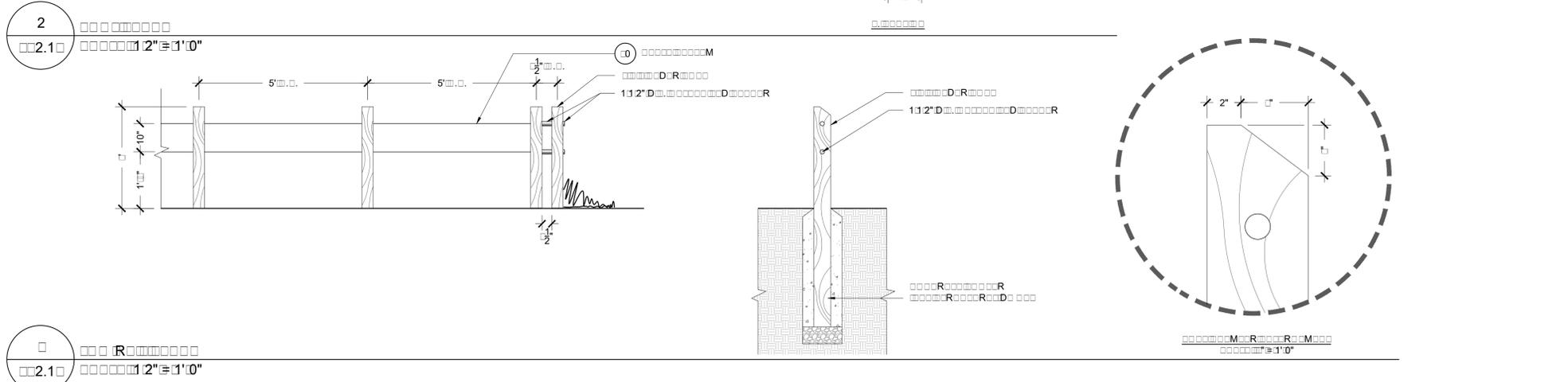
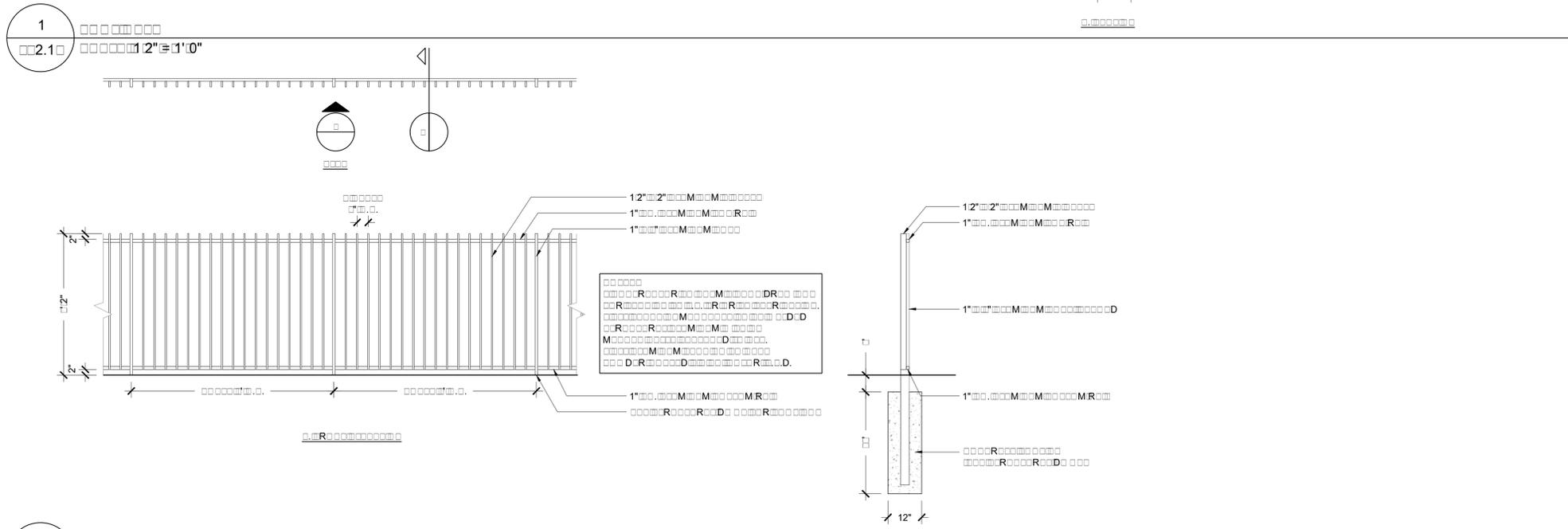
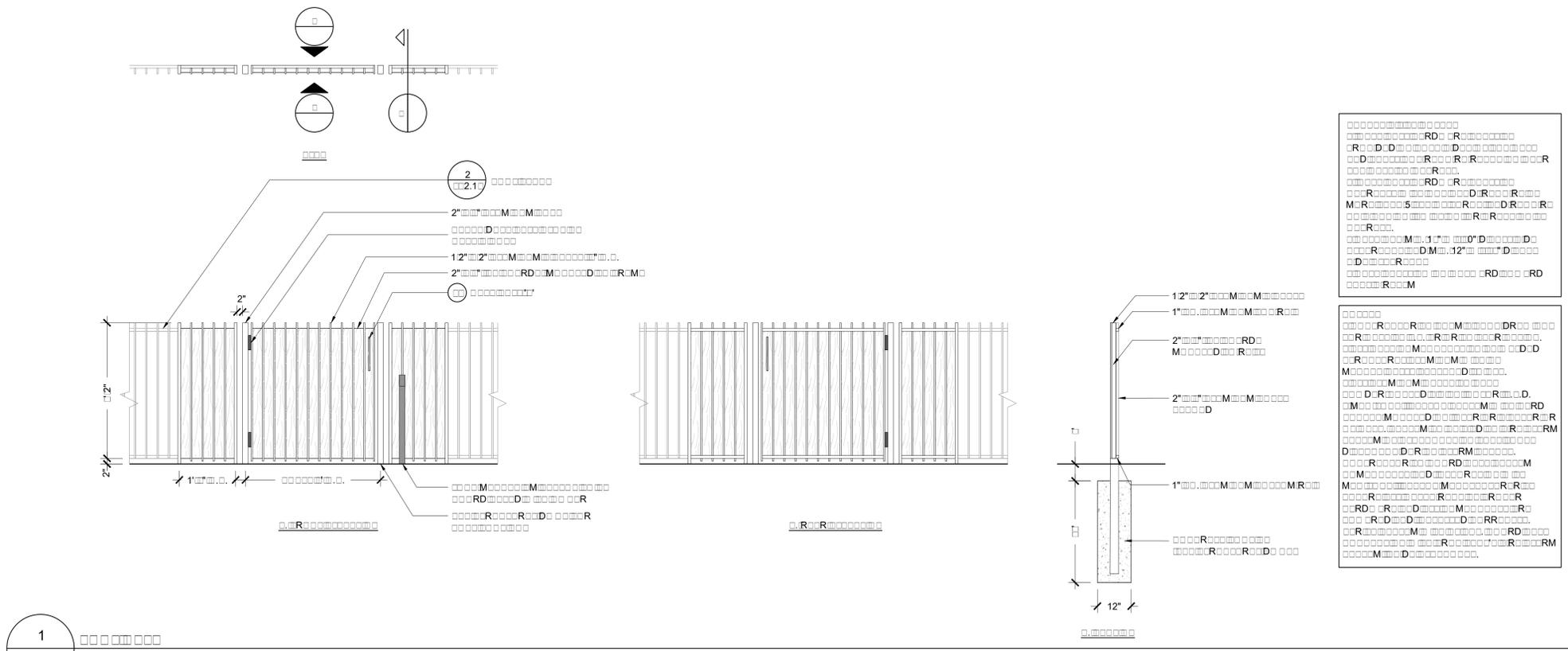
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ARDS APE PLANS
Hardscape Details

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LA.01



Date:	10/16/19
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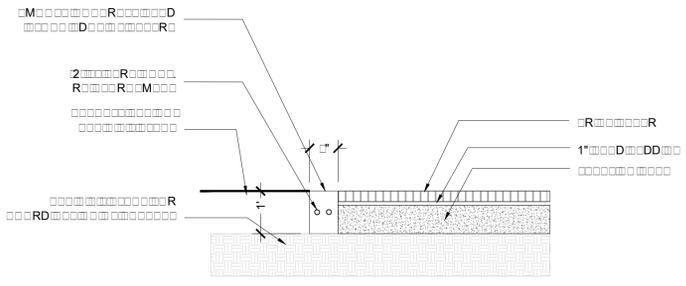
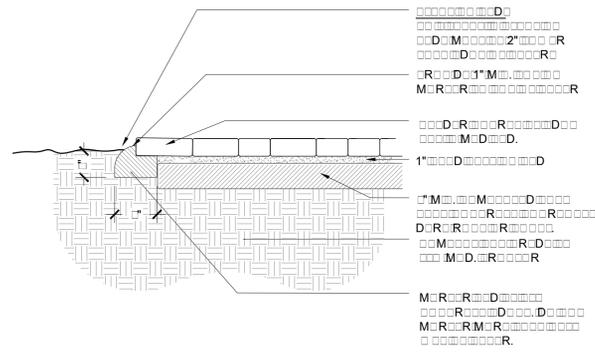
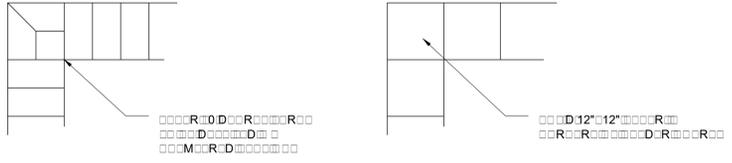
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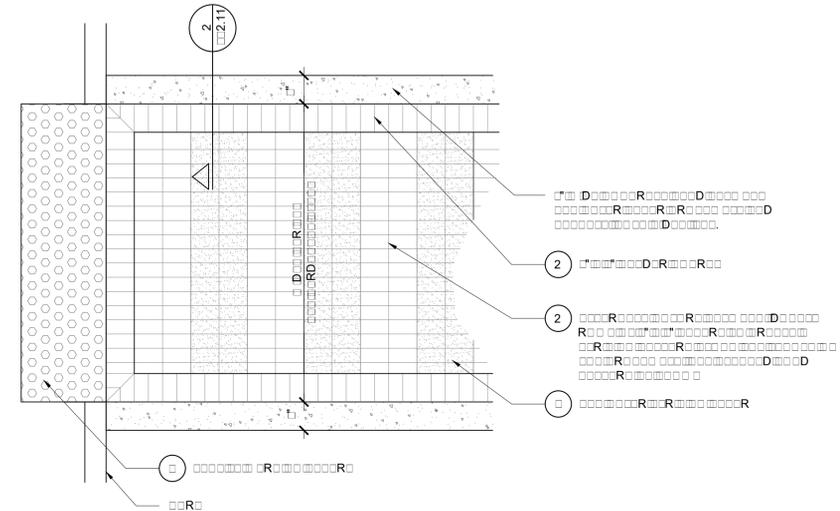
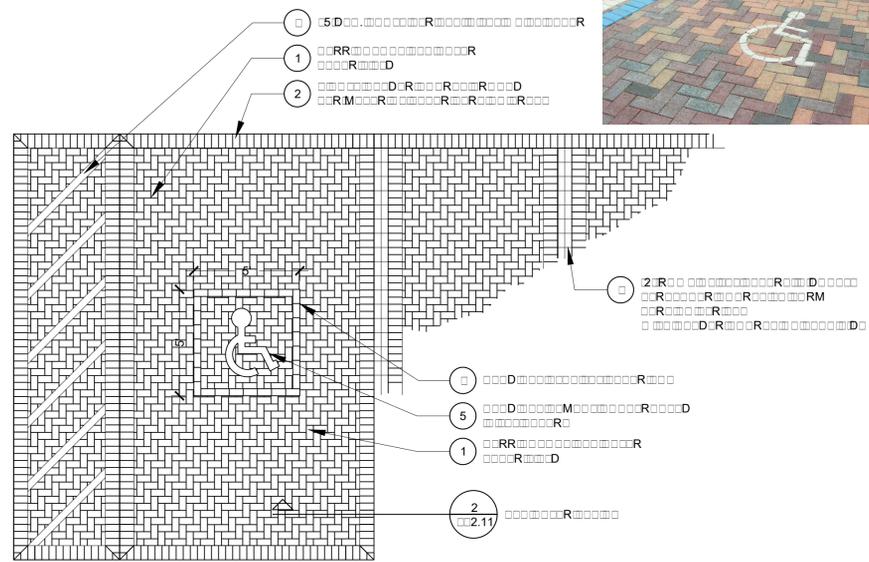
ARDS APE PLANS
Hardscape Details

Sheet Number:
LA. 6



1
2.1
1/2" @ 1'0"

2
2.1
1/2" @ 1'0"



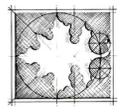
2.1
1/2" @ 1'0"

2.1
1/2" @ 1'0"

Date:	10/16/19
Drawn by:	R/
Reviewed by:	BH
Job Number:	50044
Revision:	Date:

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 + PARTNERS
 150 WOODBINE BLVD
 LONGWOOD, FLORIDA
 TEL 407.687.1777
 FAX 407.687.1779

ARDS] APE PLANS

Hardscape Details

Sheet Number:
LA.1.1

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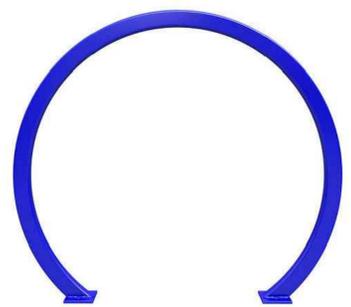
Date:	10/16/19
Drawn by:	RJ/II
Reviewed by:	BH
Job Number:	50044
Revision:	Date:



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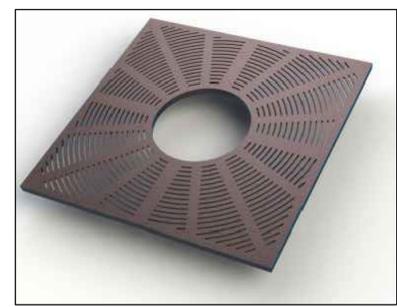
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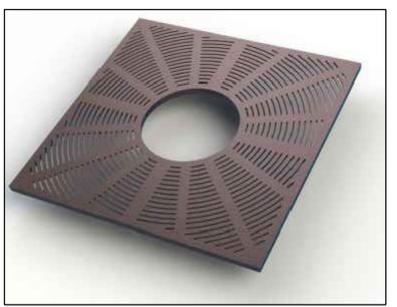
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LONGWOOD, FLORIDA
TEL 407.467.1777
FAX 407.467.1777

ARDS APE PLANS
Site Furnishings Schedule

Sheet Number:
LA . . .

Date:	10/16/19
Drawn by:	RJ/II
Reviewed by:	BH
Job Number:	50044
Revision:	Date:



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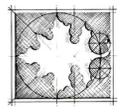
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+ PARTNERS
150 WOOD FLORENCE
LOUISIANA, FLORIDA
TEL 407.467.1777
FAX 407.467.1777

□ ARDS] APE PLANS

Site Furnishings Schedule

Sheet Number:
LA. 11

Date:	10/16/19
Drawn by:	RJ/
Reviewed by:	BH
Job Number:	50044
Revision:	Date:

ALTA WINTER GARDEN

90% LANDSCAPE PLANS

Prepared For Wood Partners
OCTOBER 16, 2019

ALTA WINTER GARDEN
Winter Garden, Florida
Wood Partners
401 S. Dixie Hwy., Suite 303, West Palm Beach, FL 33401



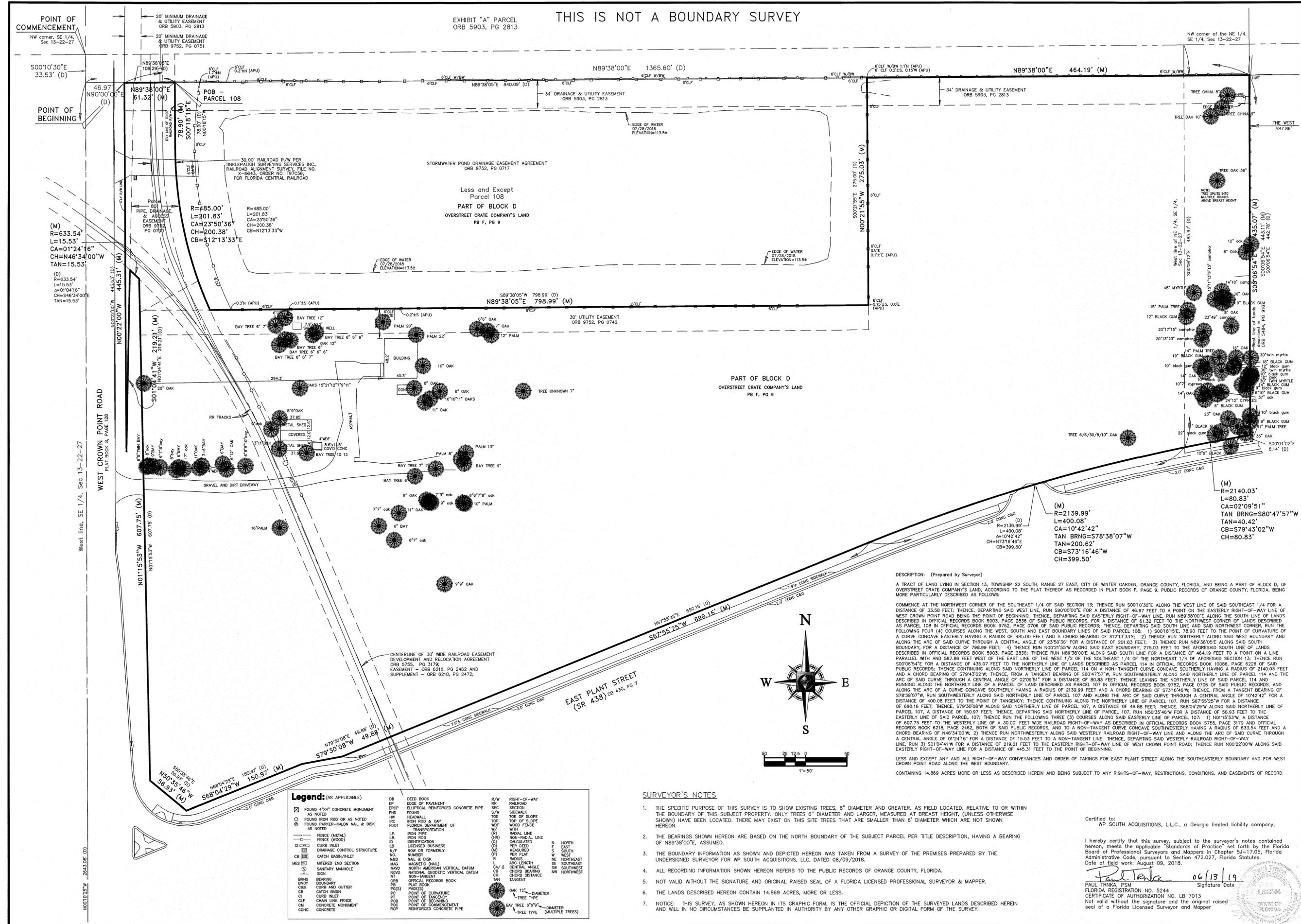
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+ PARTNERS
15015 WOODLAND AVENUE
WEST PALM BEACH, FLORIDA
TEL 407.687.1774
FAX 407.687.1779

90% LANDSCAPE PLANS

Landscape Cover Sheet

BL F C N S	
SH N MB R	SH N M
L 5.00	L NDSC P C R SH
1 F 1	SP CIFIC P RP S S R R S R
L 5.01 L 5.01	R R M L/R PL C M N PL NS
L 5.03	L NDSC P SH
L 5.10 L 5.40	L NDSC P PL NS
L 5.90	L NDSC P D ILS, N S, C D INF RM N
L 5.91	P R L NDSC P PL N LIS S
L 5.91	R SID N L L NDSC P PL N LIS S
L 5.99	L NDSC P SP CIFIC I NS

Sheet Number:
LA .00



HAMILTON
ENGINEERING & SURVEYING, INC.
775 WARNER LANE
ORLANDO, FLORIDA 32803
LB#7013 TEL (407) 362-5929

**SPECIFIC PURPOSE SURVEY
TREE SURVEY**
CROWN POINT CENTER
WEST CROWN POINT ROAD,
WINTER GARDEN, ORANGE COUNTY, FL 34787

SHEET TITLE: SPECIFIC PURPOSE SURVEY TREE SURVEY

REVISIONS:
06/12/19 - ADDITIONAL TREE LOCATION

DRAWN BY: PT
PARTY CHECK: JM

SCALE: AS SHOWN

SURVEY DATE: 08/09/2018

NOT VALID WITHOUT ALL SHEETS

1 OF 1

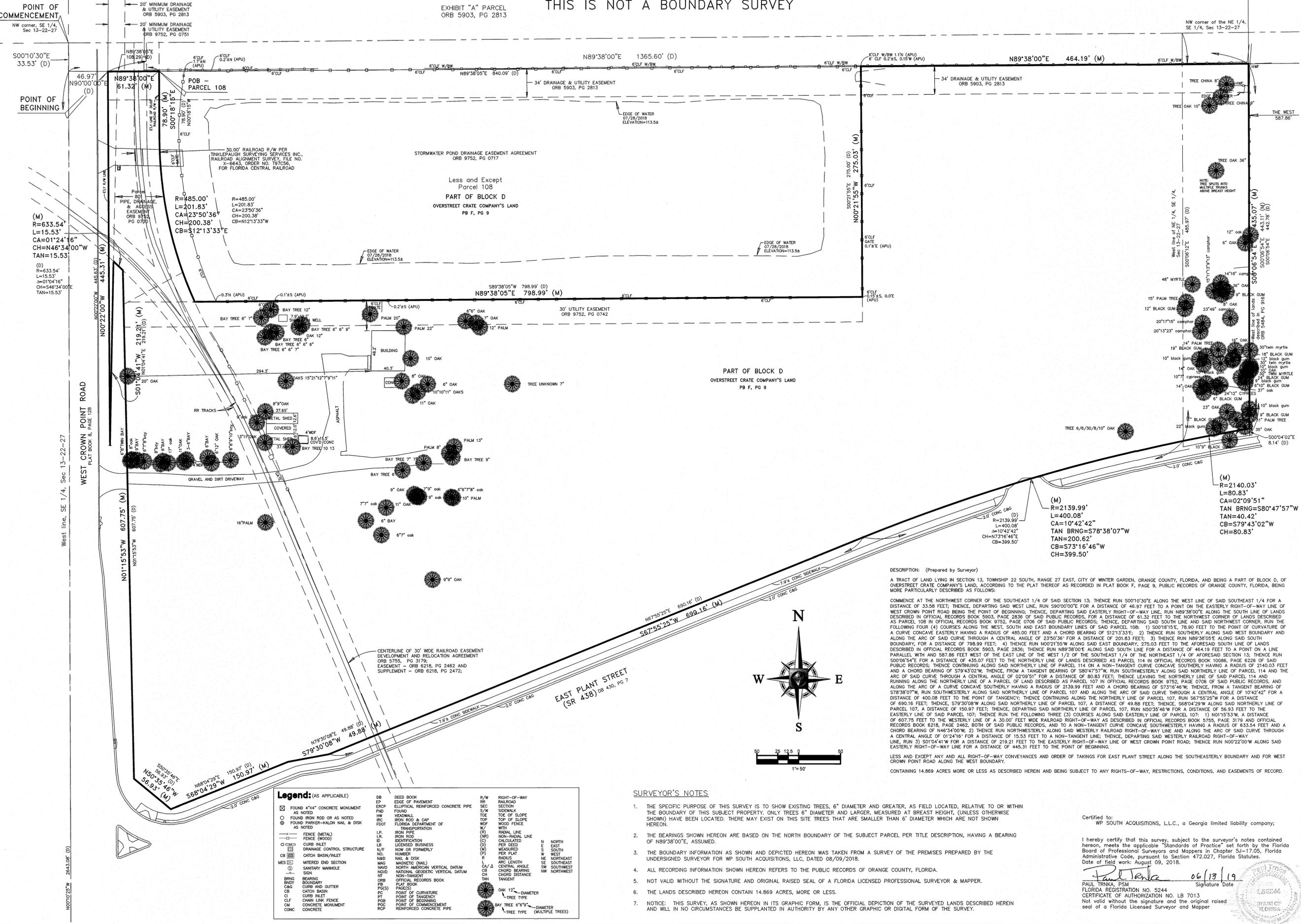
THIS IS NOT A BOUNDARY SURVEY

EXHIBIT "A" PARCEL
ORB 5903, PG 2813

POINT OF COMMENCEMENT
NW corner, SE 1/4,
Sec 13-22-27

POINT OF BEGINNING

NW corner of the NE 1/4,
SE 1/4, Sec 13-22-27



DESCRIPTION: (Prepared by Surveyor)
A TRACT OF LAND LYING IN SECTION 13, TOWNSHIP 22 SOUTH, RANGE 27 EAST, CITY OF WINTER GARDEN, ORANGE COUNTY, FLORIDA, AND BEING A PART OF BLOCK D, OF OVERSTREET CRATE COMPANY'S LAND, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK F, PAGE 9, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 13; THENCE RUN S001°30'00"E ALONG THE WEST LINE OF SAID SOUTHEAST 1/4 FOR A DISTANCE OF 33.58 FEET; THENCE DEPARTING SAID WEST LINE, RUN S90°00'00"E FOR A DISTANCE OF 46.97 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF WEST CROWN POINT ROAD BEING THE POINT OF BEGINNING; THENCE, DEPARTING SAID EASTERLY RIGHT-OF-WAY LINE, RUN N89°38'00"E ALONG THE SOUTH LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 5903, PAGE 2836 OF SAID PUBLIC RECORDS, FOR A DISTANCE OF 61.32 FEET TO THE NORTHWEST CORNER OF LANDS DESCRIBED AS PARCEL 108 IN OFFICIAL RECORDS BOOK 9752, PAGE 0708 OF SAID PUBLIC RECORDS; THENCE, DEPARTING SAID SOUTH LINE AND SAID NORTHWEST CORNER, RUN THE FOLLOWING FOUR (4) COURSES ALONG THE WEST, SOUTH AND EAST BOUNDARY LINES OF SAID PARCEL 108: 1) S001°15'15", 78.90 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 485.00 FEET AND A CHORD BEARING OF S121°13'33"W; 2) THENCE RUN SOUTHERLY ALONG SAID WEST BOUNDARY AND ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 23°50'36" FOR A DISTANCE OF 201.83 FEET; 3) THENCE RUN N89°38'05"E ALONG SAID SOUTH BOUNDARY, FOR A DISTANCE OF 798.99 FEET; 4) THENCE RUN N00°21'55"W ALONG SAID EAST BOUNDARY, 275.00 FEET TO THE AFORESAID SOUTH LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 5903, PAGE 2836; THENCE RUN N89°38'05"E ALONG SAID NORTHERLY LINE OF PARCEL 114 ON A NON-TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 2140.03 FEET PARALLEL WITH AND 587.86 FEET WEST OF THE EAST LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 13; THENCE RUN S000°54'42"E FOR A DISTANCE OF 435.07 FEET TO THE NORTHERLY LINE OF LANDS DESCRIBED AS PARCEL 114 IN OFFICIAL RECORDS BOOK 10086, PAGE 6226 OF SAID PUBLIC RECORDS; THENCE CONTINUING ALONG SAID NORTHERLY LINE OF PARCEL 114 ON A NON-TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 2140.03 FEET AND RUNNING ALONG THE NORTHERLY LINE OF A PARCEL OF LAND DESCRIBED AS PARCEL 107 IN OFFICIAL RECORDS BOOK 9752, PAGE 0708 OF SAID PUBLIC RECORDS, AND ALONG THE ARC OF A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 2139.99 FEET AND A CHORD BEARING OF S78°38'07"W; THENCE, FROM A TANGENT BEARING OF S78°38'07"W, RUN SOUTHWESTERLY ALONG SAID NORTHERLY LINE OF PARCEL 114 AND THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 02°09'51" FOR A DISTANCE OF 80.83 FEET; THENCE LEAVING THE NORTHERLY LINE OF SAID PARCEL 114 AND RUNNING ALONG THE NORTHERLY LINE OF A PARCEL OF LAND DESCRIBED AS PARCEL 107 IN OFFICIAL RECORDS BOOK 9752, PAGE 0708 OF SAID PUBLIC RECORDS, AND ALONG THE ARC OF A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 2139.99 FEET AND A CHORD BEARING OF S73°16'46"W; THENCE, FROM A TANGENT BEARING OF S78°38'07"W, RUN SOUTHWESTERLY ALONG SAID NORTHERLY LINE OF PARCEL 107 AND ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 10°42'42" FOR A DISTANCE OF 400.08 FEET TO THE POINT OF TANGENCY; THENCE CONTINUING ALONG THE NORTHERLY LINE OF PARCEL 107, RUN S67°55'25"W FOR A DISTANCE OF 609.16 FEET; THENCE, S79°30'08"W ALONG SAID NORTHERLY LINE OF PARCEL 107, A DISTANCE OF 49.89 FEET; THENCE, S80°42'29"W ALONG SAID NORTHERLY LINE OF PARCEL 107, A DISTANCE OF 150.97 FEET; THENCE, DEPARTING SAID NORTHERLY LINE OF PARCEL 107, RUN N50°35'46"W FOR A DISTANCE OF 56.93 FEET TO THE EASTERLY LINE OF SAID PARCEL 107; THENCE RUN THE FOLLOWING THREE (3) COURSES ALONG SAID EASTERLY LINE OF PARCEL 107: 1) N01°15'53"W, A DISTANCE OF 607.75 FEET TO THE WESTERLY LINE OF A 30.00 FEET WIDE RAILROAD RIGHT-OF-WAY AS DESCRIBED IN OFFICIAL RECORDS BOOK 5755, PAGE 3179 AND OFFICIAL RECORDS BOOK 8218, PAGE 2462, BOTH OF SAID PUBLIC RECORDS, AND TO A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 633.54 FEET AND A CHORD BEARING OF N46°34'00"W; 2) THENCE RUN NORTHWESTERLY ALONG SAID WESTERLY RAILROAD RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 01°24'16" FOR A DISTANCE OF 15.53 FEET TO A NON-TANGENT LINE; THENCE, DEPARTING SAID WESTERLY RAILROAD RIGHT-OF-WAY LINE, RUN S01°04'16"W FOR A DISTANCE OF 219.21 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF WEST CROWN POINT ROAD; THENCE RUN N00°22'00"W ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 445.31 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT ANY AND ALL RIGHT-OF-WAY CONVEYANCES AND ORDER OF TAKINGS FOR EAST PLANT STREET ALONG THE SOUTHEASTERN BOUNDARY AND FOR WEST CROWN POINT ROAD ALONG THE WEST BOUNDARY.

CONTAINING 14.869 ACRES MORE OR LESS AS DESCRIBED HEREIN AND BEING SUBJECT TO ANY RIGHTS-OF-WAY, RESTRICTIONS, CONDITIONS, AND EASEMENTS OF RECORD.

SURVEYOR'S NOTES

1. THE SPECIFIC PURPOSE OF THIS SURVEY IS TO SHOW EXISTING TREES, 6" DIAMETER AND GREATER, AS FIELD LOCATED, RELATIVE TO OR WITHIN THE BOUNDARY OF THIS SUBJECT PROPERTY. ONLY TREES 6" DIAMETER AND LARGER, MEASURED AT BREAST HEIGHT, (UNLESS OTHERWISE SHOWN) HAVE BEEN LOCATED. THERE MAY EXIST ON THIS SITE TREES THAT ARE SMALLER THAN 6" DIAMETER WHICH ARE NOT SHOWN HEREON.
2. THE BEARINGS SHOWN HEREON ARE BASED ON THE NORTH BOUNDARY OF THE SUBJECT PARCEL PER TITLE DESCRIPTION, HAVING A BEARING OF N89°38'00"E, ASSUMED.
3. THE BOUNDARY INFORMATION AS SHOWN AND DEPICTED HEREON WAS TAKEN FROM A SURVEY OF THE PREMISES PREPARED BY THE UNDERSIGNED SURVEYOR FOR WP SOUTH ACQUISITIONS, LLC, DATED 08/09/2018.
4. ALL RECORDING INFORMATION SHOWN HEREON REFERS TO THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
5. NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR & MAPPER.
6. THE LANDS DESCRIBED HEREON CONTAIN 14.869 ACRES, MORE OR LESS.
7. NOTICE: THIS SURVEY, AS SHOWN HEREON IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SURVEYED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE SURVEY.

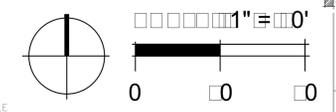
Certified to:
WP SOUTH ACQUISITIONS, L.L.C., a Georgia limited liability company;

I hereby certify that this survey, subject to the surveyor's notes contained hereon, meets the applicable "Standards of Practice" set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.
Date of field work: August 09, 2018.

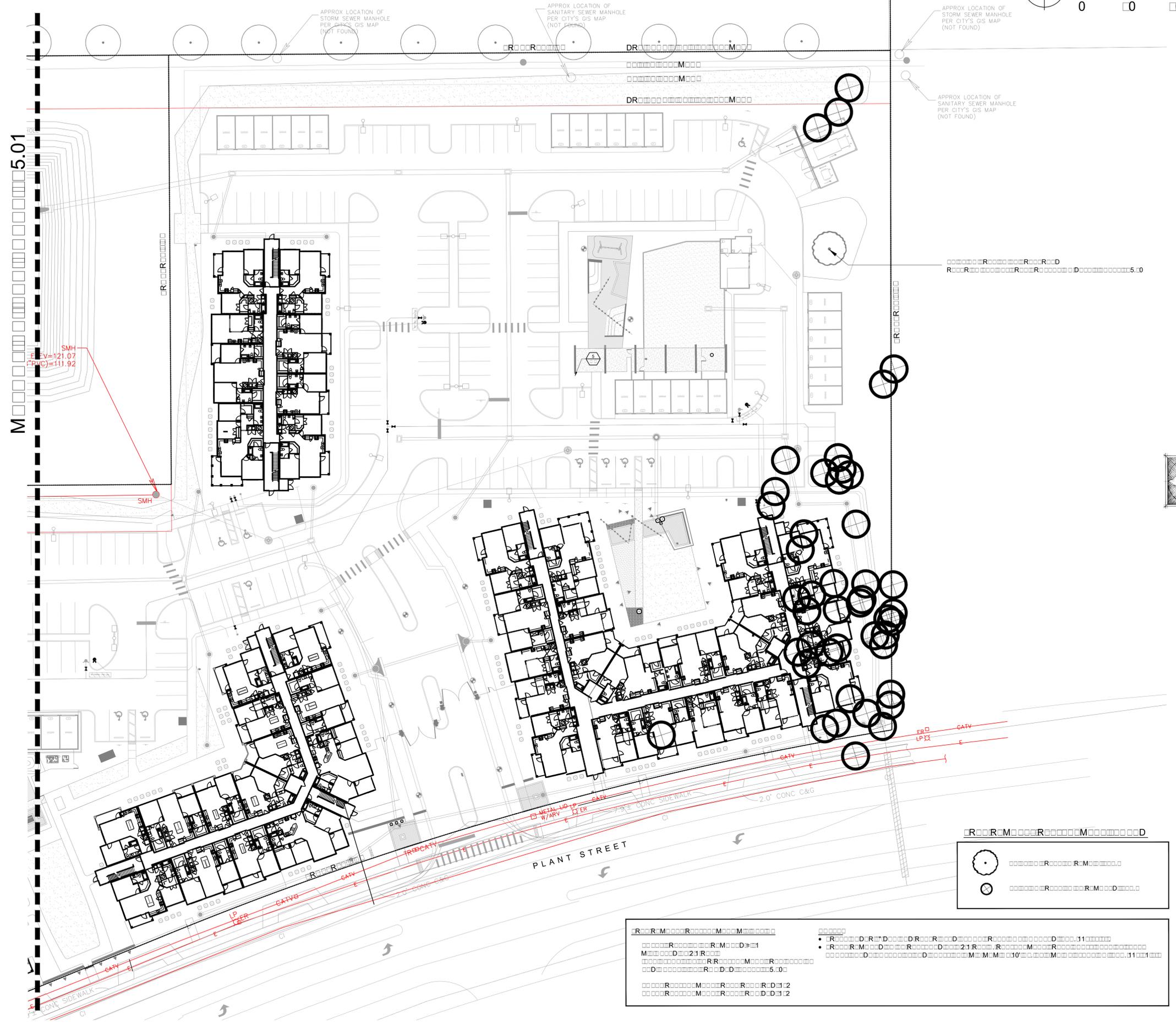
Paul Truica 06/13/19
Paul Truica, PSM Signature Date
FLORIDA REGISTRATION NO. 5244
CERTIFICATE OF AUTHORIZATION NO. LB 7013
Not Valid Without the Signature and the Original Raised Seal of a Florida Licensed Surveyor and Mapper

Legend: (AS APPLICABLE)

□ FOUND 4"x4" CONCRETE MONUMENT AS NOTED	DB DEED BOOK	R/W RIGHT-OF-WAY
○ FOUND IRON ROD OR AS NOTED	EP EDGE OF PAVEMENT	RR RAILROAD
⊙ FOUND PARKER-MALON NAIL & DISK AS NOTED	CRP ELLIPTICAL REINFORCED CONCRETE PIPE	SEC SECTION
— FENCE (METAL)	FP FOUND	S/W SIDEWALK
— FENCE (WOOD)	HW HEADWALL	TOP OF SLOPE
— CURB INLET	IR IRON ROD & CAP	TOE OF SLOPE
— DRAINAGE CONTROL STRUCTURE	FDOT FLORIDA DEPARTMENT OF TRANSPORTATION	W/W WOOD FENCE
— CATCH BASIN/INLET	IP IRON PIPE	(R) RADIAL LINE
— INTERED END SECTION	IR IRON ROD	(NR) NON-RADIAL LINE
— SIGN	IB IDENTIFICATION	(C) CALCULATED
— SANITARY MANHOLE	N/F NOW OR FORMERLY	(M) MEASURED
— SIGN	N&D NAIL & DISK	(R) RADIAL
— BEARING	MAV MAGNETIC (NAIL)	(CA) CENTRAL ANGLE
— ENDY CURB AND GUTTER	NVD NATIONAL GEODETIC VERTICAL DATUM	(CB) CHORD BEARING
— CURB BASIN	NT NON-TANGENT	(CH) CHORD DISTANCE
— CHAIN LINK FENCE	ORB OFFICIAL RECORDS BOOK	(TAN) TANGENT
— CM CONCRETE MONUMENT	PLAT BOOK	(OAK 12") OAK 12" DIAMETER
— CONC CONCRETE	PG(S) PAGE(S)	() TREE TYPE
	PC POINT OF CURVATURE	() BAY TREE 6"Ø 3" DIAMETER
	PT POINT OF TANGENCY	() TREE TYPE
	POB POINT OF BEGINNING	() BAY TREE 6"Ø 3" DIAMETER
	POC POINT OF COMMENCEMENT	() TREE TYPE (MULTIPLE TREES)
	RPC REINFORCED CONCRETE PIPE	



Date:	10/16/19
Drawn by:	RI/
Reviewed by:	BH
Job Number:	50044
Revision:	Date:



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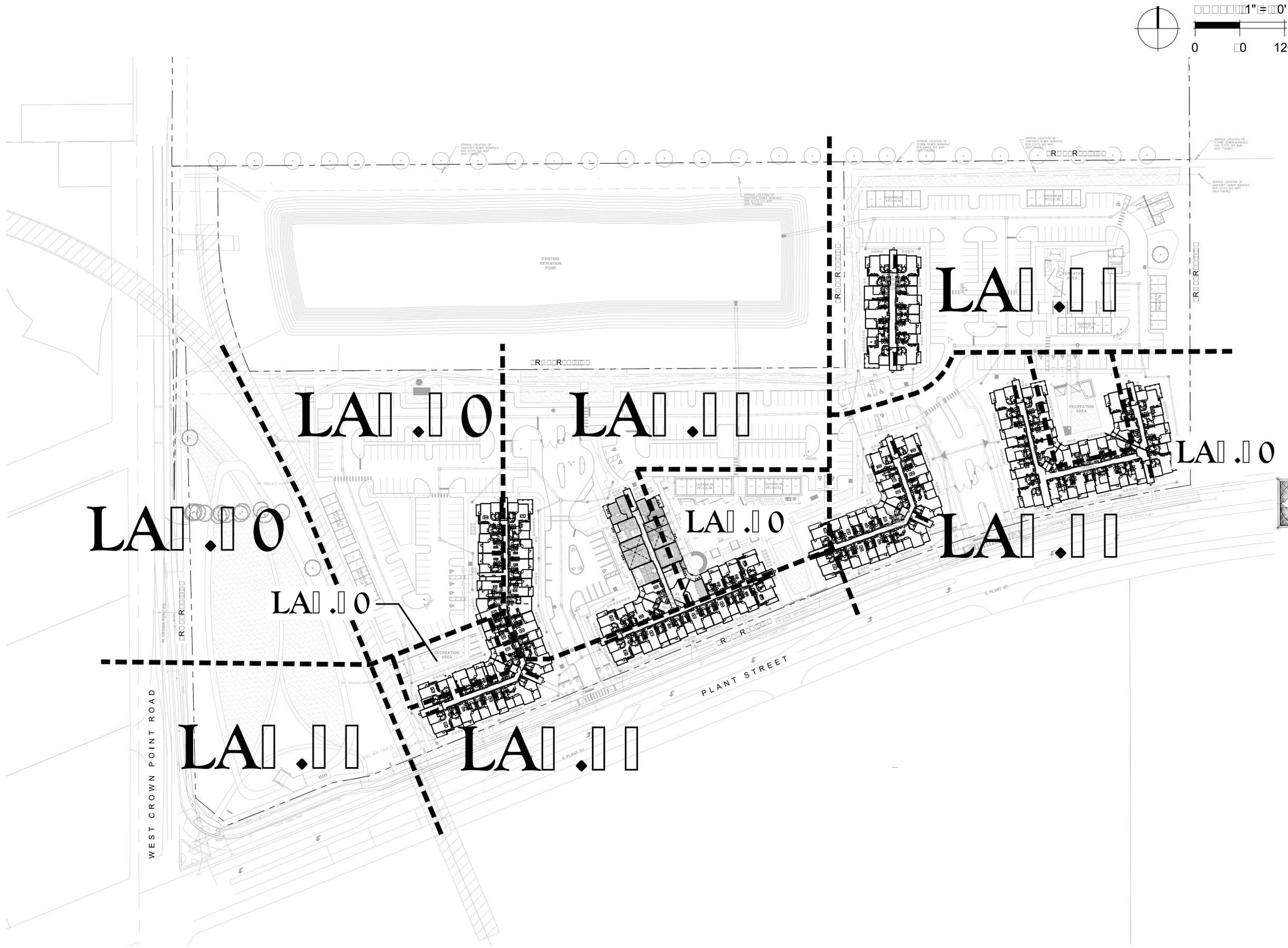
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90% LANDS! APE PLANS

Tree Removal/Replacement Plan

Sheet Number:
LA.01



Date:	10/16/19
Drawn by:	RI/11
Reviewed by:	BH
Job Number:	50044
Revision:	Date:

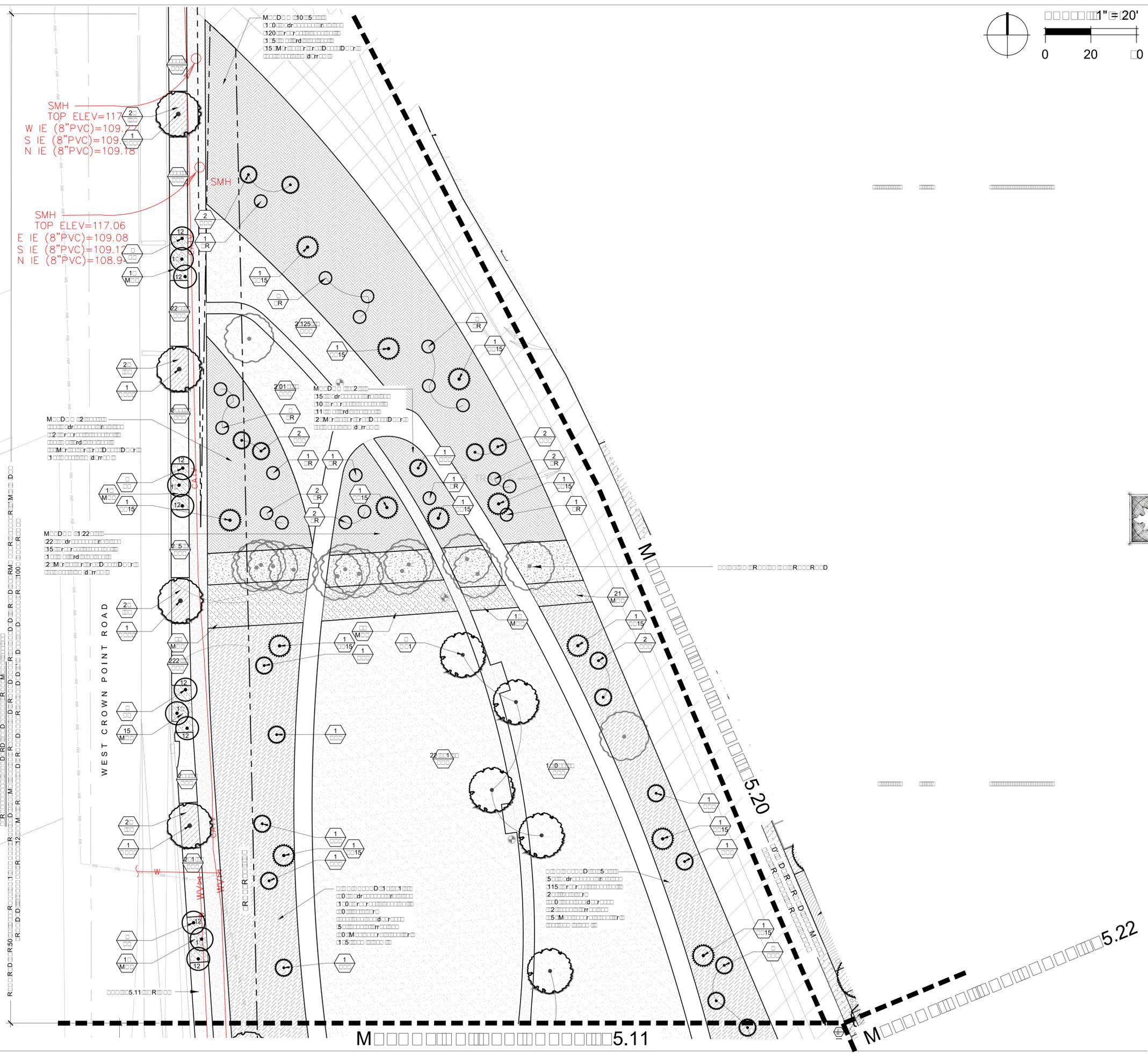
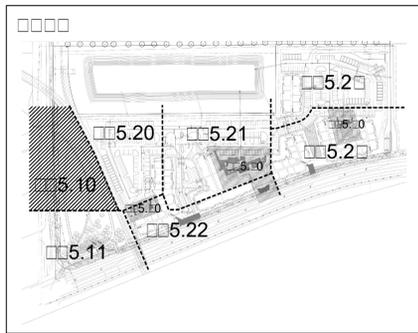
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 + PARTNERS
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 WEST PALM BEACH, FL 33411
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90% LANDS APE PLANS
 Landscape 1 of 1 Sheet

Sheet Number:
LA 1.0



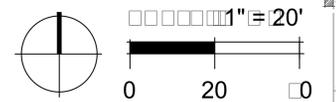
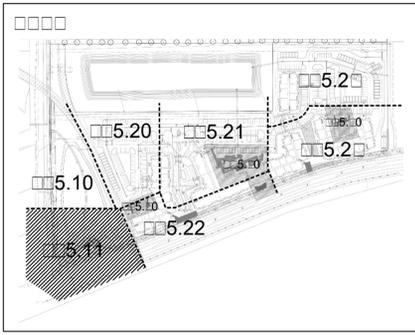
Date:	10/16/19
Drawn by:	RJ/BJ
Reviewed by:	BH
Job Number:	50044
Revision:	Date:

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 Winter Garden, Florida
Wood Partners
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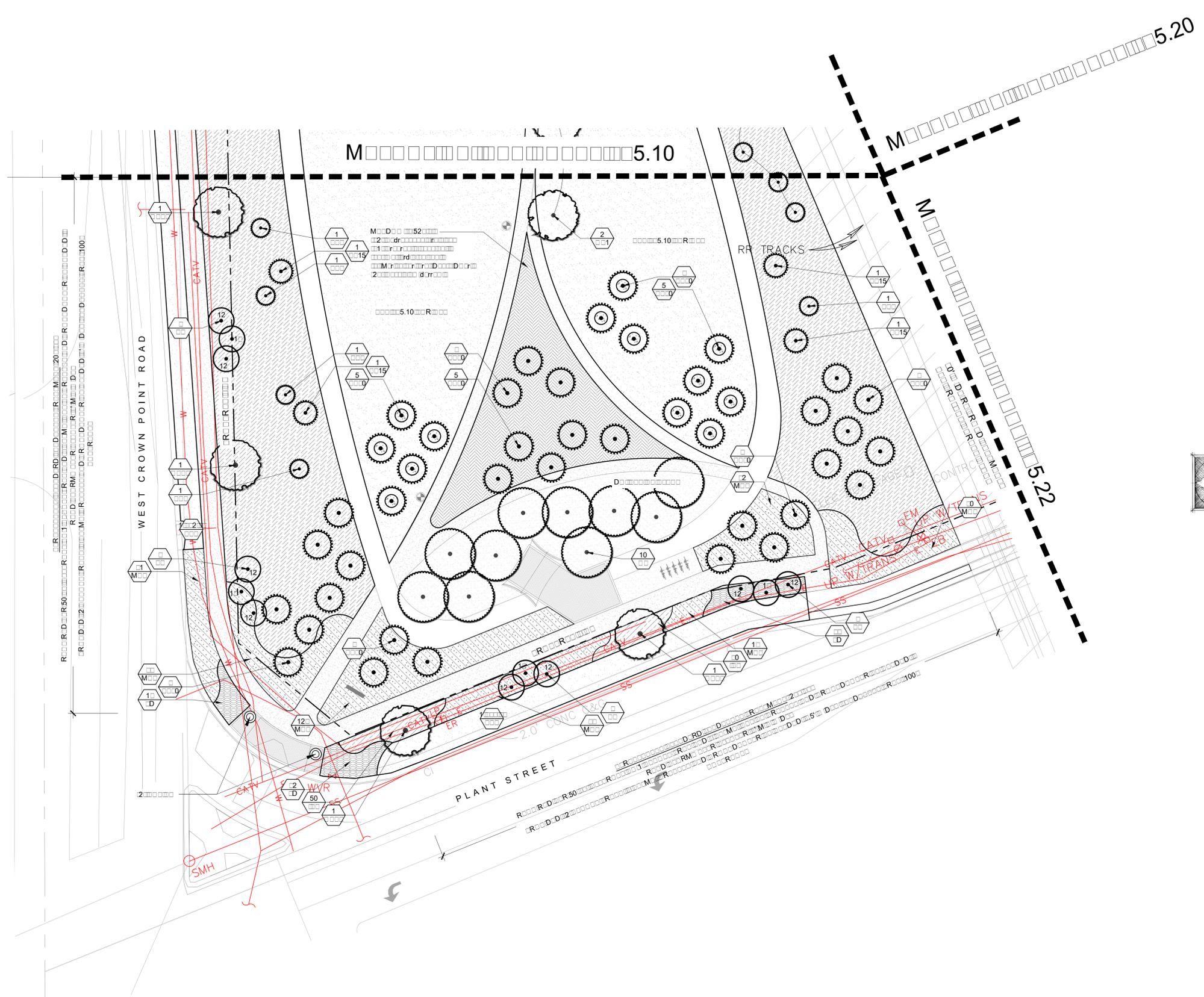


90% LANDS APE PLANS
 Part North Landscape Plan

Sheet Number:
LA 10



Date:	10/16/19
Drawn by:	RJ/11
Reviewed by:	BH
Job Number:	50044
Revision:	Date:



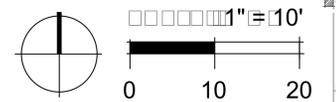
ALTA WINTER GARDEN
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401 S. Distie Hwy., Suite 303, West Palm Beach, FL 33401

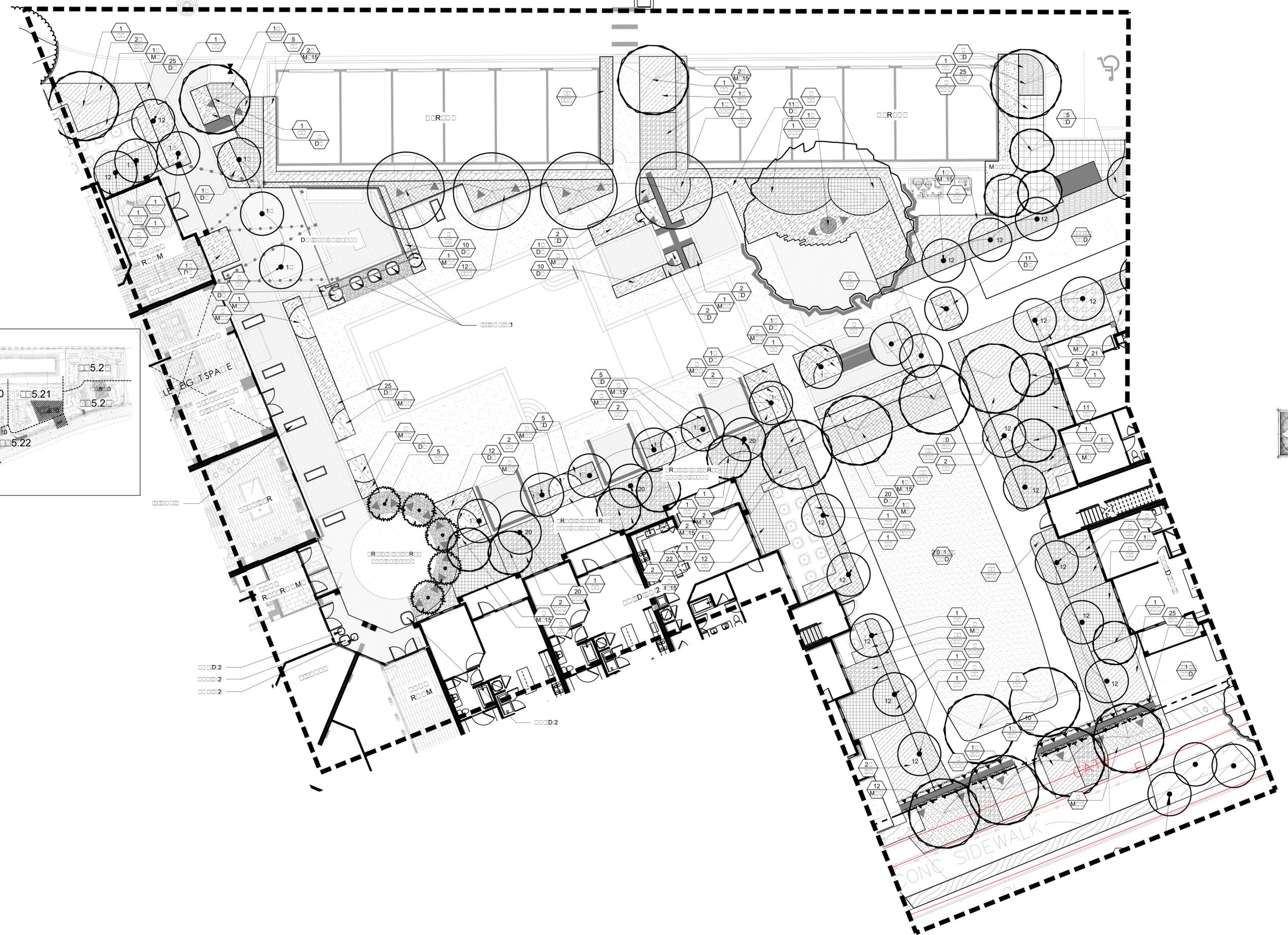
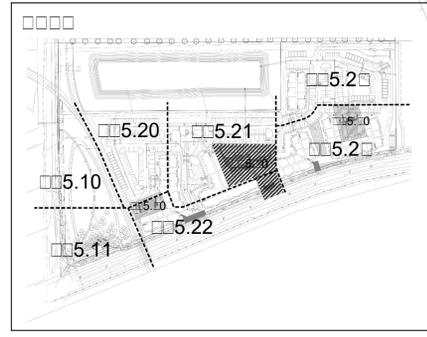
90% LANDS APE PLANS

Part I South Landscape Plan

Sheet Number:
LA .00

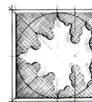


Date: 10/16/19
 Drawn by: RJ/BJ
 Reviewed by: BH
 Job Number: 50044
 Revision: Date:



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 Winter Garden, Florida

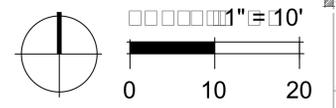
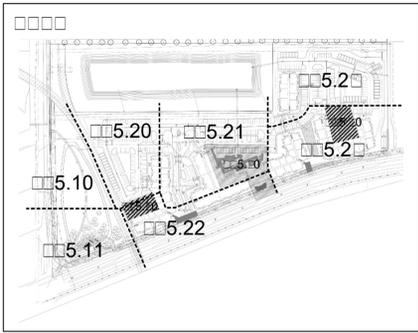
Wood Partners
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 + PARTNERS
 1501 G.W. WOODS BLVD., SUITE 100
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 TEL 561.867.1777
 FAX 561.867.1779

90% LANDSCAPE PLANS
 Pool Courtyard Landscape Plan

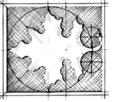
Sheet Number:
LA 10



Date:	10/16/19
Drawn by:	RI/II
Reviewed by:	BH
Job Number:	50044
Revision:	Date:

ALTA WINTER GARDEN
Winter Garden, Florida

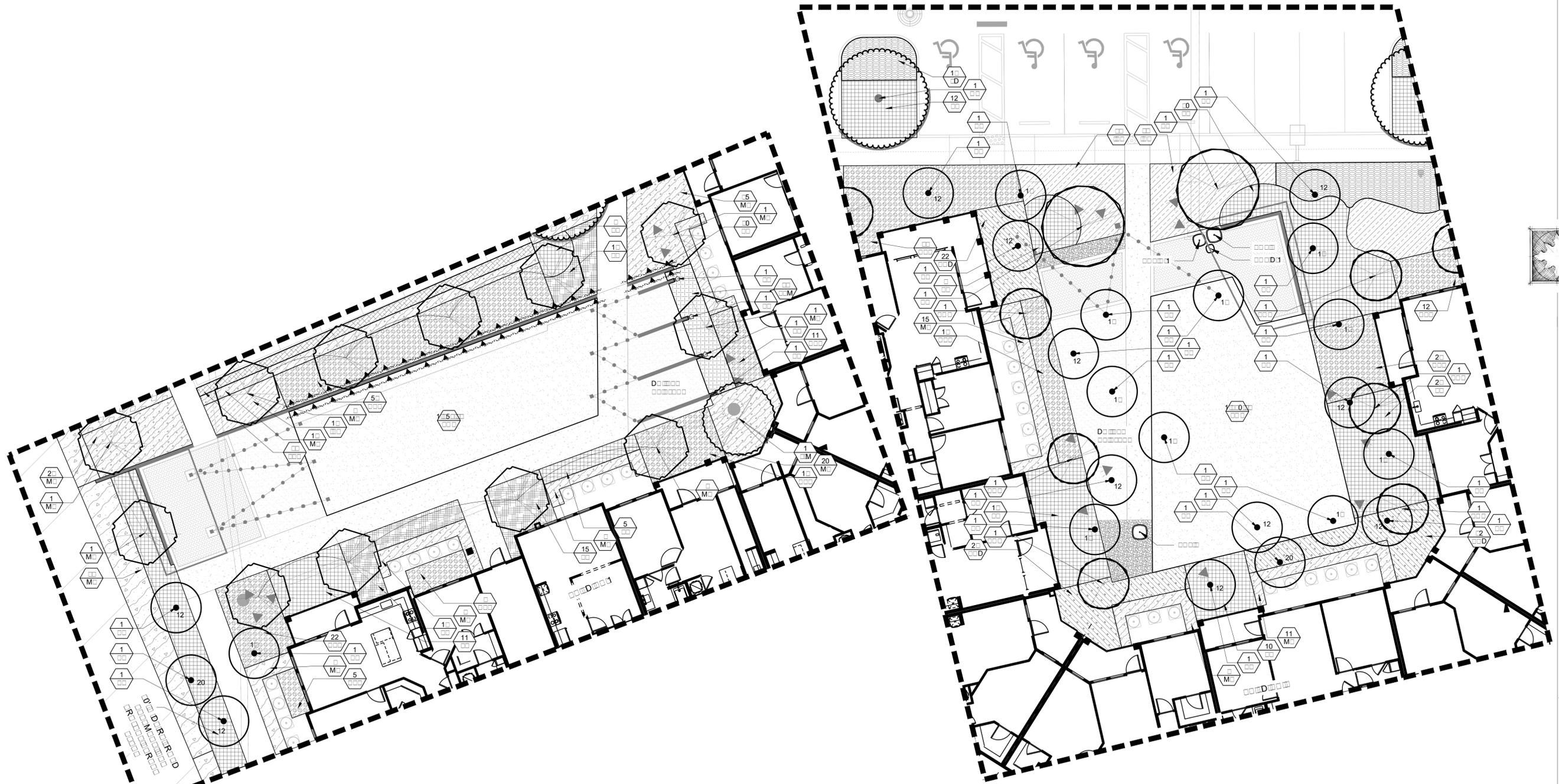
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TEL 407.687.1777
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90% LANDS APE PLANS

West 10 East Courtyard Landscape Plans



WEST COURTYARD

EAST COURTYARD

Sheet Number:
LA 10



Plant Code	Plant Name	Quantity	Plant Name	Quantity	Plant Name	Quantity
DR	DR	5	DR	25	R:M:R	1
DR	DR	1	DR	15	R:M:R	1
DR	DR	2	DR	15	R:M:R	1
DM	DM	1	M	15	R:M:R	1
DR	DR	1	R	15	R:M:R	1
DR	DR	1	DR	15	R:M:R	1
DR	DR	0	DR	100	R:M:R	5
DR	DR	2	D	5	R:M:R	2
DM	DM	2	DM	5	R:M:R	10
DR	DR	10	DR	10	R:M:R	2
M	M	12	D	5	R:M:R	5
DR	DR	1	DR	10	R:M:R	2
DR	DR	0	DR	10	R:M:R	2
DR	DR	5	DR	15	R:M:R	1
DR	DR	51	DR	10	R:M:R	2
DR	DR	12	DR	10	R:M:R	2
DR	DR	0	DR	100	R:M:R	10
DR	DR	2	DR	200	R:M:R	5
DR	DR	20	DR	15	R:M:R	2
DR	DR	210	DR	0	R:M:R	0
DR	DR	0	DR	10	R:M:R	0
DR	DR	5	DR	0	R:M:R	0
DR	DR	5	DR	0	R:M:R	0
DR	DR	225	D	0	R:M:R	2
DR	DR	25	D	0	R:M:R	12
M	M	0	M	2	R:M:R	2
M	M	15	M	15	R:M:R	5
M	M	23	M	0	R:M:R	0
DR	DR	25	R	10	R:M:R	1
DR	DR	12	DR	0	R:M:R	0
DR	DR	10	D	1	R:M:R	1
DR	DR	0	DR	0	R:M:R	2
DR	DR	110	DR	0	R:M:R	1
DR	DR	01	DR	1	R:M:R	0
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DM	DM	0	D	12	R:M:R	5
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DR	DR	55	D	1	R:M:R	2
DR	DR	0	DR	0	R:M:R	0
DR	DR	25	DR	0	R:M:R	0
DR	DR	15	DR	0	R:M:R	0
DR	DR	0	DR	0	R:M:R	0

R:M:R
 M:R
 D:R
 DR

Plant Code	Plant Name	Quantity	Plant Name	Quantity	Plant Name	Quantity
POT A	POT A	1	POT A	1	POT A	1
POT B	POT B	5	POT B	12	POT B	1
POT C-1	POT C-1	1	POT C-1	2	POT C-1	1
POT C-2	POT C-2	1	POT C-2	1	POT C-2	1
POT D-1	POT D-1	1	POT D-1	2	POT D-1	2
POT D-2	POT D-2	1	POT D-2	2	POT D-2	2
POT E	POT E	1	POT E	1	POT E	1
POT F	POT F	1	POT F	1	POT F	1
POT G-1	POT G-1	1	POT G-1	12	POT G-1	1
POT G-2	POT G-2	1	POT G-2	1	POT G-2	1
POT H	POT H	1	POT H	2	POT H	2

R:M:R
 D:R
 DR



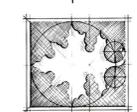
Date:	10/16/19
Drawn by:	PSI
Reviewed by:	MLP
Job Number:	50044
Revision:	Date:

ALTA WINTER GARDEN

90% IRRIGATION PLANS

Prepared For Wood Partners
OCTOBER 16, 2019

ALTA WINTER GARDEN
Winter Garden, Florida
Wood Partners
401 S. Dixie Hwy, Suite 303, West Palm Beach, FL 33401



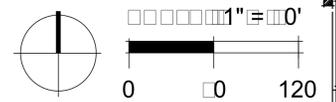
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1501 WOODLAND BLVD
LONGWOOD, FLORIDA 32909
TEL 407.667.1777
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90% IRRIGATION PLANS

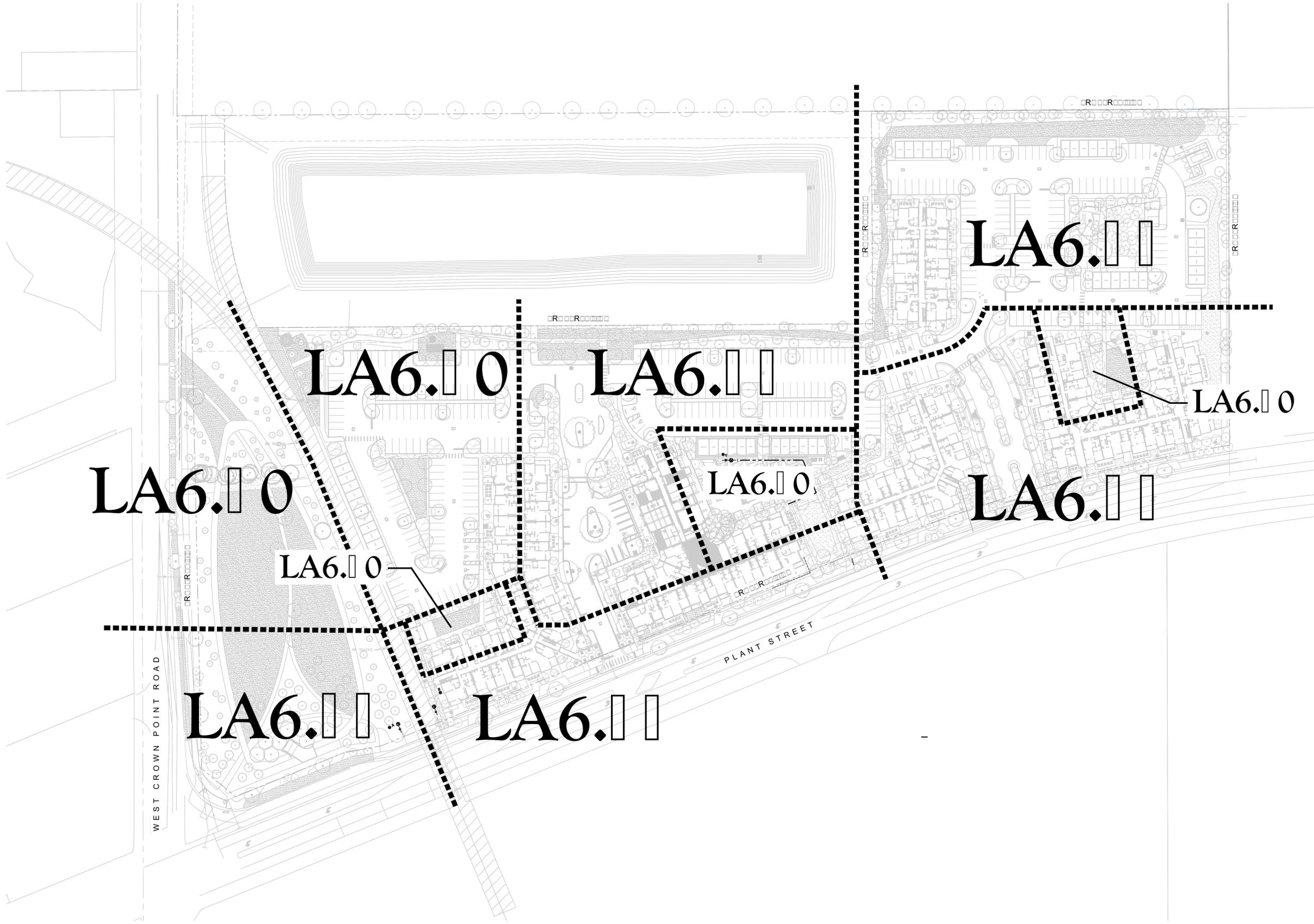
IRRIGATION Cover Sheet

SHEET NO. 6 OF 10	
SECTION 1	SHEDS
SECTION 2	IRRIGATION
SECTION 3	IRRIGATION
SECTION 4	IRRIGATION
SECTION 5	IRRIGATION
SECTION 6	IRRIGATION
SECTION 7	IRRIGATION
SECTION 8	IRRIGATION
SECTION 9	IRRIGATION
SECTION 10	IRRIGATION

Sheet Number:
LA6.00



Date:	10/16/19
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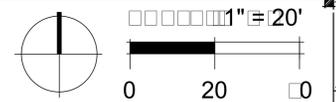
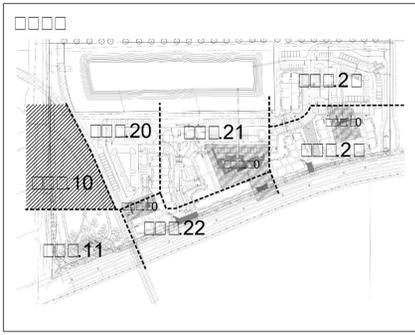


ALTA WINTER GARDEN
 Winter Garden, Florida

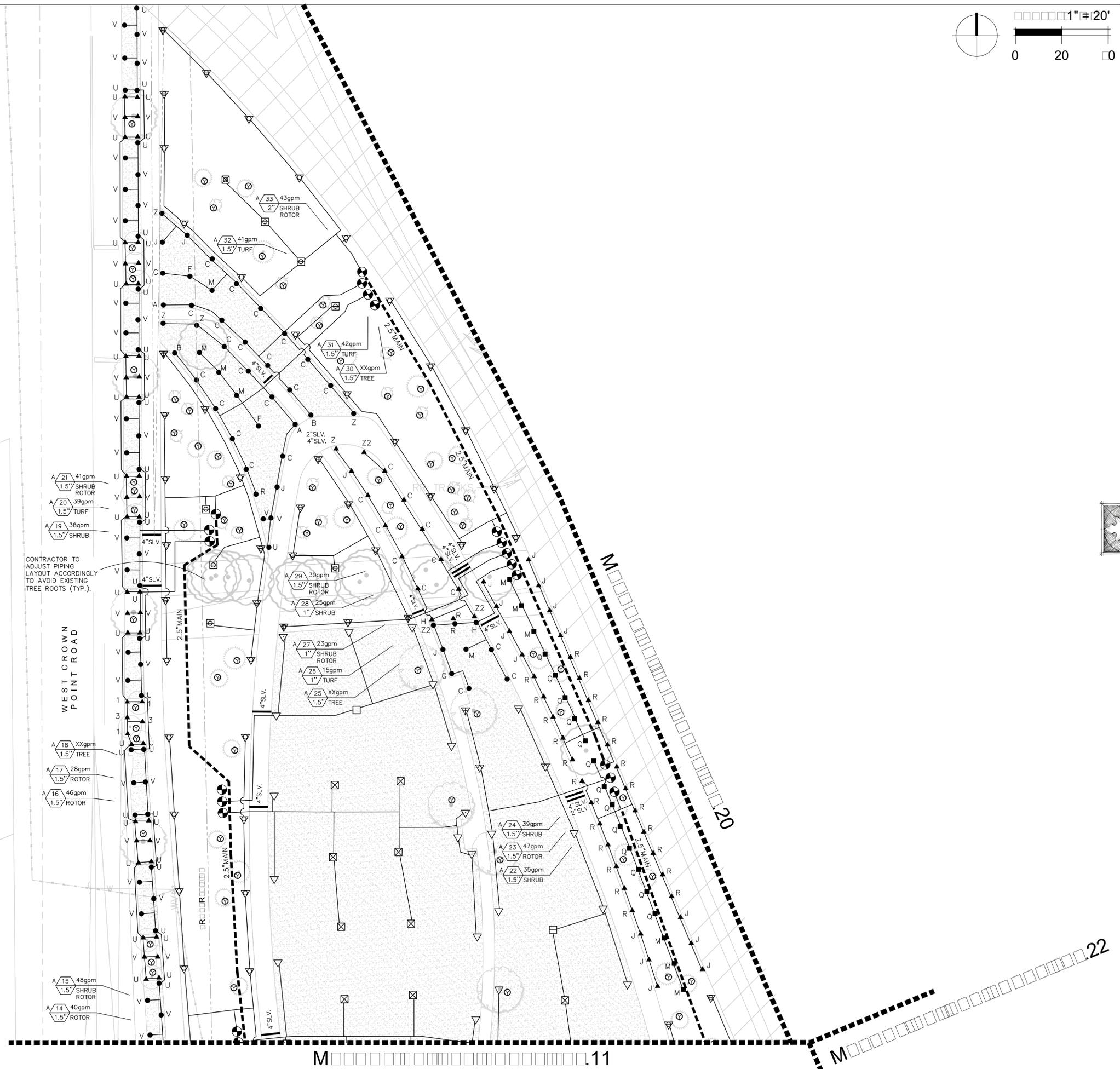
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 + PARTNERS
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 LOANWOODS FLORENCE
 TEL 407.667.1777
 FAX 407.667.1777

90% IRRIGATION PLANS
 Irrigation Sheet

Sheet Number:
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CONTRACTOR TO ADJUST PIPING LAYOUT ACCORDINGLY TO AVOID EXISTING TREE ROOTS (TYP.).

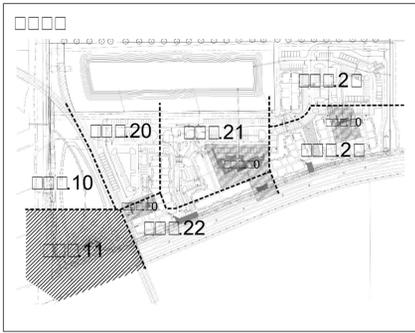
WEST CROWN POINT ROAD

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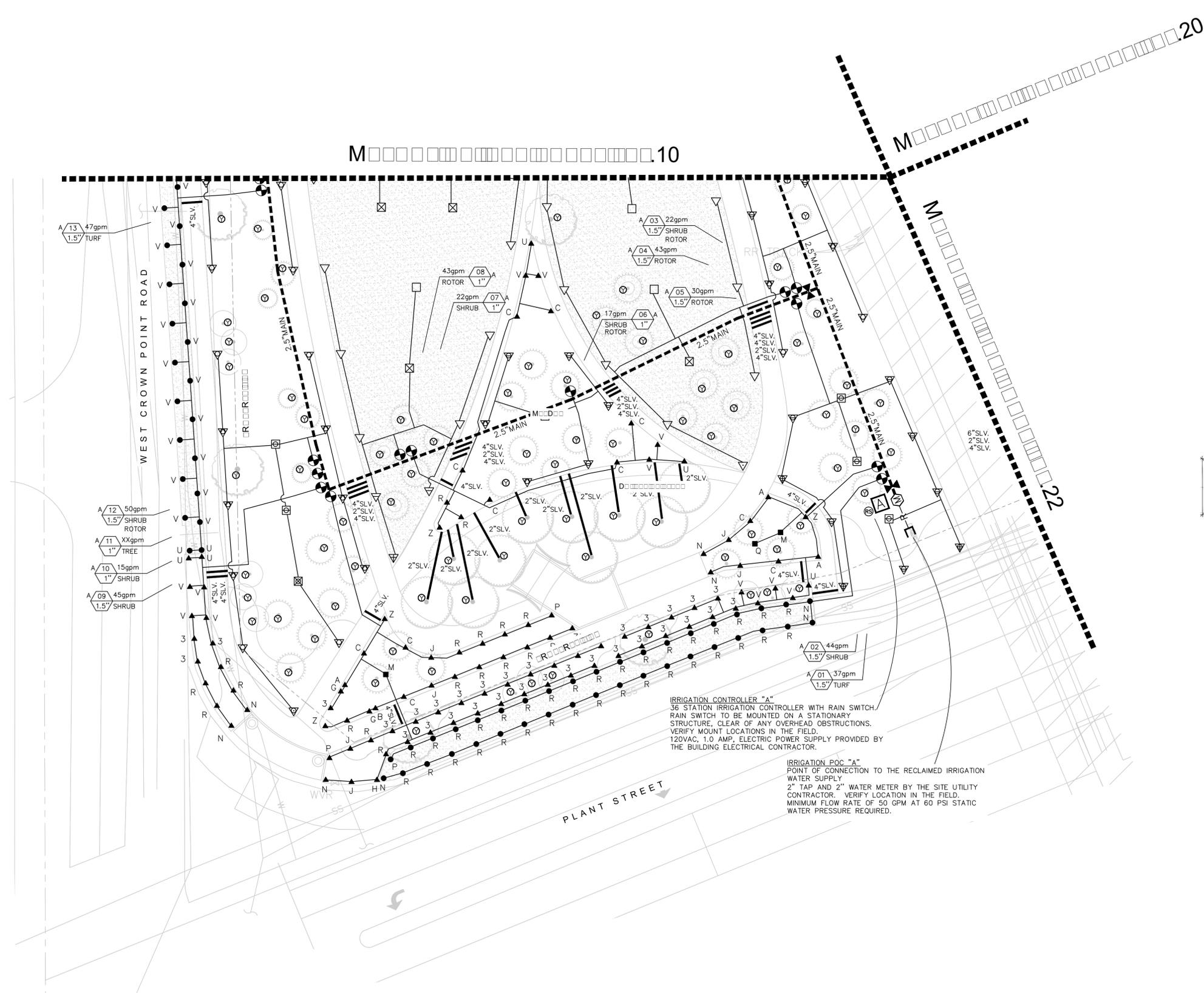


90% IRRIGATION PLANS
Part North Irrigation Plan

Sheet Number:
LA6.0



Date:	10/16/19
Drawn by:	PSI
Reviewed by:	MLP
Job Number:	50044
Revision:	Date:



IRRIGATION CONTROLLER "A"
 36 STATION IRRIGATION CONTROLLER WITH RAIN SWITCH.
 RAIN SWITCH TO BE MOUNTED ON A STATIONARY
 STRUCTURE, CLEAR OF ANY OVERHEAD OBSTRUCTIONS.
 VERIFY MOUNT LOCATIONS IN THE FIELD.
 120VAC, 1.0 AMP. ELECTRIC POWER SUPPLY PROVIDED BY
 THE BUILDING ELECTRICAL CONTRACTOR.

IRRIGATION POC "A"
 POINT OF CONNECTION TO THE RECLAIMED IRRIGATION
 WATER SUPPLY.
 2" TAP AND 2" WATER METER BY THE SITE UTILITY
 CONTRACTOR. VERIFY LOCATION IN THE FIELD.
 MINIMUM FLOW RATE OF 50 GPM AT 60 PSI STATIC
 WATER PRESSURE REQUIRED.

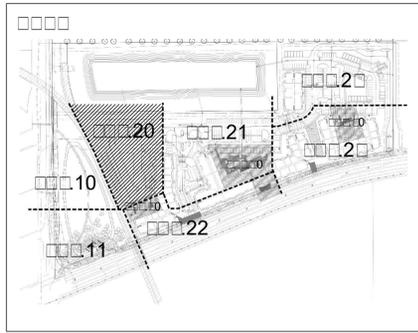
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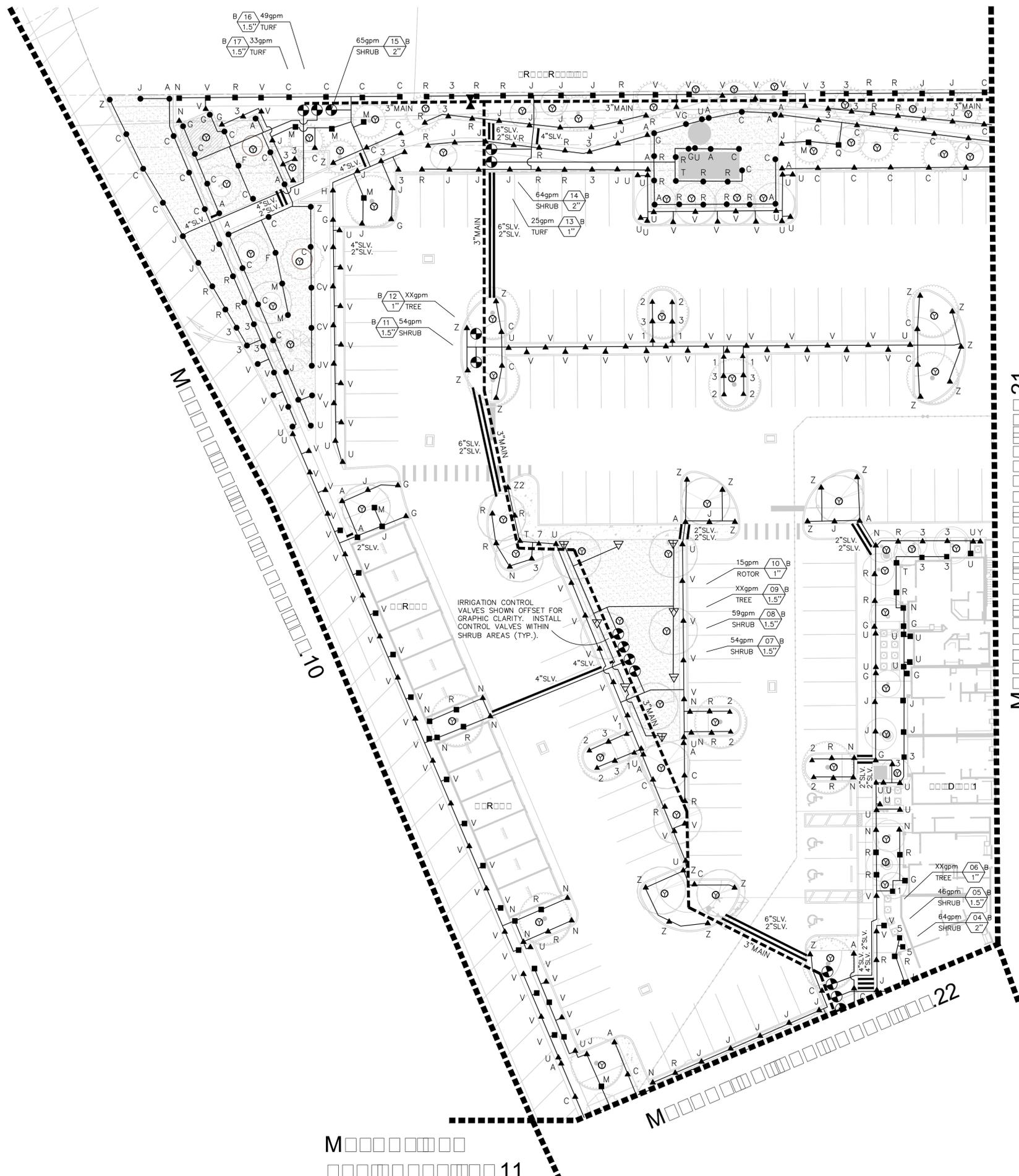
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 SUITE 100
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90% IRRIGATION PLANS
 Part 0 South Irrigation Plan

Sheet Number:
LA6.00



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Revision:	Date:



ALTA WINTER GARDEN
Winter Garden, Florida

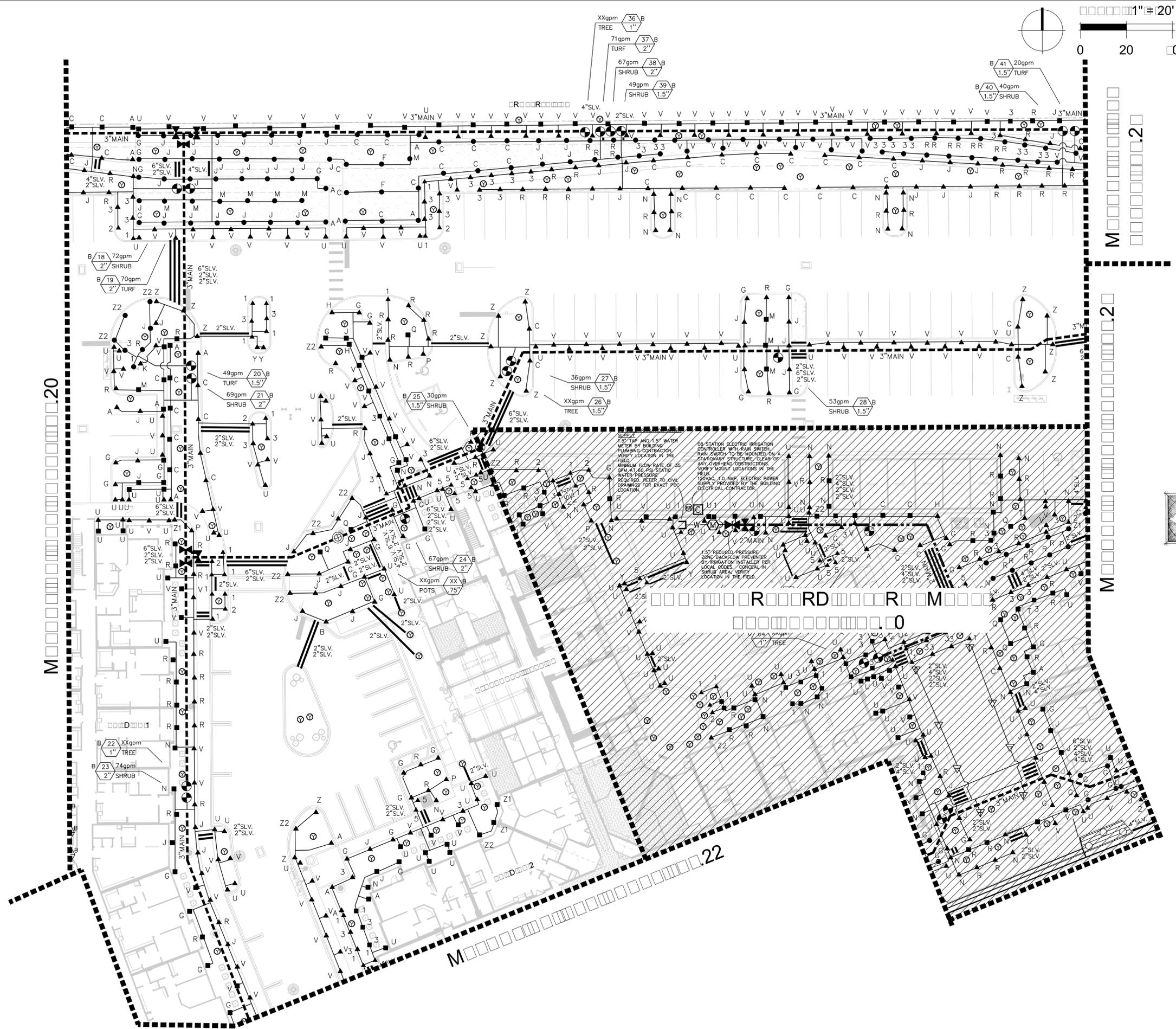
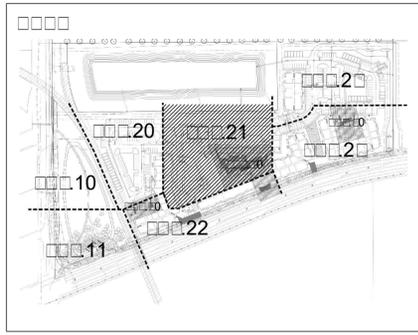
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90% IRRIGATION PLANS

Northwest Irrigation Plan

Sheet Number:
LA6.00



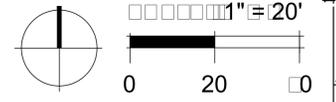
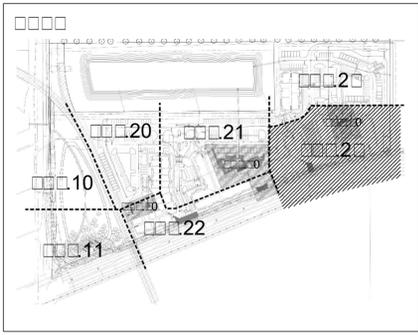
Date:	10/16/19
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Job Number:	50044
Revision:	Date:

ALTA WINTER GARDEN
Winter Garden, Florida

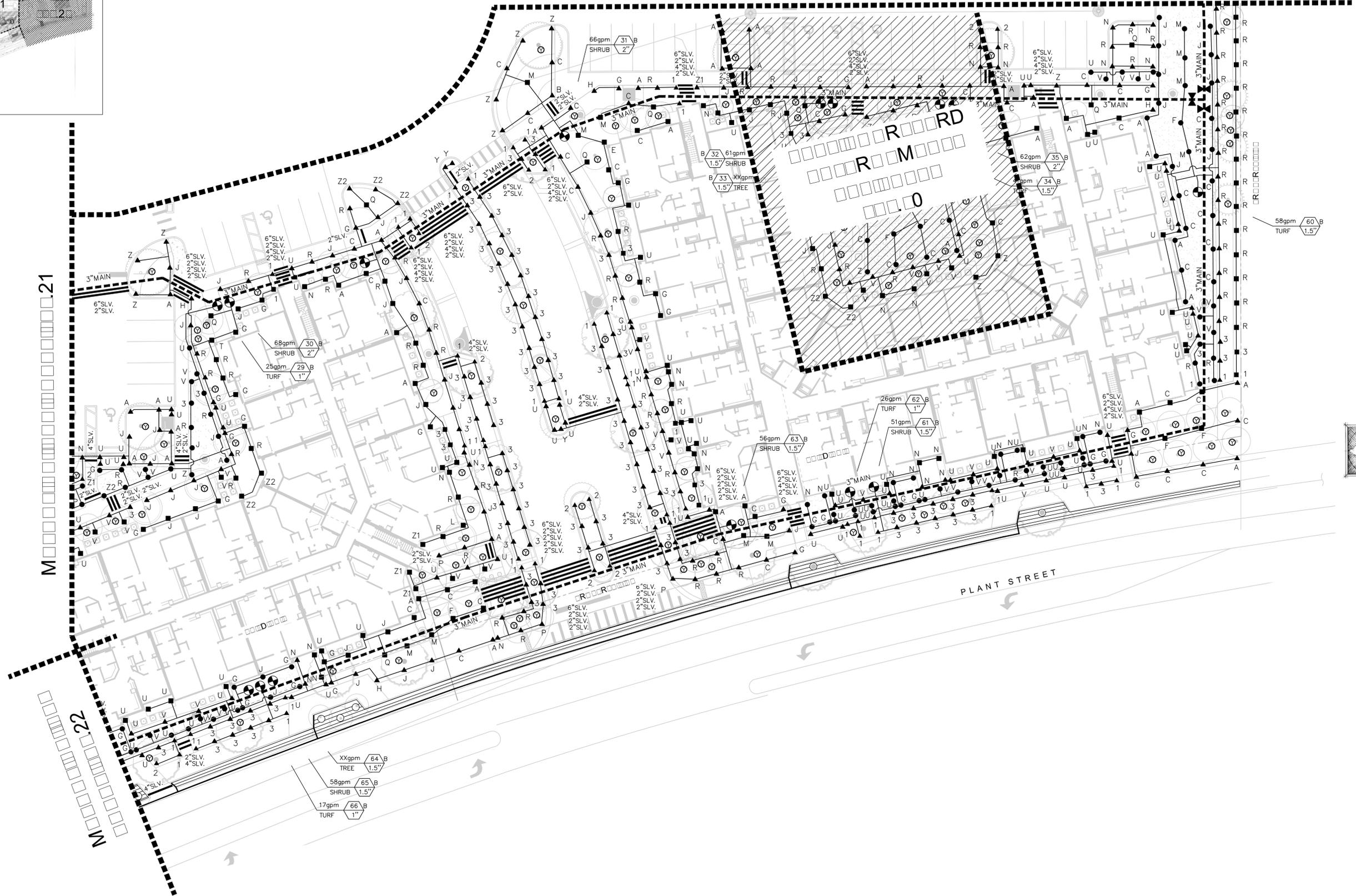
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401 S. Dixie Hwy., Suite 303, West Palm Beach, FL 33401
TEL: 407.667.1774
FAX: 407.667.1779

90% IRRIGATION PLANS
Central Irrigation Plan

Sheet Number:
LA6.00



Date:	10/16/19
Drawn by:	PSI
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Job Number:	50044
Revision:	Date:



M 21

M 22

M 20

- XXgpm 64 B
TREE 1.5"
- 58gpm 65 B
SHRUB 1.5"
- 17gpm 66 B
TURF 1"

ALTA WINTER GARDEN
Winter Garden, Florida

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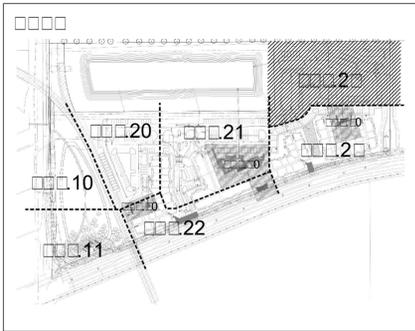


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+ PARTNERS
150 W. WOODLAND BOULEVARD
WEST PALM BEACH, FLORIDA 33411
TEL: 407.667.1774
FAX: 407.667.1779

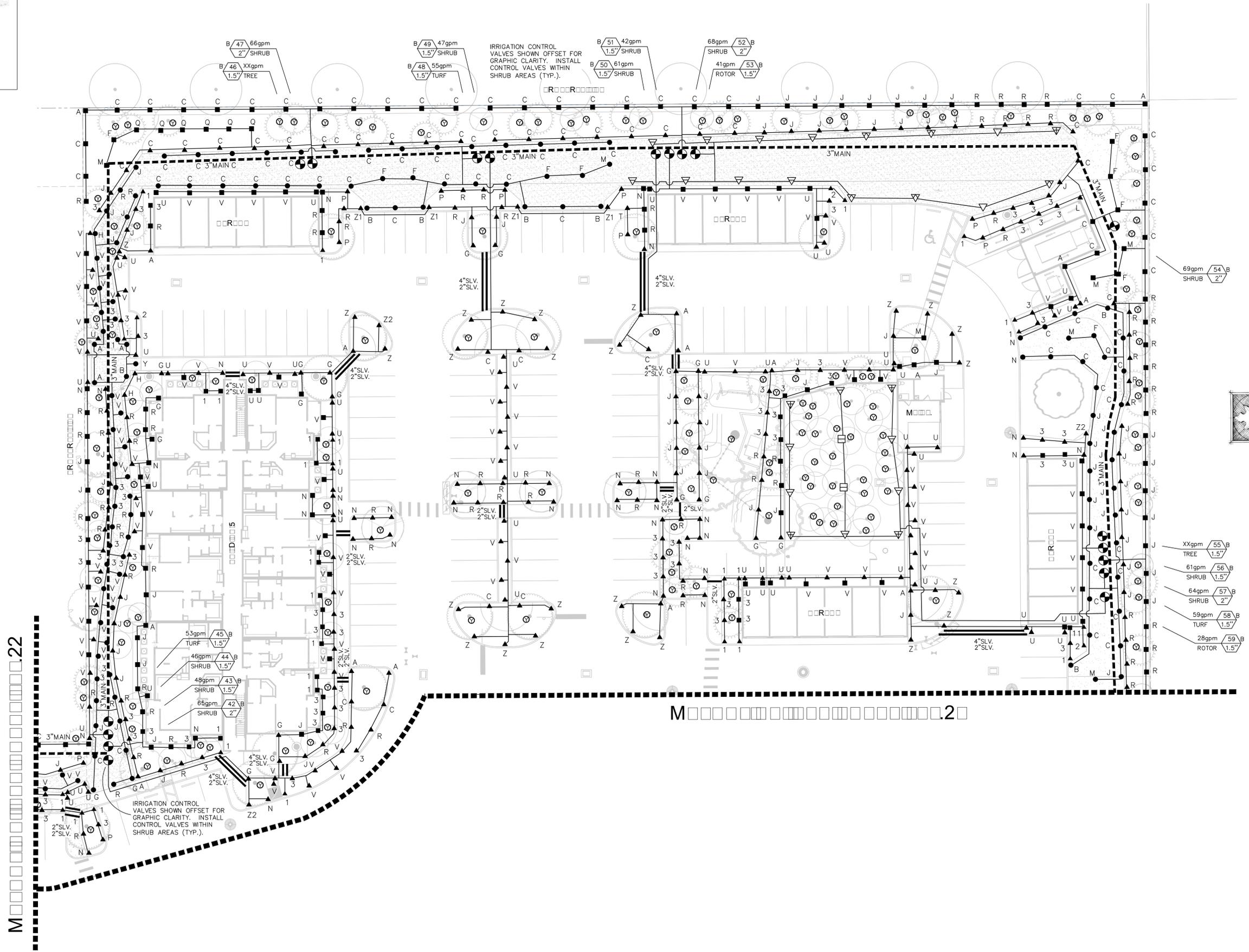
90% IRRIGATION PLANS

Southeast Irrigation Plan

Sheet Number:
LA6.00



Date:	10/16/19
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Job Number:	50044
Revision:	Date:

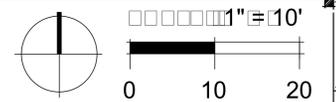


ALTA WINTER GARDEN
Winter Garden, Florida

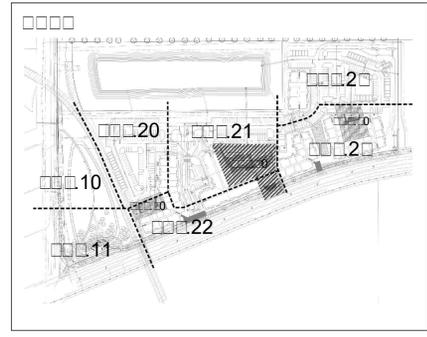
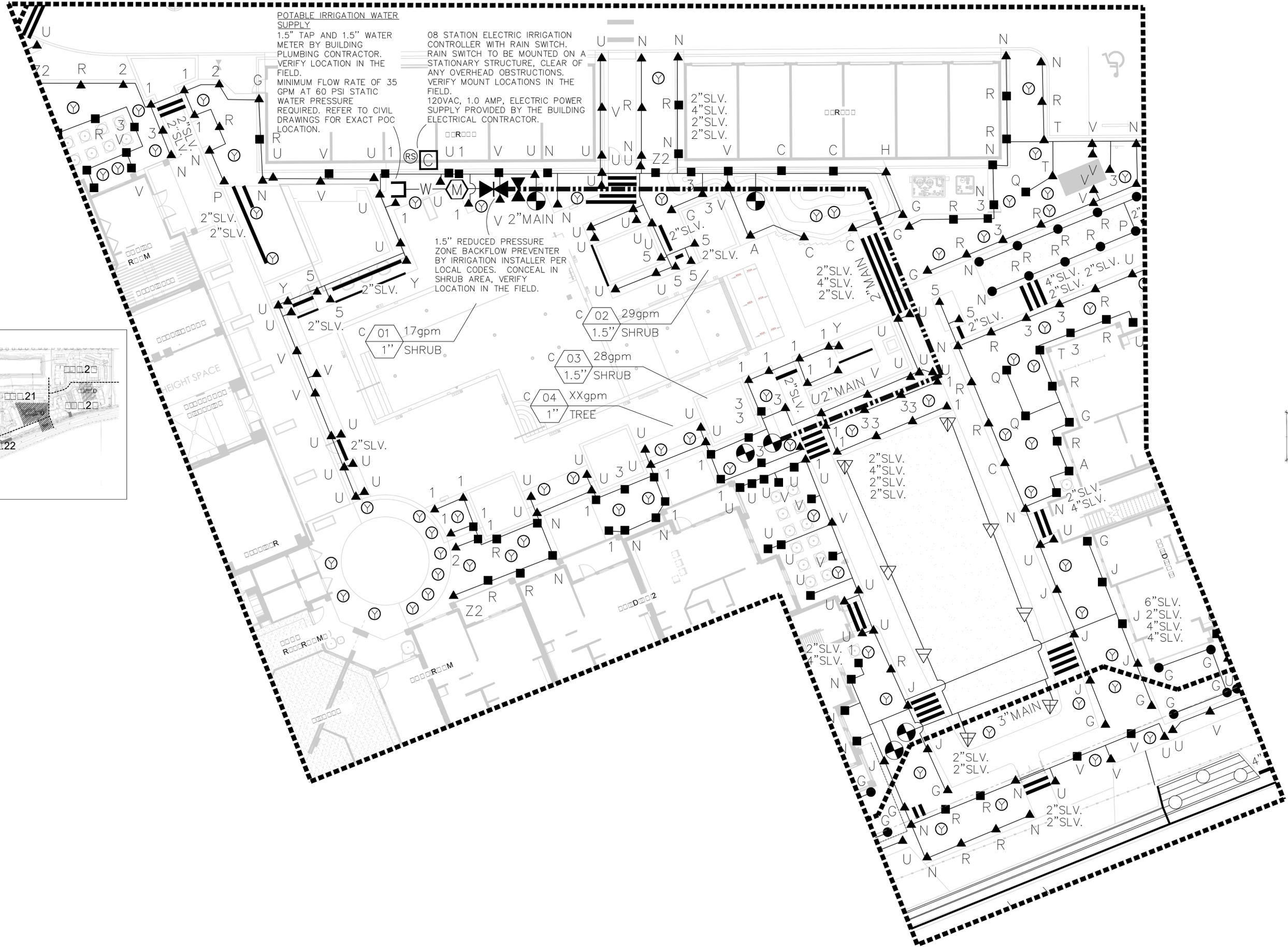
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FAX 407.667.1779

90% IRRIGATION PLANS
Northeast Irrigation Plan

Sheet Number:
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Revision:	Date:

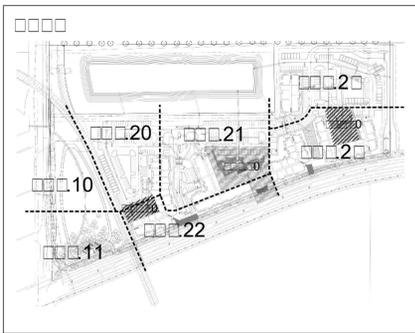


ALTA WINTER GARDEN
Winter Garden, Florida

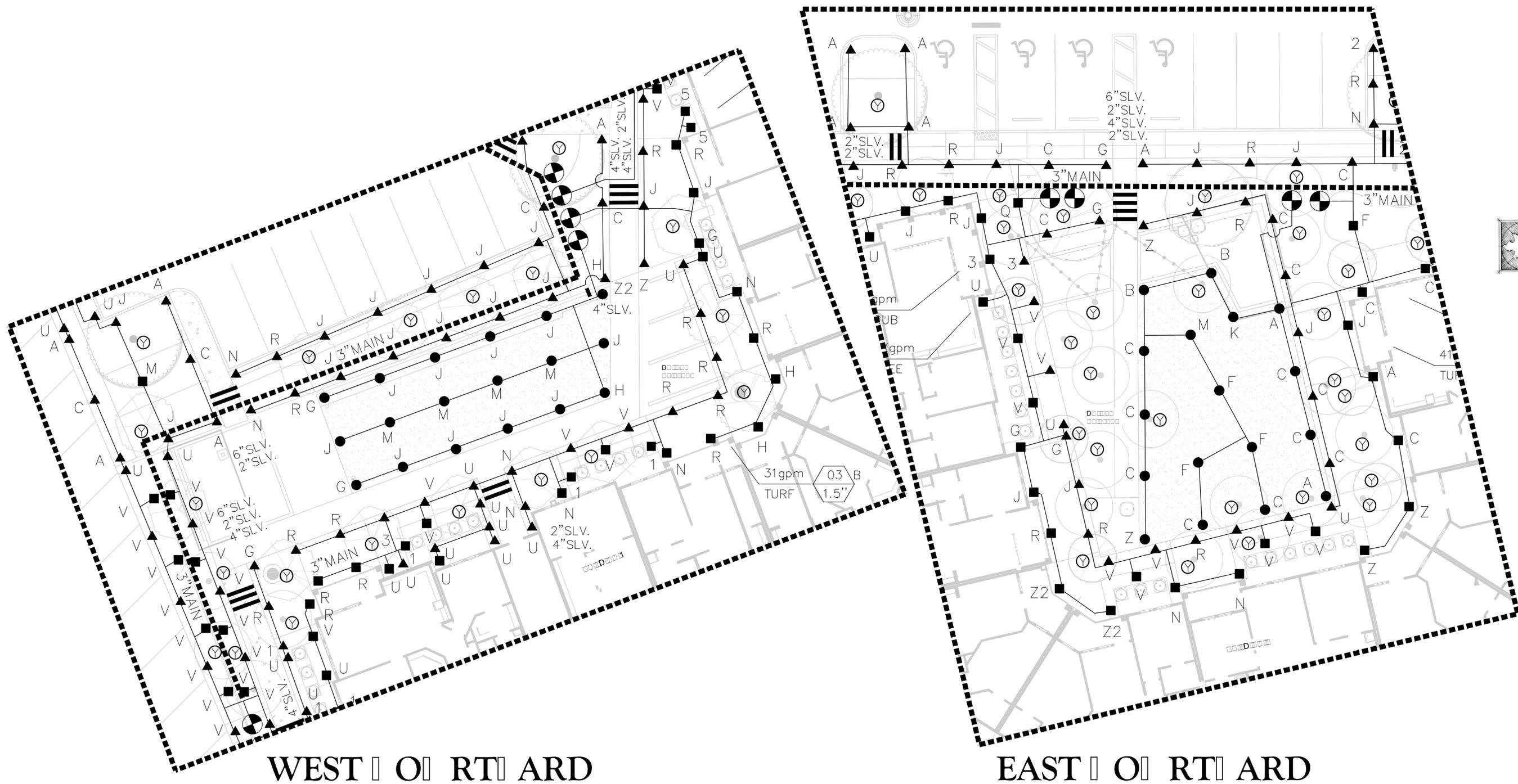
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150 W. GOLF COURSE BOULEVARD
LAKE WINDY, FLORIDA 32809
TEL: 407.667.1777
FAX: 407.667.1779

90% IRRIGATION PLANS
Pool Courtyard Irrigation Plan

Sheet Number:
LA6.00



Date:	10/16/19
Drawn by:	PSI
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WEST COURTYARD

EAST COURTYARD

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Winter Garden, Florida

Wood Partners
401 S. Dixie Hwy., Suite 303, West Palm Beach, FL 33401



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TEL 407.667.1774
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90% IRRIGATION PLANS

West Courtyard Irrigation Plans

Sheet Number:
LA6.00

IRRIGATION NOTES

- SOME PIPE LINES ARE DRAWN OFF SET FOR CLARITY. INSTALL ALL IRRIGATION LINES IN LANDSCAPED AREAS.
- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREE ROOT BALLS AND TO INSTALL HEADS AT APPROPRIATE LOCATIONS.
- ADJUST ALL NOZZLES TO REDUCE OVERTHROW ON PAVING & WALLS. THROTTLE ALL IRRIGATION CONTROL VALVES AS REQUIRED TO PREVENT FOGGING. SET CONTROLLER RUN TIMES TO MATCH PLANT WATER NEEDS AND SOIL CONDITIONS.
- INSTALL RISERS 18" FROM WALLS OR BUILDINGS, AND 24" FROM PAVED SURFACES. PAINT ALL RISERS AND SUPPORTS FLAT BLACK.
- INSTALL POP-UP HEADS 18" FROM WALLS, 6" FROM WALKS, DECKS AND CURBS, 6 FEET FROM CURBLESS ROADS, AND 30" FROM THE END OF PARKING SPACES. PROVIDE LAVENDER CAPS AS REQUIRED.
- SET TOP OF POP-UP HEAD CAPS 1" ABOVE FINISHED GRADE PRIOR TO SOD OR MULCH INSTALLATION.
- REFER TO UTILITY PLANS PRIOR TO TRENCHING. THE IRRIGATION INSTALLER SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES CAUSED BY THEIR WORK DURING THE PROJECT.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- ELECTRIC POWER SUPPLY FOR THE IRRIGATION CONTROLLER SHALL BE BROUGHT TO A JUNCTION BOX AT THE CONTROLLER LOCATION BY THE BUILDING ELECTRICAL CONTRACTOR. IRRIGATION INSTALLER TO PROVIDE ELECTRICAL PERMITS AND LICENSED ELECTRICIAN TO CONNECT THE IRRIGATION CONTROLLER EQUIPMENT TO THE POWER SUPPLY.
- IRRIGATION WATER CONNECTIONS AND SYSTEM CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL CODES FOR IRRIGATION INSTALLATION. SIGNAGE, PLACARDS AND CONNECTIONS TO THE RECLAIMED WATER SUPPLY. THE TERM LAVENDER COLOR ON THESE PLANS REFERS TO PANTONE COLOR #512, PER PLUMBING CODES AND THE USE OF RECLAIMED WATER FOR LANDSCAPE IRRIGATION.
- IRRIGATION INSTALLER TO ACQUIRE ALL PERMITS AND UTILIZE ALL SAFETY PRECAUTIONS REQUIRED TO WORK IN ROW OF ROADWAY.
- SIXTY (60) PSI MINIMUM STATIC WATER PRESSURE IS REQUIRED FOR THE EFFICIENT OPERATION OF THE IRRIGATION SYSTEM AS DESIGNED. VERIFY THE MINIMUM STATIC WATER PRESSURE AND VOLUME IS AVAILABLE AT THE PROJECT SITE PRIOR TO BEGINNING THE IRRIGATION INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT IN WRITING IF THE MINIMUM STATIC WATER PRESSURE OR WATER VOLUME IS NOT AVAILABLE.
- AT THE END OF PARKING SPACES PLACE HEADS IN LINE WITH PARKING STRIPES OR 2.5 FEET FROM BACK OF CURB. (TYPICAL)
- PRIOR TO STARTING THE WORKS INSPECT THE SITE AND LOCATE ALL EXISTING IRRIGATION PIPES, WIRES AND EQUIPMENT. PROVIDE LABOR AND MATERIALS TO REPAIR ANY DAMAGED EXISTING IRRIGATION. PROVIDE "UTELINE" PIPES AND WIRES TO KEEP ADJACENT IRRIGATION ZONES OPERATIONAL THROUGHOUT THE WORKS.
- THE IRRIGATION MAINLINE IS DRAWN OFFSET FOR GRAPHIC CLARITY. DO NOT SCALE THE MAINLINE FROM THE DRAWING FOR INSTALLATION. LAYOUT THE IRRIGATION MAINLINE ROUTE IN THE FIELD TO AVOID PROPOSED AND EXISTING TREE ROOT ZONES AND UTILITIES.

IRRIGATION LEGEND

- REUSE WATER TAP AND REUSE WATER METER, PER LOCAL AND STATE CODES. SIZE INDICATED ON PLAN.
- TWO WIRE DECODER IRRIGATION CONTROLLER WITH RAIN SWITCH. NUMBER OF STATIONS INDICATED ON PLAN. 120 VOLT, 1.0 AMP. ELECTRIC CIRCUIT FROM NEAREST ELECTRICAL PANEL, BY THE SITE MEP CONTRACTOR. RAINBIRD ESP-LSD SERIES WITH MINI-CLICK RAINSWITCH.
- IRRIGATION CONTROL VALVE. PLASTIC BODY WITH FLOW CONTROL. MOUNT IN 15" RECTANGULAR VALVE BOX WITH GREEN LID. SIZE INDICATED ON PLAN. RAINBIRD 900A VALVE SERIES, OR EQUAL. PROVIDE FD-TURF DECODERS AND LSP-TURF SURGE PROTECTOR WITH GROUND ROD. UNITS EVERY 7 DECODERS OR EVERY 500' AND AT THE END OF EVERY WIRE PATH. ALL WIRE SPICES ON THE TWO-WIRE CABLE TO BE MADE WITH 3M DBYR CONNECTORS, OR EQUAL.
- IRRIGATION CONTROL VALVE TAG. INDICATES VALVE LOCATION, STATION NUMBER, SIZE AND ZONE FLOW RATE.
- IRRIGATION ISOLATION VALVE. SIZE SAME SIZE AS PIPE. MOUNT IN 19" RECTANGULAR VALVE BOX WITH 8" NDS DRAIN PIPE EXTENSION AS NEEDED. 2.5" AND SMALLER - BRONZE THREAD ON TYPE WITH WHEEL HANDLE. 3" AND LARGER - CAST IRON GASKET JOINT TYPE WITH 2" OPERATING NUT HANDLE, AND VALVE TO PIPE RESTRAINING FITTINGS. PROVIDE ONE VALVE KEY FOR EACH TYPE VALVE INSTALLED.
- RECLAIMED IRRIGATION SYSTEM
 - PVC MAIN LINE PIPE WITH METALLIC MARKING TAPE. CLASS 200, PURPLE PVC. INSTALL 18" DEEP.
 - 2.5" AND SMALLER, SOLVENT WELD PVC PIPE AND FITTINGS.
 - 3" AND LARGER, GASKET JOINT PIPE AND HARCO DUCTILE IRON GASKET JOINT FITTINGS AND CONCRETE THURST BLOCKS.
- POTABLE IRRIGATION SYSTEM
 - PVC MAIN LINE PIPE WITH METALLIC MARKING TAPE. CLASS 200, PURPLE PVC. INSTALL 18" DEEP.
 - SOLVENT WELD PVC PIPE AND FITTINGS.
- PVC LATERAL LINE PIPE, PURPLE PVC. INSTALL 12" DEEP. 3/4" AND LARGER, CLASS 200, PVC. 1/2" PIPE SIZE, CLASS 315, PVC.
- 2.5" AND SMALLER, SOLVENT WELD PVC PIPE AND FITTINGS.
- PVC SLEEVE PIPE, CLASS 200, PVC. SOLVENT WELD PVC PIPE AND FITTINGS.
- DRIP IRRIGATION VALVE, FILTER AND REGULATOR ASSEMBLY. 15-40 GPM (1.5") - RAIN BIRD CONTROL ZONE KIT (XCZ-PRB-150-COM) 40-80 GPM (1.5") - HUNTER DRIP ZONE KIT (CZ-151-40)
- DRIP EMITTER TUBING - .9 GPHX 12" EMITTER SPACING, AND 18" ROW SPACING. PVC PIPE SUPPLY AND EXHAUST HEADERS WITH AIR RELEASE VALVES, AND AUTO FLUSH VALVES IN VALVE BOXES PER HIGH, LOW, AND END POINTS OF THE TUBING. PROVIDE A 12" POP-UP SPRAY HEAD WITH THE NOZZLE SHUT OFF AS A SYSTEM OPERATION INDICATOR. USE PVC PIPE TO, AND BETWEEN, EACH PLANTING AREA. NETAFIM UNI-TECHLINE-CNL - 1 GPH - 12" OC, OR EQUAL.
- ⊕ DENOTES TREE IN THIS AREA. REFER TO TREE DRIP COIL DETAIL.

SPRAY BODIES

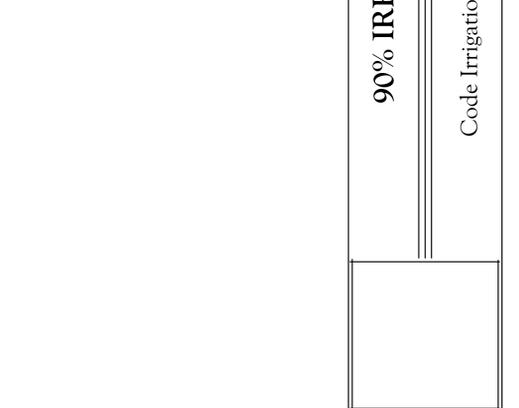
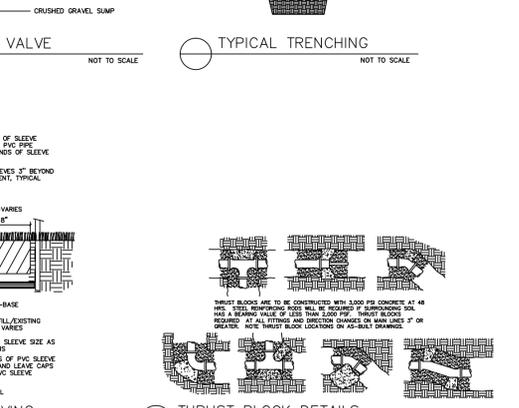
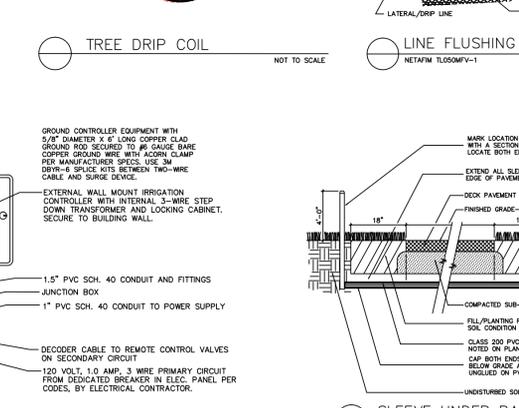
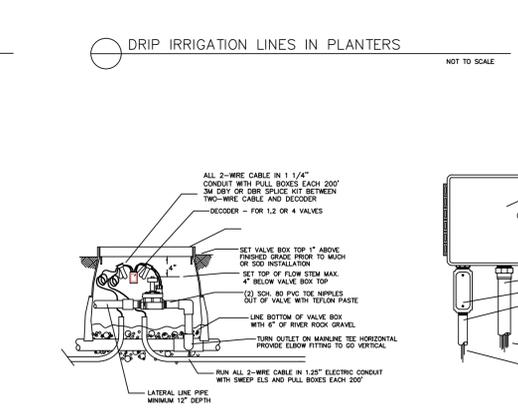
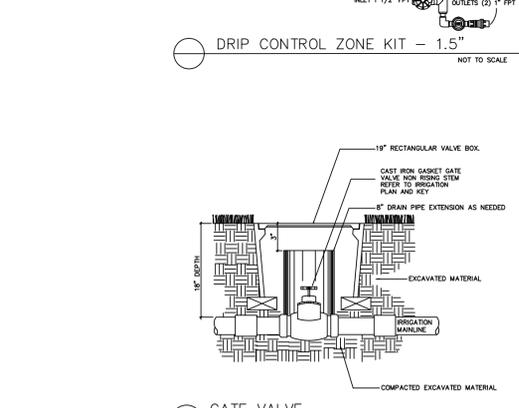
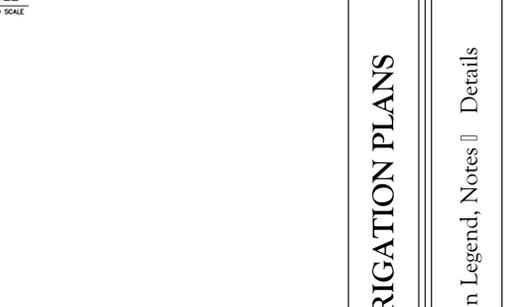
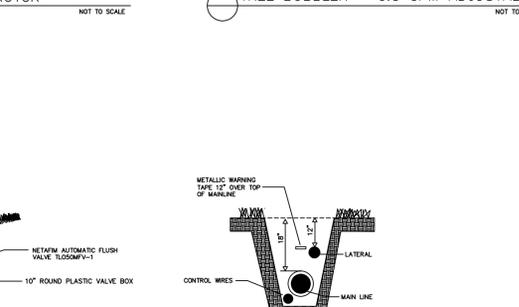
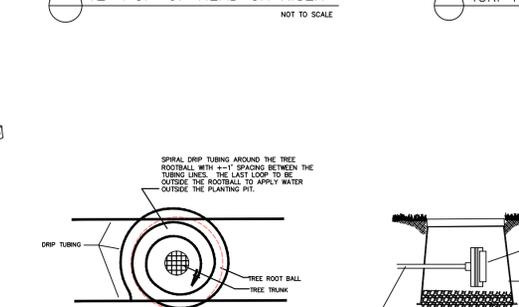
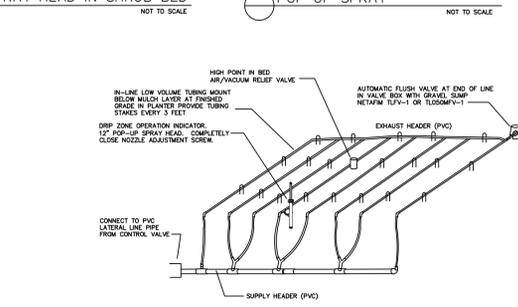
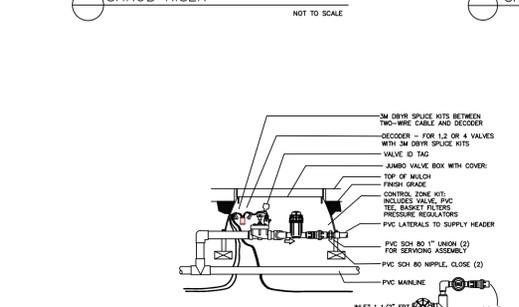
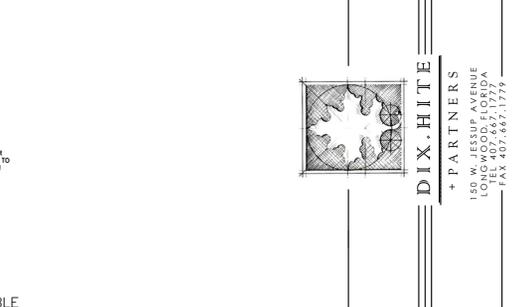
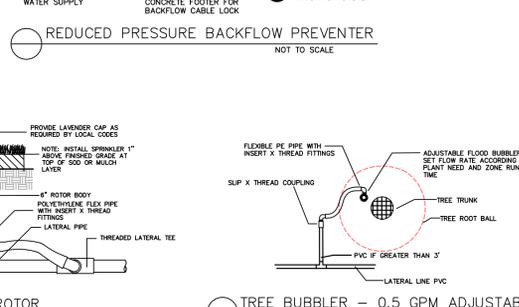
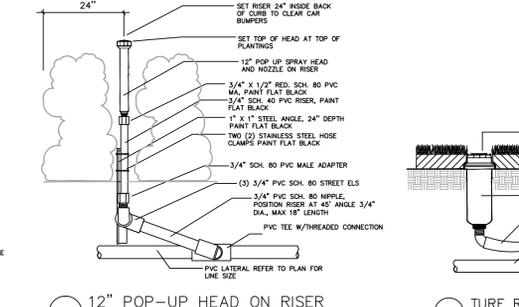
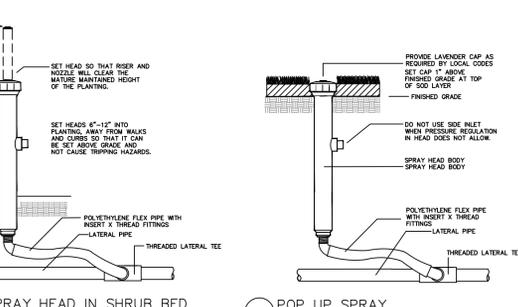
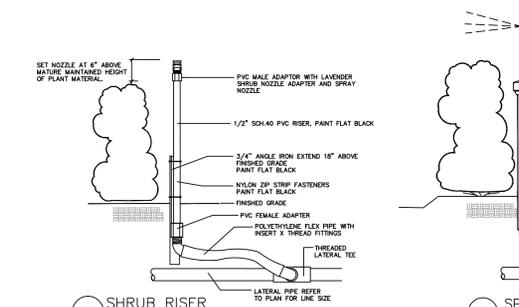
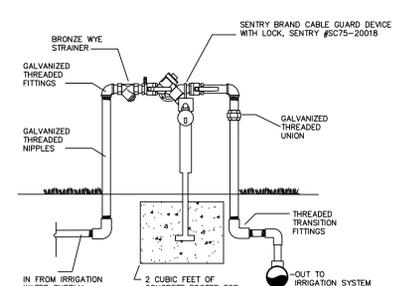
- RAINBIRD 1800 SERIES SPRAY BODIES & ADAPTERS
 PROVIDE PURPLE CAP FOR RECLAIMED WATER
 POLY PIPE AND INSERT FITTING SWING JOINTS
 PROVIDE MPR SPRAY NOZZLES PER PLAN
 USE U-SERIES NOZZLES FOR "B", "D", "E", "H", "K", "L" & "P" NOZZLE DESIGNATION
 USE VAN SERIES NOZZLES FOR "Z", "Z2" & "Z1" NOZZLE DESIGNATION
- 6" POP-UP TURF SPRAY BODY
 - 12" POP-UP SHRUB SPRAY BODY
 - SHRUB NOZZLE ON PVC RISER
 - TREE BUBBLER ON FLEX PE PIPE

LETTER	GPM AT 30 PSI	RADIUS	PATTERN
A	0.92	15"	QUARTER
B	1.30	15"	ONE THIRD
C	1.85	15"	HALF
D	2.48	15"	TWO THIRD
E	2.92	15"	THREE QTR.
F	3.70	15"	FULL
G	0.65	12"	QUARTER
H	0.90	12"	ONE THIRD
J	1.30	12"	HALF
K	1.75	12"	TWO THIRD
L	2.00	12"	THREE QTR.
M	2.60	12"	FULL
N	0.39	10"	QUARTER
P	0.57	10"	ONE THIRD
R	0.79	10"	HALF
Q	1.58	10"	FULL
U	0.61	4" X 15"	END STRIP
UI	0.5	4" X 15"	LEFT CORNER STRIP
Ur	0.5	4" X 15"	RIGHT CORNER STRIP
V	1.21	4" X 30"	SIDE STRIP
W	1.2	4" X 30"	CENTER STRIP
Z1	1.7	9" X 18"	SIDE STRIP
Z2	VARIES	10"	ADJUSTABLE ARC
Z	VARIES	12"	ADJUSTABLE ARC
Y	0.5	1"	FLOOD BUBBLER
O	1.0	5"	STREAM BUBBLER
1	0.26	8"	QUARTER
2	0.32	8"	ONE THIRD
3	0.52	8"	HALF
4	1.05	8"	FULL
5	1.1	5"	QUARTER
6	2	5"	ONE THIRD
7	2	5"	HALF
8	3.8	5"	FULL

ROTOR HEADS

- RAINBIRD 5000 SERIES
 PROVIDE PURPLE CAP FOR RECLAIMED WATER
 POLY PIPE AND INSERT FITTING SWING JOINTS
 6" POP-UP BODY IN TURF
- 5000-MPR-25 (RED) NOZZLE AT 45 PSI
 - 25' 90 DEGREE HEAD (1 GPM)
 - 25' 180 DEGREE HEAD (2 GPM)
 - 25' 360 DEGREE HEAD (4 GPM)
 - 5000-MPR-30 (GREEN) NOZZLE AT 45 PSI
 - 30' 90 DEGREE HEAD (1.4 GPM)
 - 30' 180 DEGREE HEAD (3 GPM)
 - 30' 360 DEGREE HEAD (6 GPM)
 - 5000-MPR-35 (BEIGE) NOZZLE AT 45 PSI
 - 35' 90 DEGREE HEAD (2 GPM)
 - 35' 180 DEGREE HEAD (4 GPM)
 - 35' 360 DEGREE HEAD (7.5 GPM)

⊕ IN ROTOR INDICATES SHRUB APPLICATION
 USE 12" POP-UP BODY ADJACENT TO TURF OR PAVED AREAS
 USE SHRUB ROTOR ON RISERS IN CENTER OF BEDS AND BESIDE WALLS



ALTA WINTER GARDEN
 Winter Garden, Florida

DIX . HITE

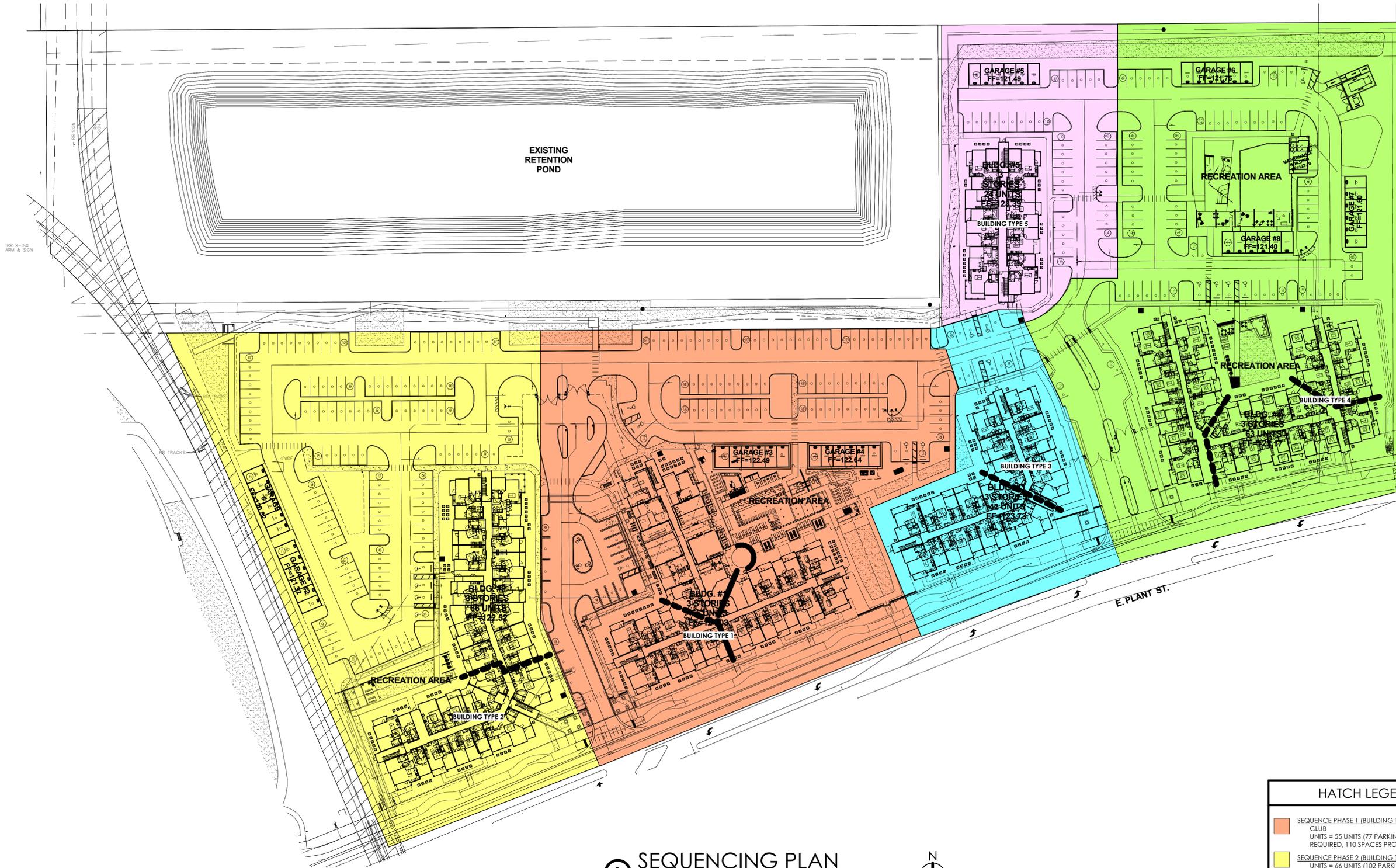
90% IRRIGATION PLANS
 Code Irrigation Legend, Notes Details

Sheet Number:
LA6.90

Date: 10/16/19
 Drawn by: PSI
 Reviewed by: MLP
 Job Number: 50044
 Revision: Date:

Wood Partners
 401 S. Dixie Hwy., Suite 303, West Palm Beach, FL 33401
 TEL 407.657.1777
 FAX 407.657.1779

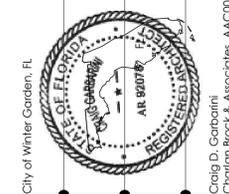
+ PARTNERS
 1501 W. US HWY 90, SUITE 100
 TEL 407.657.1777
 FAX 407.657.1779



1 SEQUENCING PLAN
SCALE: 1" = 50'-0"

HATCH LEGEND	
	SEQUENCE PHASE 1 (BUILDING TYPE 1) CLUB UNITS = 55 UNITS (77 PARKING SPACES REQUIRED, 110 SPACES PROVIDED)
	SEQUENCE PHASE 2 (BUILDING TYPE 2) UNITS = 66 UNITS (102 PARKING SPACES REQUIRED, 141 SPACES PROVIDED)
	SEQUENCE PHASE 3 (BUILDING TYPE 3) UNITS = 42 UNITS (66 PARKING SPACES REQUIRED, 11 SPACES PROVIDED)
	SEQUENCE PHASE 4 (BUILDING TYPE 4) UNITS = 63 UNITS (90 PARKING SPACES REQUIRED, 91 SPACES PROVIDED)
	SEQUENCE PHASE 5 (BUILDING TYPE 5) UNITS = 24 UNITS (45 PARKING SPACES REQUIRED, 45 SPACES PROVIDED)

SEQUENCING NOTES	
1.	ALL STRUCTURE, FIRE RATED WALLS, AND FIRE PROTECTION SYSTEMS, TO BE INSTALLED AND OPERATIONAL IN THE ENTIRE BUILDING BEFORE FIRST TURN OVER SEQUENCE IS TO BE OCCUPIED.
2.	LIFE SAFETY PLANS STILL APPLY TO SEQUENCING PLAN - SEE LIFE SAFETY SHEETS.
3.	ALL LANDSCAPING TO BE INSTALLED, ALL AMENITIES AND BUILDING SERVICES TO BE COMPLETE, BEFORE THE FIRST UNIT IS OCCUPIED.



City of Winter Garden, FL
 Craig D. Garbain
 Registered Professional Engineer
 State of Florida License No. AR 92078
 charlan Brock & Associates, A.C.C.000778
 can have jurisdiction over these dimensions.

ALTA WINTER GARDEN
WINTER GARDEN, FL

charlan • brock
associates
 architects • planners
 1770 fennell street
 malland florida 32751-7208
 407 660 8900 1:407 875 9948
 www . cbaarchitects . com

SEQUENCING PLAN

date: 10/18/2019
 job no: 4072.18
 drawn by: JRP/MPF
 reviewed by: CBA
 issue history:
 Δ Date

PERMIT SET - 10/18/2019
A0.06

CITY OF WINTER GARDEN

DEVELOPMENT REVIEW COMMITTEE

300 West Plant Street – Winter Garden – Florida 34787-3011

(407) 656-4111

MEMORANDUM

TO: STEVE PASH, COMMUNITY DEVELOPMENT DIRECTOR
FROM: DEVELOPMENT REVIEW COMMITTEE
DATE: DECEMBER 3, 2019
SUBJECT: SITE PLAN APPROVAL
N WEST CROWN POINT ROAD – ALTA CROWN POINT

We recommend approval of the site plan, subject to following conditions and comments:

ENGINEERING

1. General Requirements:
 - a. All gravity sanitary pipe and fittings shall be SDR 26.
 - b. All compaction shall be 98% of the modified proctor maximum density (AASHTO T-180).
 - c. As-built record drawings shall comply with City of Winter Garden requirements available on-line.
 - d. All Storm ($\geq 12''$) and Sanitary lines ($\geq 6''$) shall be inspected by CCTV prior to completion.
2. Demolition Plan:
 - a. A separate tree removal permit is required to remove any trees. Coordinate with Building Department (Steve Pash).
 - b. All existing wells shall be plugged/capped per SJRWMD requirements – well closure permit required.
 - c. Removal of existing septic tanks & drainfields will require an Orange County Health Department permit.
3. Sheet C-101 – Site Plan:
 - a. All dumpsters shall be enclosed and shall provide 12' minimum inside clearance (each way inside of bollards), and access by solid waste vehicles.
 - b. The **existing** pavement width at the full-access driveway shall be 24', to provide 12' wide lanes for right and left turn traffic. A 16' wide entrance lane width (as shown) is acceptable.
4. Utility Plans:
 - a. Existing water main sizes will need to be verified.
 - b. All work downstream of the POS shall be performed by a licensed fire sprinkler contractor (note on plans).
5. Drainage Plans:
 - a. Thermoplastic pipe is shown on the plan. It shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe (not HDPE), laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).

6. Grading Plans: Any offsite drainage coming onto the site shall be accommodated.
7. All utilities shall conform to Chapter 78 of the City Code. Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all required water, irrigation and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.
8. Any new water, sewer, or irrigation connections are required to pay utility impact fees, to be paid prior to issuance of site or building permits or execution of FDEP permits. The plans currently show four 2" potable meters, one 4" potable meter, one 2" irrigation meter and one 3" irrigation meter. Assuming the above meters shown, the following impact fees will be due:

2" Potable water meter	4 ea. @ \$8,688.00 = \$34,752.00
4" Potable water meter	1 ea. @ \$27,150.00 = \$27,150.00
Wastewater for 2" meter	4 ea. @ \$14,136.00 = \$56,544.00
Wastewater for 4" meter	1 ea. @ \$44,175.00 = \$44,175.00
2" Irrigation meter (City Park)	1 ea. @ \$0.00 = \$0.00 (Fee waived)
3" Irrigation meter	1 ea. @ \$16,290.00 = \$16,290.00

TOTAL = \$178,911.00

(does not include connection/installation fee)

9. Minimum 5' wide concrete sidewalks shall be constructed along all street frontages pursuant to Code. Any damaged, broken or cracked sections (including existing curbs and pavement) shall be replaced prior to issuance of certificate of occupancy. Internal sidewalks shall connect to the public sidewalks in the right-of-way per ADA.
10. Landscaping shall not encroach on required sight lines at intersections or driveways. Design Engineer has provided certification that sight distance requirements are being met. No trees may be planted over or within 5 feet of any utility lines. Only sod or shrubs may be planted over utility lines.
11. Permit or modification from SJRWMD is required as well as permits or exemptions from FDEP for water, wastewater and NPDES.
12. Streetlighting, both internally and on all street frontages, is required pursuant to City Code – dark skies lighting is required. A photometric plan has been submitted for review by the Planning Department.
13. Any screen walls or retaining walls shall require a separate permit from the Building Department.
14. All underdrain pipe, if used, shall be double wall HDPE pipe or PVC pipe.

PLANNING

15. Park Parcel:
 - a. The final park plans shall continue to be coordinated with the applicant and City Staff, including Laura Coar, the City's Parks & Land Director.
 - b. Per the CAPUD conditions: park land shown shall be conveyed to the City in fee simple ownership, free and clear of all liens and encumbrances, for use as a public park no later than the project obtaining the first certificate of occupancy for any project building. To this end, a lot split is required.

STANDARD GENERAL CONDITIONS

16. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.

17. All work shall conform to City of Winter Garden standards and specifications.
18. Fencing, if proposed, shall meet all City requirements for height, type, etc. Chain link fencing shall be vinyl coated per Code. All construction shall conform to City of Winter Garden Standards, Specifications and Ordinances.
19. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
20. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
21. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
22. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

Additional comments may be generated at subsequent reviews.

Please review this information and contact our office with any questions. Thank you.

END OF MEMORANDUM

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: January 2, 2020 **Meeting Date:** January 9, 2020

Subject: 620 Garden Commerce Parkway
Quality Playing Cards - Site Plan Approval
PARCEL ID# 24-22-27-9385-00-200

Issue: The applicant is requesting Site Plan approval for a single-story warehouse/office building with associated site improvements on a property located on Garden Commerce Parkway.

Discussion:

The subject property is a 0.99 +/- acre parcel that is zoned PID (Planned Industrial Development). The applicant is requesting site plan approval to allow the construction of a new 12,500 sq. ft. single story warehouse/office building. The proposed project also includes associated site elements such as sidewalks, parking areas, and landscaping.

Recommended Action:

Staff recommends approval of the proposed Site Plan subject to the conditions of the DRC staff report dated December 6, 2019. Development of the property with a single-story warehouse/office building is consistent with the City's Comprehensive Plan & with the property's PID zoning requirements.

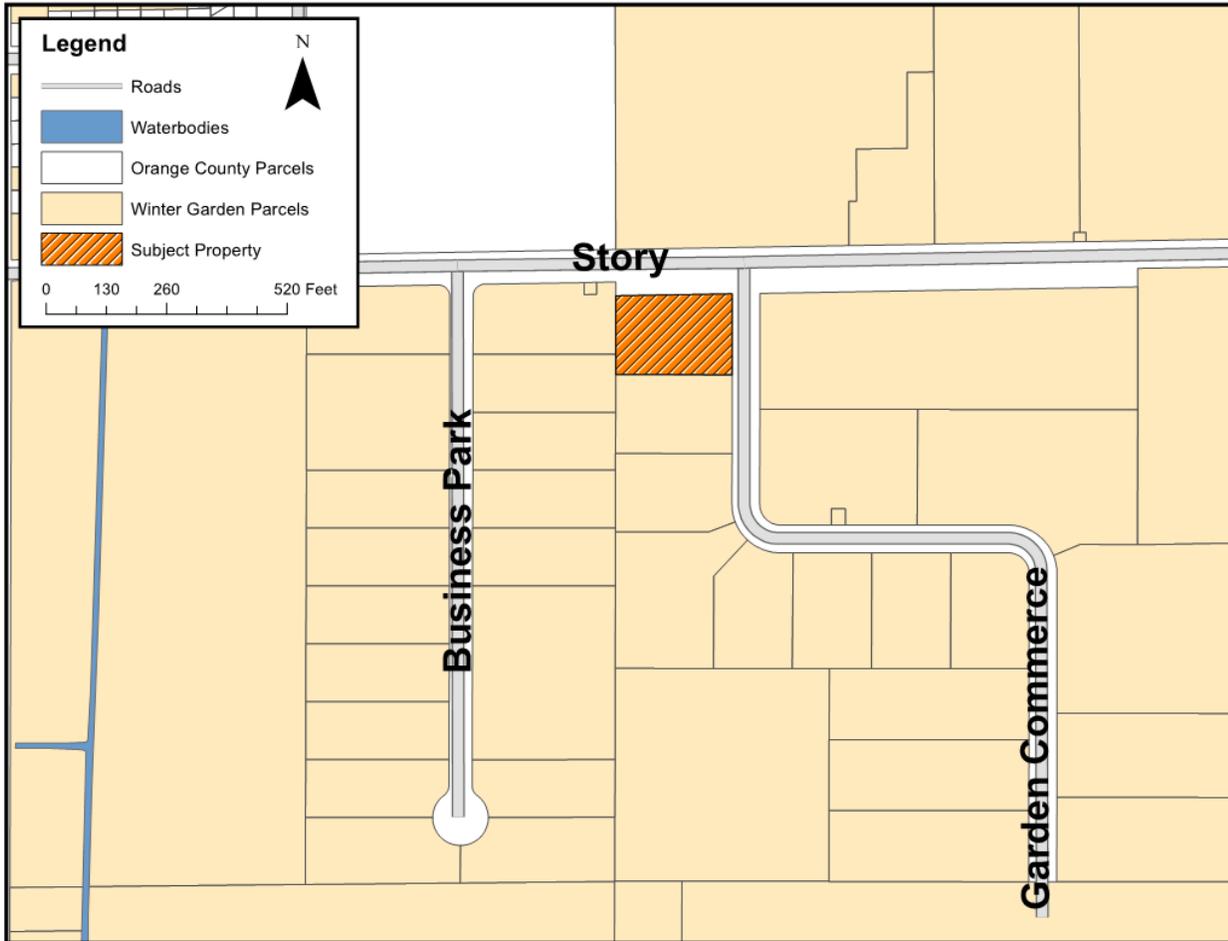
Attachment(s)/References:

Location Map
DRC Comments
Site Plan and Elevations

Location Map

Quality Playing Cards – Site Plan Approval

620 Garden Commerce Pkwy



I. GENERAL NOTES

THESE GENERAL NOTES APPLY TO ALL WORK IN THIS SET OF DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL PERMIT CONDITIONS. CONTRACTOR IS ADVISED THAT THE U.S. ENVIRONMENTAL PROTECTION AGENCY REQUIRES THAT ALL OPERATORS FILE A NOTICE OF INTENT (NOI) FOR ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NRP'S GENERAL PERMIT PRIOR TO BEGINNING WORK. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN THE SAME, IF NOT PROVIDED BY THE ENGINEER AND TO PROVIDE ALL REQUIRED MONITORING REPORTS. A COPY SHALL BE SENT TO THE ENGINEER OF RECORD, ARCHITECT OF RECORD AND THE OWNER.

FLORIDA LAW (F.S. 553.851) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT "NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY EXCAVATION WITHOUT FIRST OBTAINING INFORMATION CONCERNING THE POSSIBLE LOCATION OF GAS PIPELINES IN THE AREA OF PROPOSED EXCAVATION." THE EXCAVATOR MUST NOTIFY THE GAS UTILITY A MINIMUM OF 48 HOURS AND A MAXIMUM OF 5 DAYS PRIOR TO EXCAVATION EXCLUDING HOLIDAYS, SATURDAYS OR SUNDAYS.

CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, WATER, SANITARY SEWER, POWER, NATURAL GAS, TELEPHONE AND CABLE TV COMPANIES AND THE OWNER.

IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANY AND / OR THE APPROPRIATE POWER CORPORATION ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDER-GROUND POWER LINES.

CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY OF THE POWER LINES.

ALL INSPECTIONS WILL BE MADE BY THE RESPECTIVE GOVERNING AGENCY. THE ENGINEER OF RECORD WILL PROVIDE CONSTRUCTION OBSERVATION SERVICE.

ALL RECOMMENDATIONS AND REQUIREMENTS OF THE INSPECTION PERSONNEL OTHER THAN THE OWNER'S SHALL BE REPORTED TO THE ENGINEER PRIOR TO IMPLEMENTATION. COMPENSATION WILL NOT BE ALLOWED FOR WORK WHICH IS NOT AUTHORIZED BY THE ENGINEER OR OWNER.

ALL WORK SHALL BE OPEN AND SUBJECT TO INSPECTION BY AUTHORIZED PERSONNEL OF THE COUNTY, OWNER, INVOLVED UTILITY COMPANIES, PROJECT ENGINEER, AND REGULATORY AGENCIES.

ANY DEFERRING OF ANY CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND THE OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DEFERRING SITE CONDITIONS WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIREMENTS FOR REVIEW AND APPROVAL OF THE ENGINEER AND THE OWNER.

THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS PRIOR TO CONSTRUCTION IN THE AREA OF CONFLICT.

NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS. WORK SHALL BE PERFORMED IN ACCORDANCE WITH BOTH CITY OF WINTER GARDEN STANDARDS & THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND FDOT ROADWAY TRAFFIC DESIGN STANDARDS, LATEST EDITION. ALL FDOT INDICES USED ARE REFERENCED HEREIN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING COMPLETE COPIES OF THE LATEST EDITION OF TEXT STANDARD INDICES AND SPECIFICATIONS.

CONTRACTOR SHALL PROTECT ADJACENT WATER BODIES, WETLANDS AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.

CONTRACTOR SHALL EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN ON THE PLAN OR DESIGNATED IN THE FIELD.

CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING PROPER TRAFFIC MAINTENANCE AND CONTROLS IN ACCORDANCE WITH REGULATORY STANDARDS, WHERE A TRAFFIC MAINTENANCE PLAN IS REQUIRED, THE CONTRACTOR SHALL PREPARE AND SUBMIT THE PLAN FOR APPROVAL TO ALL APPLICABLE REGULATORY AGENCIES.

CONTRACTOR SHALL VERIFY THE ACCURACY OF THE BUILDING GEOMETRY SHOWN IN THE FINAL ARCHITECTURAL DRAWINGS PRIOR TO TAKE-OUT, AND SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY OF ANY DIFFERENCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY TESTING TO ASSURE THAT THE PROPER COMPACT HAS BEEN ACHIEVED ON THE SUBGRADE, BASE MATERIAL, PIPE BASE MATERIAL, AND ALL OTHER PERTINENT AREAS THAT HAVE BEEN COMPLETED. THE CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH TESTING AND RETESTING THE AREAS AND SHALL PROVIDE THE OWNER AND THE ENGINEER COPIES OF ALL TEST RESULTS. ALL REPORTS ARE TO BE SIGNED AND SEALED BY A REGISTERED GEOTECHNICAL ENGINEER IN THE STATE OF FLORIDA.

SSOCOF - CHAPTER 556, FLORIDA STATUTES, REQUIRES EXCAVATORS TO NOTIFY SUNSHINE STATE ON A CALL OF FLORIDA (SSOCOF) BEFORE BEGINNING ANY EXCAVATION IN THE STATE OF FLORIDA UNLESS A SPECIFIC EXEMPTION LISTED IN F.S. 556.108 APPLIES. AN EXCAVATOR MUST NOTIFY SSOCOF TWO FULL BUSINESS DAYS BEFORE EXCAVATING. EXCAVATORS MAY CALL 1-800-432-7770 DURING BUSINESS HOURS OR USE THE INTERNET TO PROVIDE NOTIFICATION INFORMATION.

TRENCH SAFETY - CONTRACTOR SHALL COMPLY WITH OSHA TRENCH SAFETY STANDARDS 29 C.F.R., S. 926.550, SUBPART P, AND ALL SUBSEQUENT REVISIONS OR UPDATES ADOPTED BY THE DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY AND WITH SECTION 553.62, FLORIDA.

II. PRE-CONSTRUCTION RESPONSIBILITIES

UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE ENGINEER AND ITSELF. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A CONSTRUCTION SCHEDULE DEPICTING EACH PHASE OF THE WORK.

PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.

EXISTING UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT SHOWN.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH IT FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. THE CONTRACTOR IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.

IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR THE FIELD LOCATIONS AND FOR ANY RELOCATIONS OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS, WHICH SHALL BE DONE IN A TIMELY MANNER TO MINIMIZE IMPACT ON CONSTRUCTION SCHEDULE. ANY DELAY CAUSED BY THE CONTRACTOR BY THE RELOCATION OF UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.

SUNSHINE STATE ONE CALL OF FLORIDA, INC. - CALL TWO FULL BUSINESS DAYS (BUT NOT MORE THAN FIVE) BEFORE TO FIND OUT WHERE BURIED FACILITIES (ELECTRICAL, GAS, TELEPHONE, CABLE, WATER) ARE LOCATED.

III. PROJECT CLOSEOUT

DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAR UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEET BROOM CLEAN.

THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED BY THE ENGINEER, THE COUNTY OR THE GOVERNING AGENCY, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY ITS WORK, EQUIPMENT, EMPLOYEES OR THOSE OF ITS SUBCONTRACTORS TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THIS END, THE CONTRACTOR SHALL DO ALL NECESSARY HIGHWAY OR DRIVEWAY, WALK AND LANDSCAPING WORK, SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.

WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.

THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED.

ALL REQUIRED TESTING RESULTS PROVIDED TO THE ENGINEER.

ALL REQUIRED AS-BUILT INFORMATION PROVIDED TO THE ENGINEER.

IV. REQUIRED AS-BUILT INFORMATION

CONTRACTOR SHALL PROVIDE ENGINEER WITH AS-BUILT DRAWING DOCUMENTATION CERTIFIED BY A REGISTERED FLORIDA LAND SURVEYOR DEPICTING THE FOLLOWING INFORMATION AT A MINIMUM:

UTILITY CROSSING SEPARATION INFORMATION FOR THAT PROVIDED ON THE PLANS VERIFYING:

- SIZE AND MATERIAL OF CROSSING PIPES
- TOP ELEVATION OF BOTTOM PIPE
- BOTTOM ELEVATION OF TOP PIPE
- FINISH SURFACE ELEVATION OVER UTILITY CROSSING

SANITARY SEWER:

- TOP ELEVATION OF EACH MANHOLE FRAME AND COVER
- INVERT OF EACH LINE ENTERING AND LEAVING EACH MANHOLE / STRUCTURE
- LENGTH OF EACH RUN OF MAIN BETWEEN MANHOLES (INVERT TO INVERT)
- ACTUAL GRADE OF PIPE BETWEEN MANHOLES

LOCATE ALL SERVICE WYES FROM DOWNSTREAM MANHOLE WITH DEPTH AT LOT LINE AND DISTANCE FROM THE MAIN LINE

LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS / ACCESSORIES NOT VISIBLE FROM THE SURFACE (MINIMUM TWO POINT TIES).

STORM DRAINAGE:

- TOP ELEVATION OF EACH MANHOLE FRAME AND COVER / GRATE AS WELL AS ALL OTHER STRUCTURES (HEADWALLS, CONTROL STRUCTURES, ETC.)
- INVERT ELEVATION OF EACH LINE ENTERING AND LEAVING EACH STRUCTURE, INCLUDING UNDERDRAIN PIPES.
- INVERTS OF ALL MITERED END SECTIONS.
- ACTUAL GRADE OF PIPE BETWEEN THE STRUCTURES. (INVERT TO INVERT)
- INVERT ELEVATION AND TWO HORIZONTAL TIES FROM PERMANENT VISIBLE OBJECTS TO ALL STORM SUBT-OFFS.

CONTRACTOR SHALL PROVIDE ACCURATE AS-BUILT DIMENSIONS AND ELEVATIONS OF THE STORMWATER MANAGEMENT AREAS IMMEDIATELY AFTER FINAL GRADING AND PRIOR TO SEEDING OR SOEDING OF THE SLOPES. AT A MINIMUM, THE CONTRACTOR SHALL PROVIDE CROSS SECTIONS ON ALL SIDES OF THE WATER MANAGEMENT AREAS AT 100-FOOT INTERVALS. THE CROSS SECTIONS SHALL BE PROVIDED FROM TOP OF BANK TO THE SLOPE BREAK BELOW CONTROL ELEVATION. THE ENGINEER'S APPROVAL IS REQUIRED PRIOR TO GRASSING OF THE BANKS. IF ANY MODIFICATIONS ARE SPECIFIED, ADDITIONAL AS-BUILTS MAY BE REQUIRED.

PRESSURE SYSTEMS (WATER, RECLAIMED, AND FORCE MAINS):

- ACTUAL LENGTHS BETWEEN BRANCHES AND VALVES ALONG THE MAIN RUN
- LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS / ACCESSORIES NOT VISIBLE FROM THE SURFACE (MINIMUM TWO POINT TIES)
- AS-BUILT INFORMATION ON THE FORCE MAIN, RECLAIMED AND WATER SYSTEMS SHALL INCLUDE LOCATIONS OF ALL FIRE HYDRANTS, WATER SERVICES AND TOP OF PIPE ELEVATIONS AT ALL FITTINGS AND AT A MINIMUM OF 100 FEET SPACING ALONG THE LENGTH OF MAINS.

ALL "AS-BUILT" INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD COMPLETE SETS OF "AS-BUILT" CONSTRUCTION DRAWINGS AS REQUIRED FOR SUBMITTAL AND APPROVAL. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS AND SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.

V. SHOP DRAWINGS AND SUBMITTALS

PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, 7 SETS OF SHOP DRAWINGS AND CATALOGUE LITERATURE SHALL BE SUBMITTED TO AND REVIEWED BY THE ENGINEER OF RECORD FOR SANITARY SEWER, POTABLE WATER AND STORM SEWER FACILITIES.

INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. CATALOGUE LITERATURE WILL NOT BE ACCEPTED FOR PRECAST STRUCTURES.

PRIOR TO SUBMITTING SHOP DRAWINGS TO THE ENGINEER, THE CONTRACTOR SHALL REVIEW AND APPROVE THE DRAWINGS, AND SHALL NOTE IN RED ANY DEVIATIONS FROM THE ENGINEER'S PLANS OR SPECIFICATIONS. SIX (6) SETS OF APPROVED SHOP DRAWINGS SHALL BE RETURNED TO THE CONTRACTOR FOR DISSEMINATION TO OWNER, UTILITY, LOCAL JURISDICTIONAL AGENCIES, ETC.

THE CONTRACTOR SHALL CONFIRM COMPATIBILITY OF PIPE SIZES AND INVERTS DURING SHOP DRAWINGS AND MATERIALS ORDERING PHASE OF THE PROJECT AND ADVISE THE ENGINEER OF ANY DISCREPANCIES.

VI. CONSTRUCTION SAFETY

ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL BE STRICTLY OBSERVED.

VII. TRENCH SAFETY ACT

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE STATE OF FLORIDA TRENCH SAFETY ACT. WHERE EXCAVATIONS TO A DEPTH IN EXCESS OF FIVE FEET (5 FEET) ARE REQUIRED, THE CONTRACTOR SHALL INCLUDE THE FOLLOWING INFORMATION IN THE BID:

- A REFERENCE TO THE TRENCH SAFETY STANDARDS THAT WILL BE IN EFFECT DURING THE PERIOD OF CONSTRUCTION OF THE PROJECT.
- WRITTEN ASSURANCES BY THE CONTRACTOR PERFORMING THE TRENCH EXCAVATION THAT SUCH CONTRACTOR WILL COMPLY WITH THE APPLICABLE TRENCH SAFETY STANDARDS.

ASSUREMENTS SHALL BE MADE IN CONFORMANCE WITH THE APPLICABLE TRENCH SAFETY STANDARDS. WHEN A BID IS NOT SUBMITTED, THE CONTRACTOR SHALL SUBMIT THE INFORMATION LISTED IN ITEM B TO THE ENGINEER PRIOR TO STARTING WORK.

VIII. SURVEY DATA

ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NGVD).

THE CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO SURVEY MARKERS DURING CONSTRUCTION. ANY SURVEY MARKERS DAMAGED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE.

THE PROPOSED PLAT WAS PROVIDED BY A FLORIDA REGISTERED SURVEYOR.

BENCHMARK LOCATION AND ELEVATION ARE AS REPRESENTED BY SURVEYOR AT THE TIME OF SURVEY. CONTRACTOR SHALL VERIFY ITS CORRECTNESS AT TIME OF CONSTRUCTION.

IX. TEMPORARY FACILITIES

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO ITS EMPLOYEES AND SUBCONTRACTORS FOR THEIR USE DURING CONSTRUCTION.

MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MUTCD AND FDOT.

ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.

NO TRENCHES OR HOLES NEAR WALKWAYS OR IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION OF THE COUNTY OR RESPECTIVE GOVERNING AGENCY.

X. INTERRUPTION OF EXISTING UTILITIES

ANY CONSTRUCTION WORK THAT REQUIRES INTERRUPTION OF SERVICE TO ANY CUSTOMER SHALL BE DONE SO WITH A MINIMUM OF SEVENTY-TWO (72) HOUR NOTICE TO, AND WRITTEN APPROVAL BY, THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL ARRANGE A MEETING WITH THE LOCAL JURISDICTIONAL AGENCIES AND OTHER GOVERNING AGENCIES, AND OTHER AFFECTED UTILITIES PRIOR TO SCHEDULING THE SHUT DOWN TO ASSESS THE SCOPE OF WORK. ALL SYSTEM SHUT DOWNS SHALL BE SCHEDULED BY THE CONTRACTOR AT SUCH TIME THAT SYSTEM DEMAND IS LOW. THIS GENERALLY REQUIRES NIGHT TIME WORK BY THE CONTRACTOR AND REQUIRES FULL TIME INSPECTION BY A REPRESENTATIVE OF THE UTILITY, ALL COST FOR OVERTIME WORK BY THE REPRESENTATIVE OF THE UTILITY SHALL BE BORNE BY THE CONTRACTOR. EACH CUSTOMER AFFECTED BY THE SHUT DOWN SHALL BE PROVIDED, MINIMUM, FORTY-EIGHT (48) HOURS WRITTEN NOTIFICATION BY THE CONTRACTOR.

XI. EROSION CONTROL PLAN NOTES

FOR EROSION CONTROL NOTES PLEASE REFERENCE SHEET 3

XII. EARTHWORK

IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXISTING SITE CONDITIONS OF SOIL DURING THE BID PREPARATION TO DETERMINE IF ANY OFF-SITE MATERIALS WILL NEED TO BE IMPORTED TO ACHIEVE THE GRADES SPECIFIED ON THE PLANS.

PRIOR TO BID PREPARATION, THE CONTRACTOR MUST BECOME FAMILIAR WITH THE OVERALL SITE, THE LIMIT AND DEPTH OF EXPECTED ORGANIC MATERIAL, ADEQUACY OF EXISTING MATERIALS AS FILL, DEWATERING REQUIREMENTS, CLEAN FILL REQUIRED FROM OFF SITE AND MATERIALS TO BE DISPOSED OF OFF SITE, ANY DELAY, INCONVENIENCE OR EXPENSE CAUSED TO THE CONTRACTOR DUE TO INADEQUATE INVESTIGATION OF EXISTING CONDITIONS SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED. THE MATERIALS TO BE IMPORTED DURING CONSTRUCTION MAY REQUIRE DRYING PRIOR TO USE AS BACKFILL AND THE CONTRACTOR MAY HAVE TO IMPORT MATERIALS, AT NO EXTRA COST, FROM OFF SITE TO MEET THE REQUIREMENTS FOR COMPACTION AND PROPER FILL.

CLEAR AREAS INDICATED SHALL BE COMPLETELY CLEAR OF ALL TIMBER, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER DEBRIS AND OBSTRUCTIONS RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE GROUND, THIS DEBRIS SHALL BE DISPOSED OF IN A LEGAL MANNER. BURNING OF THIS MATERIAL IS NOT PERMITTED UNLESS THE CONTRACTOR OBTAINS SPECIFIC PERMITS ALLOWING SUCH ACTIVITY.

ALL EXCESS FILL FROM THE SITE SHALL BE STOCKPILED BY THE CONTRACTOR, IN A LOCATION DETERMINED BY THE OWNER OR THE OWNER'S REPRESENTATIVE AND BE ENGINEERED.

ALL ORGANIC AND OTHER UNSUITABLE MATERIAL IN BUILDING OR PAVEMENT AREAS SHALL BE REMOVED AND REPLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS AND SOUND CONSTRUCTION PRACTICES.

XIII. SIGNING AND PAVEMENT MARKING NOTES

ALL PAVEMENT MARKINGS WITHIN FDOT, COUNTY OR COUNTY RIGHT-OF-WAY SHALL BE THERMOPLASTIC.

ALL STOP BARS SHALL BE THERMOPLASTIC. ALL OTHER STRIPING SHALL BE PAINTED UNLESS OTHERWISE SPECIFIED.

ALL PAINT USED FOR PAVEMENT MARKINGS SHALL CONFORM TO SECTION 971-13 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION (SSRBC). ALL PAINTED MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH SECTION 710 OF THE FDOT SSRBC AND THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). PAINT MAY ONLY BE USED FOR PRIVATE DEVELOPMENT IMPROVEMENTS OR AS TEMPORARY MARKINGS.

THE THERMOPLASTIC MARKINGS SHALL CONFORM TO SECTION 711-2 OF THE FDOT SSRBC. ONLY ALKYD BASE MATERIALS SHALL BE USED. THERMOPLASTIC TRAFFIC MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH SECTION 710 OF THE FDOT SSRBC AND THE MUTCD.

ALL REFLECTIVE PAVEMENT MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 708 OF THE FDOT SSRBC.

ALL TRAFFIC MARKINGS SHALL BE CONSTRUCTED OF HIGHLY REFLECTIVE MATERIAL AND BE "STANDARD" SIZE AS ESTABLISHED IN THE MUTCD.

STOP BARS TO BE A MINIMUM OF 4 FEET CLEAR BEHIND CROSSWALKS.

HANDICAP PARKING SPACES SHALL BE DESIGNATED BY APPROPRIATE PAVEMENT MARKINGS AND SIGNS.

XIV. PAVING, GRADING AND DRAINAGE NOTES

CONTRACTOR ACCEPTS SITE AS IS, ANY REPAIRS TO EXISTING SITE ELEMENTS INCLUDING PAVEMENT, SIDEWALKS, CURBING, DRAINAGE, SANITARY SEWER, WATER, SIGNAGE AND STRIPING SHALL BE INCLUDED IN THE BID PRICE.

ALL CURB RADI AND DIMENSIONING ARE TO EDGE OF PAVEMENT.

PRIOR TO BACKFILLING THE DRAINAGE SYSTEM, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND LOCAL JURISDICTIONAL AGENCIES FOR INSPECTION.

ALL EXISTING AND PROPOSED UTILITIES SHALL BE ADJUSTED TO NEW FINISH GRADES AND PROPERLY SET TO PAVEMENT CROSS SLOPE AS REQUIRED.

ALL UTILITIES SHALL BE COMPLETED OR SLEEVING PROVIDED BEFORE ANY PAVEMENT CONSTRUCTION BEGINS.

GRADING FROM PROPOSED TO EXISTING CONDITIONS SHALL NOT BE STEEPER THAN 3H:1V NOR FLATTER THAN 20H:1V. ALL SWALES AND SLOPES SHALL BE SLOTTED AFTER GRADING.

IF THE PLANS INDICATE A STABILIZED SUBGRADE IS TO BE USED, IT SHALL HAVE A MINIMUM LBR VALUE OF 40 OR A FBV OF 75 AND SHALL BE IN ACCORDANCE WITH F.D.O.T. SPECIFICATIONS, SECTION 160. IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT TO THE ENGINEER FOR APPROVAL, THE MATERIAL TO BE USED FOR THE SUBGRADE, AND THEIR PROPORTIONS AND LABORATORY LBR, BEFORE DELIVERY TO THE SITE. QUALITY CONTROL LBR'S MAY BE REQUIRED BY THE ENGINEER TO PROVE THE IN-PLACE CONDITION MATERIAL HAVING A PLASTICITY INDEX AT MORE THAN 10 OR A LIQUID LIMIT GREATER THAN 40 SHALL NOT BE USED. ALL MATERIAL USED FOR STABILIZING THE ROADBED SHALL PASS A 3/12 INCH SIEVE.

ALL REQUIRED DENSITY AND LBR TEST RESULTS FOR SUBGRADE SHALL BE PROVIDED TO THE ENGINEER PRIOR TO PLACING BASE COURSE MATERIAL.

IF THE PLANS INDICATE A LIME ROCK BASE, THE CONSTRUCTION AND THE MATERIAL FOR THE LIME ROCK BASE SHALL CONFORM TO THE LOCATION AND NUMBER OF DENSITY TESTS REQUIRED. THE TESTS RESULTS SHALL BE ACCEPTED BY THE ENGINEER PRIOR TO THE APPLICATION OF THE PRIME AND TACK COATS.

IF THE PLANS INDICATE A SOIL CEMENT BASE, THE CONSTRUCTION AND THE MATERIAL FOR THE SOIL CEMENT BASE SHALL CONFORM TO THE REQUIREMENTS OF THE F.D.O.T. SPECIFICATIONS, SECTION 270. THE SOIL CEMENT BASE SHALL BE COMPACTED TO A 98% MAXIMUM DENSITY AT OPTIMUM MOISTURE, AASHTO T-194, METHOD "D". THE GEOTECHNICAL ENGINEER SHALL SPECIFY THE LOCATION AND NUMBER OF DENSITY TESTS REQUIRED. THE TESTS RESULTS SHALL BE ACCEPTED BY THE ENGINEER PRIOR TO THE APPLICATION OF THE PRIME AND TACK COATS.

IF THE PLANS INDICATE A SOIL CEMENT BASE, THE CONSTRUCTION AND THE MATERIAL FOR THE SOIL CEMENT BASE SHALL CONFORM TO THE REQUIREMENTS OF THE F.D.O.T. SPECIFICATIONS, SECTION 270. THE SOIL CEMENT BASE SHALL BE COMPACTED TO A 98% MAXIMUM DENSITY AT OPTIMUM MOISTURE, AASHTO T-194, METHOD "D". THE GEOTECHNICAL ENGINEER SHALL SPECIFY THE LOCATION AND NUMBER OF DENSITY TESTS REQUIRED. THE TESTS RESULTS SHALL BE ACCEPTED BY THE ENGINEER PRIOR TO THE APPLICATION OF THE PRIME AND TACK COATS.

THE BASE SHALL BE TRANSPORTED TO THE POINT WHERE IT IS TO BE USED, OVER BASE PREVIOUSLY PLACED IF PRACTICABLE, AND DUMPED ON THE END OF THE PRECEDING SPREAD. HAULING OVER THE SUBGRADE AND DUMPING ON THE SUBGRADE WILL BE PERMITTED ONLY WHEN, IN THE ENGINEER'S OPINION, THESE OPERATIONS WILL NOT BE DETRIMENTAL TO THE SUBGRADE. ALL REQUIRED DENSITY AND LBR TEST RESULTS FOR BASE COURSE SHALL BE PROVIDED TO THE ENGINEER'S CITY OF WINTER GARDEN'S ENGINEERING INSPECTOR PRIOR TO PLACING ASPHALT.

THE PRIME COAT BITUMINOUS MATERIAL SHALL BE APPLIED BY MEANS OF PRESSURE DISTRIBUTOR. THE AMOUNT OF BITUMINOUS MATERIAL APPLIED SHALL BE AT A RATE NOT LESS THAN 0.15 GALS. / SY FOR LIME ROCK BASES AND NOT LESS THAN 0.25 GALS. / SY FOR SOIL CEMENT BASES. THE RATE OF APPLICATION SHALL GOAL THE SURFACE THOROUGHLY AND UNIFORMLY WITHOUT HAVING ANY EXCESS TO FORM POOLS OR FLOW OFF THE BACK. THE PRIME SHALL BE ALLOWED TO STAND WITHOUT COVER MATERIAL FOR A PERIOD OF 48 HOURS UNLESS OTHERWISE ORDERED BY THE ENGINEER.

NO BITUMINOUS MATERIAL SHALL BE APPLIED WHEN THE TEMPERATURE OF THE AIR IS LESS THAN 40 DEGREES FAHRENHEIT IN THE SHADE AND FALLING, OR WHEN IN THE OPINION OF THE ENGINEER, THE WEATHER CONDITIONS OR THE CONDITION OF THE EXISTING SURFACE IS UNSUITABLE.

THE SURFACE TO BE PRIMED SHALL BE CLEAN AND DRY, FOR LIME ROCK BASES, THE GLAZED FINISH SHALL BE REMOVED BEFORE THE APPLICATION OF PRIME COAT. THE TEMPERATURE OF THE PRIME MATERIAL SHALL BE BETWEEN 100 DEGREES FAHRENHEIT AND 150 DEGREES FAHRENHEIT.

ALL EXPOSED ENDS OF CURB SHALL TRANSITION TO FINISHED GRADE

ALL CONCRETE CURBS, SIDEWALKS, INLET TOPS, ETC., SHALL BE 3000 PSI CONCRETE, UNLESS OTHERWISE SPECIFIED.

CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENT TO DRAIN POSITIVELY. INTERSECTIONS SHALL TRANSITION TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF FOOT DRAINAGE BE OBSERVED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES, SO THAT RECOMMENDATIONS FOR CORRECTION CAN BE MADE.

PAVEMENT GRADES AT HANDICAP PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.

PROPOSED AND EXISTING SIDEWALKS SHALL BE RAMMED FLUSH WITH PAVEMENT. RAMPS SHALL NOT EXCEED A 12 HORIZONTAL TO 1 VERTICAL SLOPE.

SIDEWALK RAMPS SHALL BE TEXTURED IN CONFORMANCE WITH FDOT STANDARDS EXCEPT WHERE LOCAL CODES DICTATE OTHERWISE OR IF INDICATED OTHERWISE ON THE PLANS. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AND THE MUNICIPAL AUTHORITY FOR FORM BOLD AND PRE POUR INSPECTIONS PRIOR TO ANY SIDEWALK AND /OR CONCRETE RAMP

INSTALLATION. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT ALL RAMP TEXTURED SURFACES AND SIDEWALK LONGITUDINAL AND CROSS SLOPES ARE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL ADA STANDARDS.

ALL OFF-SITE DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION OR BETTER.

ALL LANDSCAPE ISLANDS SHALL CONTAIN SUITABLE LANDSCAPE MATERIAL FOR LANDSCAPE INSTALLATION.

ELEVATIONS OF GRASSED AREAS SHALL BE AT FINISHED SOIL / SEED GRADE.

ELEVATIONS GIVEN ADJACENT TO CURB OR FRONT OF SIDEWALK ARE CONSIDERED GRADE OF PAVEMENT GRADES.

SUBGRADE SHALL BE FREE OF MUCK, STUMPS, ROOTS, UNDERBRUSH, VEGETATIVE MATTER, GARBAGE, TRASH OR ANY MATERIAL THAT WILL NOT PROVIDE A SUITABLE STABLE, CLEAN SUBGRADE.

ALL SUBGRADE, BASE COURSE, PRIME COAT, TACK COAT AND ASPHALT MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS (LATEST EDITION).

BEFORE CONSTRUCTION OF ASPHALT SURFACE, A JOB MIX FORMULA SHALL BE SUBMITTED FOR APPROVAL TO THE ENGINEER.

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF DEBRIS AND SILT WHERE TI-INS TO EXISTING DRAINAGE STRUCTURES OR SWALES ARE TO BE PERFORMED.

PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCES BETWEEN CENTERLINES OF DRAINAGE STRUCTURES AND FROM INVERTS OF ENDWALLS AND / OR MITERED END SECTIONS.

JOINTS FOR REINFORCED CONCRETE STORM DRAINS AND CULVERTS SHALL BE FOR ROUND PIPE, RUBBER GASKETS MEETING THE REQUIREMENTS OF SECTION 430-7.2, 941-1.5 AND 942-1. FLORIDA DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, SHALL BE USED.

REINFORCED CONCRETE PIPE SHALL BE PER ASTM C-75 CLASS III, UNLESS OTHERWISE SPECIFIED. INSTALLATION OF REINFORCED CONCRETE PIPE SHALL BE IN ACCORDANCE WITH FDOT SSRBC (LATEST EDITION).

ALL STORM STRUCTURES SHALL BE CONSTRUCTED AND INSTALLED PER FDOT SSRBC. GRATES SHALL BE CAST IRON. GRATES IN ELEVATION SHALL BE DRAIN AND GRATE CONSTRUCTION UNLESS OTHERWISE SPECIFIED OR NOTED.

ALL TYPE "P" STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED AND SHALL HAVE A 4-FOOT MINIMUM DIAMETER.

REINFORCED CONCRETE PIPE SHALL MEET THE REQUIREMENTS OF F.D.O.T. STANDARD SPECIFICATIONS SECTION 941. CONCRETE PIPE SHALL BE CLASS III OR AS SHOWN ON THE PLANS. PIPE GASKETS SHALL MEET F.D.O.T. STANDARD SPECIFICATIONS SECTION 942.

ALL PIPE JOINTS SHALL BE WRAPPED PER FDOT STANDARD INDEX NUMBER 280.

ALL PIPE SHALL BE CAREFULLY LAID, TRUE TO THE LINES AND GRADES GIVEN, WITH HUB UPGRADE AND TONGUE END FULLY ENTERED INTO THE HUB. WHEN PIPE WITH QUADRANT REINFORCEMENT OR CIRCULAR PIPE WITH ELLIPTICAL REINFORCEMENT IS USED, THE PIPE SHALL BE INSTALLED IN A POSITION WITH THE MANUFACTURER'S MARKS DESIGNATING TOP AND BOTTOM OF THE PIPE SHALL NOT BE MORE THAN FIVE DEGREES FROM THE VERTICAL PLANE THROUGH THE LONGITUDINAL AXIS OF THE PIPE, ANY PIPE THAT IS NOT TRUE IN ALIGNMENT OR WHICH SHOWS ANY SETTLEMENT AFTER LAYING SHALL BE TAKEN UP AND RELAND WITHOUT ADDITIONAL COMPENSATION.

PVC PIPE SHALL CONFORM TO ASTM D3034 SDR 26 WITH ELASTOMERIC JOINTS, NON-PERFORATED. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE ASSOCIATIONS' RECOMMENDED PRACTICE FOR INSTALLATION OF PVC SEWER PIPE".

SDR 26 PVC DRAINAGE PIPE SHALL BE CONNECTED TO THE CATCH BASIN WALLS WITH A COATED PVC ADAPTER, CEMENT COLLAR, RUBBER BOOT, OR AS APPROVED BY THE ENGINEER.

POLYETHYLENE PIPE SHALL BE HDPE CONFORMING TO AASHTO M252 AND AASHTO M264 (WHERE APPLICABLE) EQUAL TO ADS WITH PIPE AND FITTINGS BY THE SAME MANUFACTURER. YARD INLETS SHALL BE ADS NYLOPLAST WITH 12-INCH DIAMETER CAST IRON GRATES (UNLESS OTHERWISE SPECIFIED).

ROOF DRAIN CONNECTIONS SHALL TERMINATE 5 FEET OUTSIDE THE BUILDING ENVELOPE.

ALL CONNECTIONS WITH FDOT, COUNTY OR COUNTY RIGHTS-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE JURISDICTION.

ALL STORM STRUCTURES ARE TO BE PLACED ON A 12 INCH BED OF CRUSHED STONE OR EQUAL AS APPROVED BY THE COUNTY ENGINEER AND FULLY ENVELOPED WITH FILTER FABRIC.

XV. WATER AND SEWER DISTRIBUTION & COLLECTION SYSTEM NOTES

ALL WATER DISTRIBUTION SYSTEM, SANITARY SEWER AND RECLAIMED WATER MATERIALS (INCLUDING SERVICES) AND INSTALLATION SHALL CONFORM TO THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY AS PROVIDED IN THEIR STANDARD SPECIFICATIONS MANUAL.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE MOST RECENT MATERIAL AND INSTALLATION SPECIFICATIONS FROM THE APPLICABLE MUNICIPALITY. ALL WATER AND SEWER MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE MOST UPDATE SPECIFICATIONS FROM THE MUNICIPALITY UNLESS OTHERWISE SPECIFIED BY THE MUNICIPALITY. CONTRACTOR SHALL BID THE PROJECT AS SUCH, WHENEVER LOCAL SPECIFICATIONS DIFFER FROM THESE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

WATER, SEWER AND REUSE PIPES SHALL HAVE A MINIMUM OF 3 FEET OF COVER UNLESS OTHERWISE SPECIFIED.

WATER SERVICES SHALL BE POLYETHYLENE TUBING CONFORMING TO THE MANUFACTURER'S MARKS DESIGNATING TOP AND BOTTOM OF THE PIPE AS DESCRIBED IN ASTM D-2737 AND HAVE A STANDARD DIMENSION RATIO (SDR) OF 9.0 AND SHALL CONFORM TO ANSI / AWWA STANDARD C-901.

CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR CONNECTION OF WATER SYSTEM AND FOR CONNECTION OF SANITARY SEWER AND RECLAIMED SYSTEM.

JOINTS FOR THE POLYETHYLENE TUBING SHALL BE OF THE COMPRESSION TYPE, UTILIZING A TOTALLY CONFINED GRIP SEAL AND COUPLING NUT. STAINLESS STEEL TUBE STIFFENER INSERTS SHALL ALSO BE USED FOR P.E. TUBING SERVICES.

CONTRACTOR SHALL PROVIDE DISINFECTANT PRESSURE AND LEAKAGE TESTING IN ACCORDANCE WITH AWWA C600, C605 AND C601 AS APPLICABLE AND BACTERIOLOGICAL TEST REPORTS. ALL IN ACCORDANCE WITH GOVERNING SPECIFICATIONS, FDEP PERMIT CONDITIONS AND AWWA STANDARDS.

CONTRACTOR SHALL NOT ACTIVATE WATER SERVICE UNTIL THE FDEP HAS CLEARED THE SYSTEM FOR USE AND THE CLEARANCE LETTER HAS BEEN RECEIVED BY THE OWNER.

SITE CONTRACTOR SHALL COORDINATE AND VERIFY ALL UTILITY SERVICES WITH FINAL ARCHITECTURAL DRAWINGS AND BUILDING CONTRACTOR.

WATER MAIN TAPS SHALL BE WITNESSED BY THE GOVERNING MUNICIPALITY. WATER METER VALVES SHALL BE INSTALLED BY THE GOVERNING MUNICIPALITY. WATER METERS SHALL BE INSTALLED BY THE GOVERNING MUNICIPALITY UNLESS OTHERWISE SPECIFIED.

BACKFLOW PREVENTERS SHALL BE INSTALLED BY THE CONTRACTOR.

EXISTING WATER MAINS SHALL BE PROTECTED FROM CONTAMINATION DURING FLUSHING AND TESTING OF NEW LINES IN ACCORDANCE WITH THE STANDARDS OF THE AWWA C511-92. SEE JUMPER DETAIL.

ALL FITTINGS 3 INCHES AND OVER SHALL BE PROPERLY ANCHORED W/RESTRAINED JOINT FITTINGS, CONFORMING WITH THE DETAILS OF THE PLANS.

ALL PIPE SHALL BE LAID TO LINE AND GRADE WITH VALVES AND HYDRANT STEMS PLUMB. ALL PIPE MAINS SHALL BE INSTALLED THE WATER SYSTEM SHALL BE TESTED FOR A PERIOD OF NOT LESS THAN 2 HOURS AT 150 PSI IN ACCORDANCE WITH ANSI / AWWA STANDARD C500-99 AND PER AWWA MANUAL M23 WITH AN ALLOWABLE LEAKAGE AS DETERMINED BY THE FOLLOWING FORMULA FOR PVC MAINS:

L = SDR*20.5 / 133.200 WHERE
L = ALLOWABLE LEAKAGE IN GALLONS PER HOUR
S = PIPE LENGTH IN FEET
D = NOMINAL DIAMETER OF PIPE IN INCHES
P = AVERAGE TEST PRESSURE IN PSI

CONTRACTOR SHALL COORDINATE AND VERIFY ALL UTILITY SERVICES WITH FINAL ARCHITECTURAL DRAWINGS AND BUILDING CONTRACTOR.

WATER MAIN TAPS SHALL BE WITNESSED BY THE GOVERNING MUNICIPALITY. WATER METER VALVES SHALL BE INSTALLED BY THE GOVERNING MUNICIPALITY. WATER METERS SHALL BE INSTALLED BY THE GOVERNING MUNICIPALITY UNLESS OTHERWISE SPECIFIED.

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S = PIPE LENGTH IN FEET
D = NOMINAL DIAMETER OF PIPE IN INCHES
P = AVERAGE TEST PRESSURE IN PSI

CONTRACTOR SHALL COORDINATE AND VERIFY ALL UTILITY SERVICES WITH FINAL ARCHITECTURAL DRAWINGS AND BUILDING CONTRACTOR.

WATER MAIN TAPS SHALL BE WITNESSED BY THE GOVERNING MUNICIPALITY. WATER METER VALVES SHALL BE INSTALLED BY THE GOVERNING MUNICIPALITY. WATER METERS SHALL BE INSTALLED BY THE GOVERNING MUNICIPALITY UNLESS OTHERWISE SPECIFIED.

BACKFLOW PREVENTERS SHALL BE INSTALLED BY THE CONTRACTOR.

EXISTING WATER MAINS SHALL BE PROTECTED FROM CONTAMINATION DURING FLUSHING AND TESTING OF NEW LINES IN ACCORDANCE WITH THE STANDARDS OF THE AWWA C511-92. SEE JUMPER DETAIL.

ALL FITTINGS 3 INCHES AND OVER SHALL BE PROPERLY ANCHORED W/RESTRAINED JOINT FITTINGS, CONFORMING WITH THE DETAILS OF THE PLANS.

ALL PIPE SHALL BE LAID TO LINE AND GRADE WITH VALVES AND HYDRANT STEMS PLUMB. ALL PIPE MAINS SHALL BE INSTALLED THE WATER SYSTEM SHALL BE TESTED FOR A PERIOD OF NOT LESS THAN 2 HOURS AT 150 PSI IN ACCORDANCE WITH ANSI / AWWA STANDARD C500-99 AND PER AWWA MANUAL M23 WITH AN ALLOWABLE LEAKAGE AS DETERMINED BY THE FOLLOWING FORMULA FOR PVC MAINS:

L = SDR*20.5 / 133.200 WHERE
L = ALLOWABLE LEAKAGE IN GALLONS PER HOUR
S = PIPE LENGTH IN FEET
D = NOMINAL DIAMETER OF PIPE IN INCHES
P = AVERAGE TEST PRESSURE IN PSI

SITE UTILITY WORK SHALL TERMINATE 5 FEET OUTSIDE THE BUILDING ENVELOPE UNLESS OTHERWISE SPECIFIED.

PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCES BETWEEN CENTERLINES OF MANHOLE STRUCTURES.

UNLESS OTHERWISE NOTED OR APPROVED, ALL GRAVITY MAINS AND SERVICES SHALL BE UNPLASTICIZED POLYVINYL CHLORIDE (PVC) NON-PRESSURE PIPE CONFORMING TO ASTM D-3034 AND SDR 26 WITH INTEGRAL BELLS AND SPIGOT JOINTS FOR PUSH-IN RUBBER GASKET TYPE JOINT SEALS CONFORMING TO ASTM D-1869.

ALL GRAVITY MAINS ARE 8 INCHES PVC PIPE AT A 40% MINIMUM SLOPE AND ALL LATERALS ARE 6 INCHES PVC AT 1/8 INCHES PER FOOT MINIMUM SLOPE, UNLESS OTHERWISE SHOWN ON THE PLANS.

MINIMUM COVER ON SANITARY SEWER MAIN SHALL BE 60 INCHES TO INVERT; MINIMUM COVER ON LATERALS SHALL BE 18 INCHES AT HIGH END OR AS SHOWN ON PLANS.

ALL MANHOLES SHALL HAVE THE WORDS "SANITARY SEWER" CAST IN THE LIDS. CASTINGS SHALL BE CLEAN AND COATED WITH A COAL TAR PITCH VARNISH WHICH IS TOUGH WHEN COLD BUT NOT TACKY OR BRITTLE. PICK TYPE LIFTING HOLES WILL BE CAST INTO LIDS, BUT SHALL NOT GO CLEAR THROUGH THE LID.

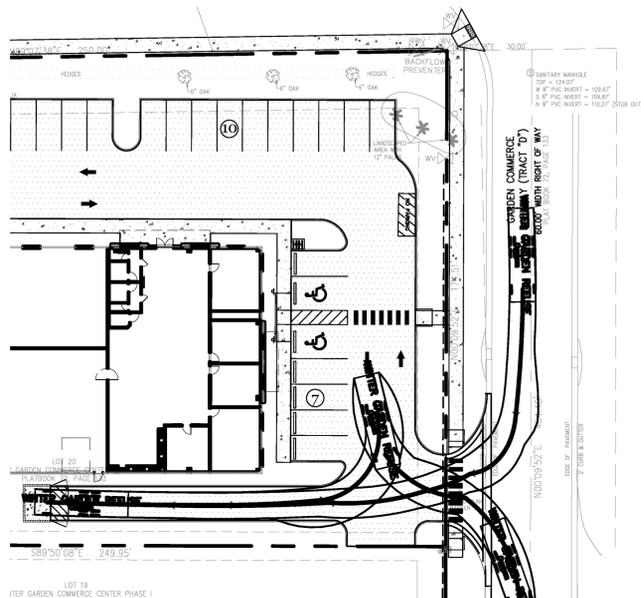
CONTRACTOR SHALL INSTALL ONE LENGTH OR DR14 PVC FOR ALL SANITARY SEWER MAINS OR LATERALS HAVING LESS THAN 18 INCHES SEPARATION FROM WATER MAIN. (SEE STANDARD SEWER SEPARATION STATEMENT AND DETAILS ON INSTALLATION).

THERE SHALL BE NO DETECTABLE LEVEL OF INFILTRATION OR EXFILTRATION WITHIN THE SANITARY SEWER SYSTEM AT THE TIME OF INSPECTION. ANY EVIDENCE OF LEAKAGE MUST BE CORRECTED PRIOR TO ACCEPTANCE.

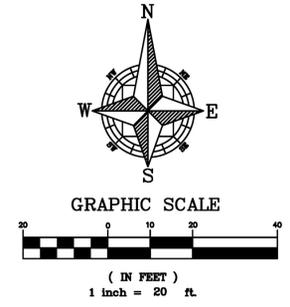
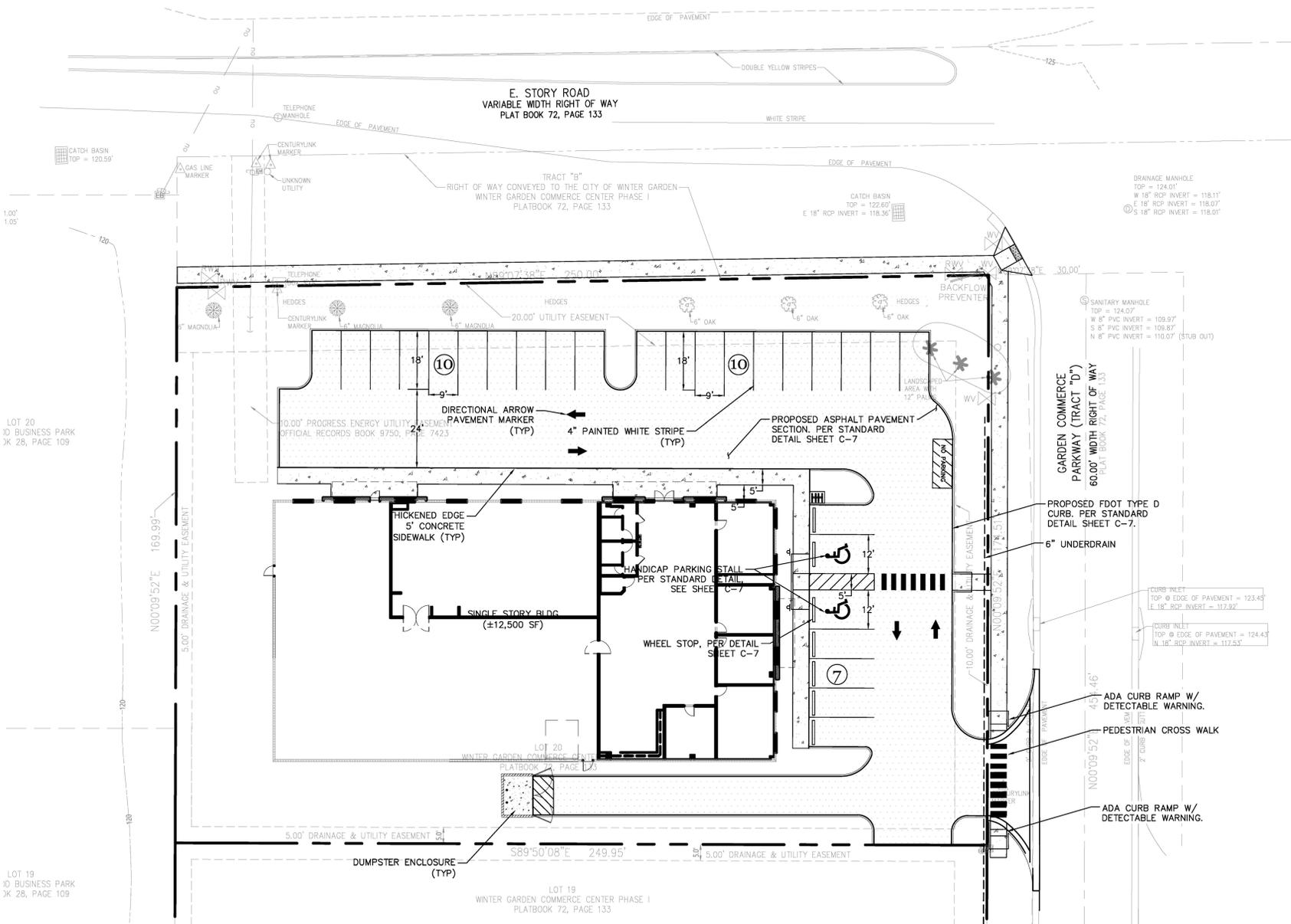
ALL VISIBLE LEAKS, REGARDLESS OF RESULTS OF INFILTRATION OR EXFILTRATION TESTS, SHALL BE REPAIRED. ALL REPAIRS SHOWN NECESSARY BY THE TESTS ARE TO BE MADE. BROKEN OR CRACKED PIPE REPAIRED, ALL DEPOSITS REMOVED, THE SEWER LEFT TRUE TO LINE AND GRADE AND ENTIRELY CLEAN, FREE FROM LUMPS OF CEMENT, PROTRUDING GASKETS, BULKHEADS, ETC., AND READY FOR USE BEFORE FINAL ACCEPTANCE IS MADE.

REPAIR OF ANY DEFECTS FOUND IN THE SYSTEM ARE TO BE COMPLETED AT THE EXPENSE OF THE CONTRACTOR.

BEDDING OF THE PIPE SHALL BE F.D.O.T.



REFUSE TRUCK TEMPLATE
1"=30'



SITE INFORMATION
 PARCEL ID: 24-22-27-9385-00-200
 ZONING: I-1 (INDUSTRIAL)
 EXISTING USE: VACANT/OPEN
 LAND USE: COMMERCIAL
 PROPOSED USE: COMMERCIAL/OFFICE/WAREHOUSE
 BUILDING HEIGHT: 35' (MAX 40')
 PROPERTY AREA: 0.99 Acres (43,056 SF)
 FAR: 0.27 (11,625/43,056)

BUILDING SETBACKS:
 FRONT (EAST) REQUIRED = 50 FT, PROVIDED 75 FT
 SIDE (NORTH) REQUIRED = 25 FT, PROVIDED 79 FT
 SIDE (SOUTH) REQUIRED = 25 FT, PROVIDED 16 FT
 REAR (WEST) REQUIRED = 30 FT, PROVIDED 20 FT

LANDSCAPE BUFFER:
 FRONT (EAST) REQUIRED = 15 FT
 SIDE (NORTH) REQUIRED = 15 FT
 SIDE (SOUTH) REQUIRED = 10 FT
 REAR (WEST) REQUIRED = 10 FT

REQUIRED PARKING:
 OFFICE: 3 SPACES/1,000 SF OF GFA (ASSUMED 20%)
 WAREHOUSE: 1 SPACE/1,000 SF OF GFA
 (0.80*11,625SF) * 1SPACE/1,000 SF = 10
 (0.20*11,625SF) * 3 SPACE/1,000 SF = 7

TOTAL REQUIRED = 17

PROVIDED PARKING:
 STANDARD = 23
 HANDICAP = 2
 TOTAL SPACES PROVIDED = 25

BICYCLE PARKING
 5% OF REQUIRED STALLS = 2 STALLS REQUIRED
 4 STALLS PROVIDED.

EXISTING PROJECT AREA:

EXISTING BUILDING	0 Sq. Ft.	0.00 Acres
PAVEMENT/CURB	0 Sq. Ft.	0.00 Acres
GREEN AREA	43,056 Sq. Ft.	0.99 Acres
TOTAL AREA:	43,056 Sq. Ft.	0.99 Acres

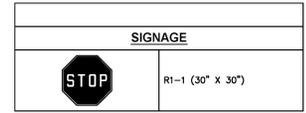
PROPOSED PROJECT AREA:

PROP. BUILDING	11,625 Sq. Ft.	0.27 Acres
PAVEMENT/CURB	16,191 Sq. Ft.	0.37 Acres
GREEN AREA	29,812 Sq. Ft.	0.34 Acres
TOTAL AREA:	43,056 Sq. Ft.	0.99 Acres

OPEN SPACE CALCULATIONS:

EXISTING IMPERVIOUS	0.00 %
EXISTING PERVIOUS	100.00 %
PROP. IMPERVIOUS	65.66 %
PROP. PERVIOUS	34.34 %

NOTE: ALL PUBLIC IMPROVEMENTS, INCLUDING ADJACENT SIDEWALKS, PAVEMENT, UTILITIES, STORM LINES, UNDERDRAIN, OR CURB, WILL BE CHECKED AT FINAL INSPECTION. ANY DAMAGED, BROKEN OR CRACKED SECTIONS SHALL BE REPLACED BY THE DEVELOPER PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.



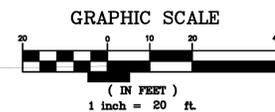
**WINTER GARDEN COMMENCE CENTER
 SITE PLAN
 WINTER GARDEN, FLORIDA**

NO.	DATE	REVISION / ISSUE DATE	BY:
1	4/10/2019	CITY COMMENTS	LMP
2	9/12/2019	CITY COMMENTS	

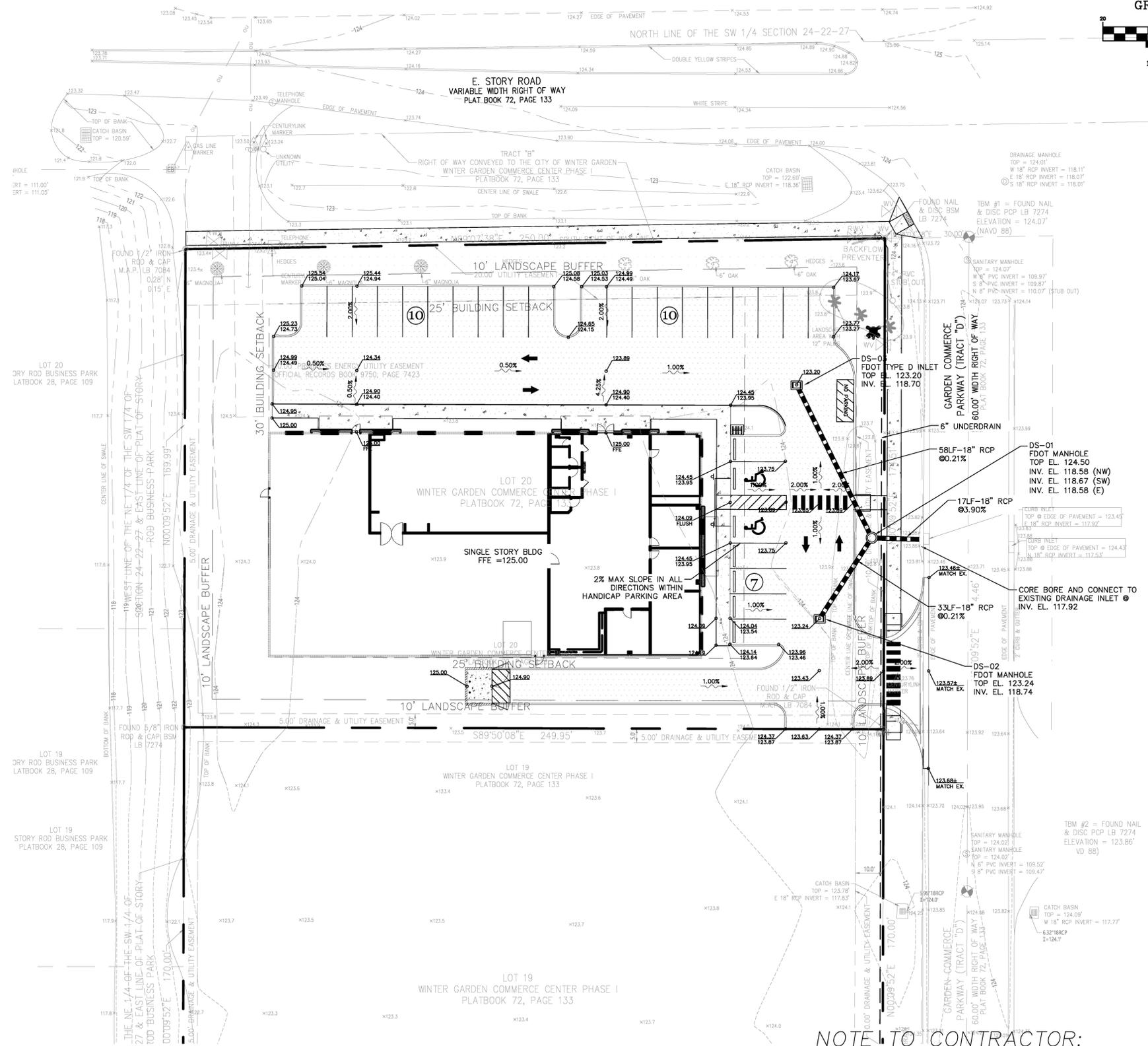
RCE CONSULTANTS, LLC
 617 Arvera Drive
 Altamonte Springs, FL 32711
 Phone No. 407-453-8633
 larry@rceconsultants.com

Engineer of Record
 Laurence Polner
 #56974
 RCE CONSULTANTS, LLC
 Certificate of Authorization 29307

PROJECT #:
01.2019
 DRAWN/LMP CHECKED: LMP
 SHEET:
C-3
SITE PLAN



**WINTER GARDEN COMMENCE CENTER
GRADING PLAN
WINTER GARDEN, FLORIDA**



GRADING LEGEND

EL	ELEVATION
TYP	TYPICAL
CO	CLEANOUT
INV	INVERT ELEVATION
ME	MATCH EXISTING GRADE
FFE	FINISH FLOOR ELEVATION
S/W	SIDEWALK
49.58	EXISTING GRADE ELEVATION
XX.XX	PROPOSED TOP OF CURB ELEVATION
XX.XX	PROPOSED TOP OF PVMT. ELEVATION
	DRAINAGE INLET
	MITERED END SECTION
	PROPOSED SWALE STORMWATER FLOW
	STORM SEWER STRUCTURE NUMBER

NOTE TO CONTRACTOR:

DO NOT SCALE FROM DRAWING, IF REQUIRED DIMENSION, GRADE OR DETAIL IS NOT SHOWN OR ADDITIONAL CLARIFICATION IS REQUIRED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT AN RFI TO ENGINEER. THE CONTRACTOR SHALL NOT PROCEED UNTIL CLARIFICATION OR ADDITIONAL INFORMATION IS RECEIVED.

NO.	DATE	REVISION / ISSUE DATE	BY:
1	4/10/2019	CITY COMMENTS	LMP
2	9/1/2019	CITY COMMENTS	

RCE CONSULTANTS, LLC
617 Averon Drive
Altamonte Springs, FL 32701
Phone No. 407-452-8653
larry@rceconsultants.com

Engineer of Record

Laurence Palmer
#50974
RCE CONSULTANTS, LLC
Certificate of Authorization 29307

PROJECT #:	01.2019
DRAWN:	LMP CHECKED: LMP
SCALE:	1"=20'
SHEET:	C-4
DATE:	FEB. 2019
GRADING PLAN	

FIRE SAFETY NOTES:

FIRE FLOW REQUIREMENTS FOR BUILDINGS SHALL BE IN ACCORDANCE WITH NFPA 1, SECTION 18.4.

NEW FIRE HYDRANTS MUST ALSO BE TESTED AFTER INSTALLATION. THE DEVELOPER SHALL DEMONSTRATE SATISFACTORY TEST RESULTS PRIOR TO FINAL INSPECTION OF THE UTILITY SYSTEM OR THE CERTIFICATE OF OCCUPANCY, WHICHEVER COMES FIRST. (NFPA 1,18.3)

WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK. (NFPA1, 16.4.3.1)

AT A MINIMUM, A CLASS FIVE CONTRACTOR IS REQUIRED TO INSTALL FIRE LINES. FIRE LINES SHALL BEGIN AT THE POINT IN WHICH THE PIPING IS USED EXCLUSIVELY FOR FIRE PROTECTION AND END AT A POINT 1-FOOT ABOVE THE FINISHED FLOOR. B. THE FIRE LINE FOR SPRINKLED BUILDINGS STARTS AT THE DOUBLE DETECTOR CHECK VALVE. C. NO OTHER WATER CONNECTION SHALL BE OFF OF THE FIRE LINE. D. THE FIRE DEPARTMENT CONNECTION SHALL BE WITHIN 100 FEET OF THE FIRE HYDRANT. E. ANY FIRE LINE CHARGED BY THE FDC SHALL BE DR-14 PIPE. F. THE ONLY VALVE ALLOWED IN THE FDC LINE IS A CHECK VALVE. G. ALL FIRE LINES SHALL BE INSPECTED BY THE FIRE INSPECTION DEPT. BEFORE BEING COVERED.

FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF 39 TONS FOR FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. (NFPA 1,18.2.3)

FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED AT THE START OF A PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. (NFPA 1, 16.1)

A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ACCUMULATES.(NFPA 1, 16.4.3.1.1)

FIRE LANE SIGNS SHALL BE INSTALLED ON OR ALONG A BOUNDARY OF ALL FIRE LANES. THE NUMBER, PLACEMENT AND DESIGN OF SIGNS SHALL BE DETERMINED BY THE FFPC OR THE FIRE MARSHAL. (NFPA 1, 18.2.3 FL) A. SIGN SIZE: 12 INCHES WIDE BY 18 INCHES HIGH B. LETTERING SIZE: 2 INCH HIGH C. COLORS: WHITE BACKGROUND WITH RED LETTERS MESSAGE D. FIRE LANE - "NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT." E. FIRE LANE WITH FDC - "NO PARKING FIRE DEPARTMENT CONNECTION" OR "NO PARKING - FDC" F. SPACE BETWEEN SIGNS: 60 FEET G. SIGN HEIGHT: 7 FEET ABOVE GRADE AT BOTTOM OF SIGN H. NUMBER OF SIGN FACES: SIGNS MOUNTED ON A POST SHALL BE DOUBLE-FACED IN THE DIRECTION OF TRAFFIC FLOW.

PAVED FIRE LANE MARKING A. MARKINGS COLOR - TRAFFIC/SAFETY YELLOW B. MATERIAL - ADHESIVE THERMOPLASTIC OR PAINT PER FDOT QUALIFIED PRODUCTS LIST C. STRIPES - FOUR INCHES WIDE, CENTERED 5 FEET APART, EXTENDING 3 FEET FROM CURB OR BUILDING AND SLANTED AT 45 DEGREES (AGAINST THE FLOW OF TRAFFIC). D. LETTERS - THE LINES OF EACH LETTER SHALL BE 4 INCHES WIDE; EACH LETTER SHALL BE 18 TO 24 INCHES HIGH. E. MESSAGE - "NO PARKING OR STANDING - FIRE LANE" F. NUMBER OF MESSAGES - 1 PER 60 FEET (OR PART THEREOF)

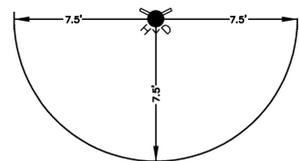
ALL WORK SHALL BE IN COMPLIANCE WITH THE 6TH EDITION 2017 FLORIDA FIRE PREVENTION CODE AND SHALL BE VERIFIED AT TIME OF INSPECTION. RICK RINSHED IS THE FIRE INSPECTOR ASSIGNED TO THIS PROJECT. HE CAN BE REACHED AT RICK.RINSHED@LAKELANDGOV.NET OR AT (863)616-3298. PLEASE SCHEDULE THE DATE FOR FIRE INSPECTIONS ON ETRAKIT AND THEN CONTACT THE FIRE INSPECTOR DIRECTLY TO DETERMINE TIME OF INSPECTION.

ENSURE THE PERMIT AND SIGNED PLANS ARE ON THE JOB SITE, AVAILABLE FOR THE FIRE INSPECTOR TO REVIEW.

AN APPROVED WATER SUPPLY CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW FOR FIRE PROTECTION SHALL BE PROVIDED TO ALL PREMISES UPON WHICH FACILITIES, BUILDINGS, OR PORTIONS OF BUILDINGS ARE HEREAFTER CONSTRUCTED OR MOVED INTO THE JURISDICTION. THE APPROVED WATER SUPPLY SHALL BE IN ACCORDANCE WITH SECTION 1:18.4. (1:18.3.1)

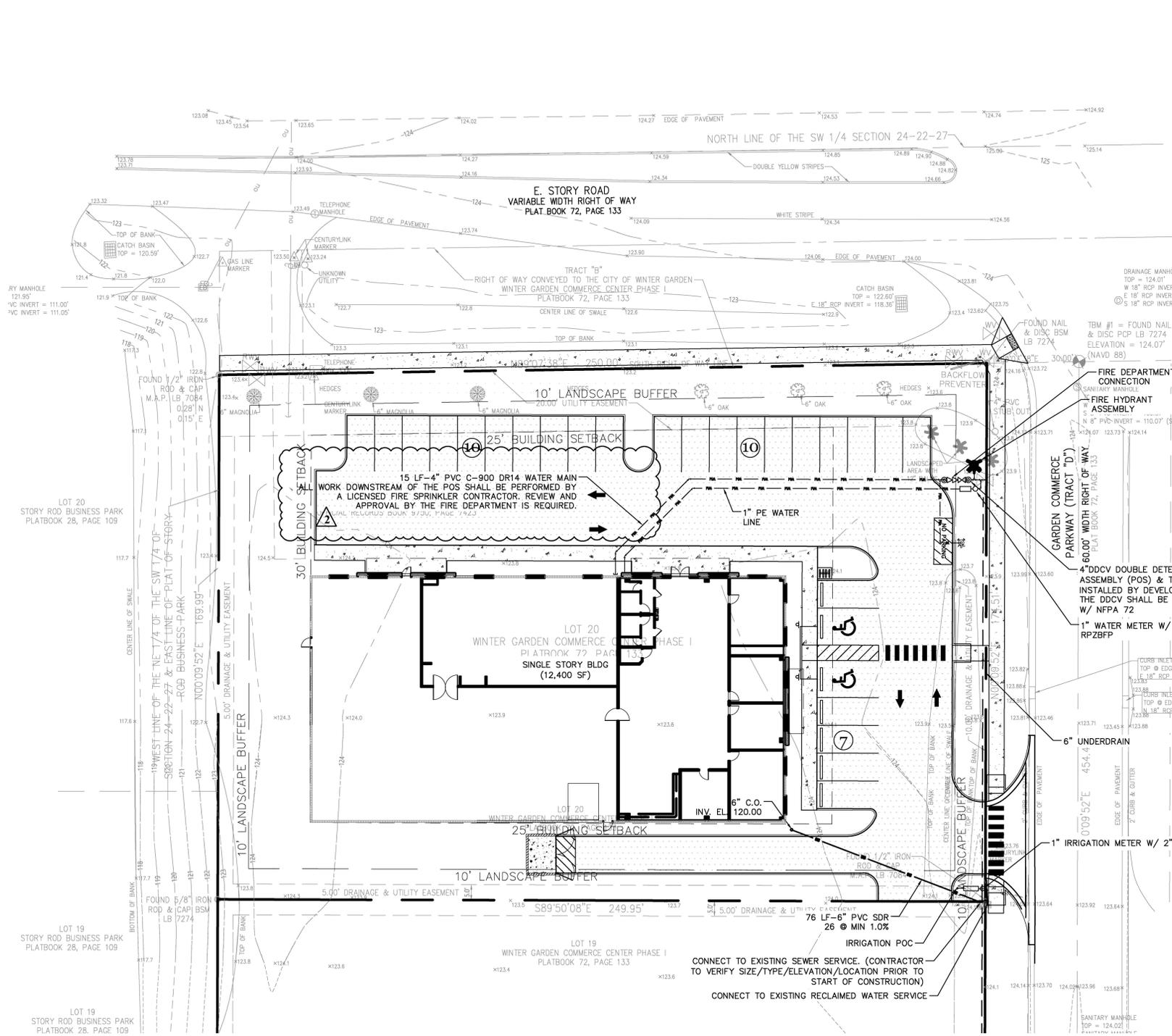
FIRE FLOW CALCULATIONS

BUILDING TYPE	TYPE II (B)
BUILDING AREA	12,500 SF
TABLE 18.4.5.1.2 NFF	2,250 G.P.M.
75% REDUCTION FOR AUTOMATIC SPRINKLERS = 562.5	
NUM. OF HYDRANTS PER TABLE E.3.	1



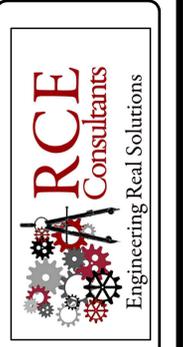
FIRE HYDRANT CLEARANCE DETAIL

N.T.S.



UTILITY NOTES

- NOTE: SANITARY LINE IS TO HAVE NO JOINTS BELOW THE RETENTION AREA AND MUST BE INSTALLED IN ONE PIPE LENGTH OR BE ENCASED IN CONCRETE OR BE DUCTILE IRON.
- CONNECTION TO AND USE OF THE EXISTING SANITARY CONNECTION MUST BE EVALUATED IN THE FIELD TO DETERMINE SIZE, CONDITION, AND ACCURACY PRIOR TO CONNECTION.
- CONTRACTOR IS TO ENSURE THAT THE PLUMBER OR UTILITY CONTRACTOR CALLS FOR WATER UTILITIES ENGINEERING AT (863) 834-8316 FOR A MATERIAL INSPECTION PRIOR TO INSTALLING THE BFP'S. METERS TO BE INSTALLED ABOVE GROUND CONFIGURATION WITH BFP, A SPACER WILL BE PROVIDED. A MINIMUM OF 4 WORKING DAYS NOTICE IS REQUIRED FOR INSPECTIONS BASED ON CURRENT LOADS.



**WINTER GARDEN COMMENCE CENTER
UTILITY PLAN
WINTER GARDEN, FLORIDA**

NO.	DATE	REVISION / ISSUE DATE	BY:	LMP
1	4/10/2019	CITY COMMENTS		
2	9/12/2019	CITY COMMENTS		

RCE CONSULTANTS, LLC
617 Arvera Drive
Altamonte Springs, FL 32701
Phone No. 407-453-8633
larry@rceconsultants.com

Engineer of Record

Laurence Palmer
#56974
RCE CONSULTANTS, LLC
Certificate of Authorization 29307

PROJECT #:
01.2019
DRAWN/LMP CHECKED: LMP
SHEET:
FEB, 2019
SCALE:
1"=20' C-5
UTILITY PLAN



PROPOSED UTILITY PLAN
1"=20'

GENERAL NOTES

GENERAL EROSION SITES

CONTRACTOR IS ADVISED THAT THE U.S. ENVIRONMENTAL PROTECTION AGENCY REQUIRES THAT ALL OPERATORS FILE A NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NPDES GENERAL PERMIT PRIOR TO BEGINNING WORK. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN THE SAME. IF NOT PROVIDED BY THE ENGINEER AND TO PROVIDE ALL REQUIRED MONITORING REPORTS. A COPY SHALL BE SENT TO THE ENGINEER OF RECORD, ARCHITECT OF RECORD AND THE OWNER.

THE STORMWATER POLLUTION PREVENTION PLAN IS COMPOSED OF THIS DRAWING (SITE MAP), THE STANDARD DETAILS AND THE PLAN NARRATIVE INCLUDED IN SPECIFICATIONS PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH THE STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND BECOME FAMILIAR WITH THEIR CONTENTS.

CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS INDICATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.

CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.

GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.

ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED OR PROPERLY TREATED OR DISPOSED. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BUOYS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.

DUST ON THE SITE SHALL BE CONTROLLED BY WATERING. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TONIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE INITIATED AS SOON AS PRACTICABLE.

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 30 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS, REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.

IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.

ALL MATERIAL SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.

ON-SITE AND OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.

SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ROCK BAGS, ETC.) TO PREVENT EROSION.

ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

CONTRACTOR SHALL PROVIDE TREE PROTECTION MEASURES AS NEEDED.

DEWATERING IS NOT ANTICIPATED FOR THE INSTALLATION OF UTILITIES.

ALL WORK SHALL BE IN COMPLIANCE WITH NPDES.

MAINTENANCE

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 9.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.

ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.

SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED SEDIMENT SHALL BE REMOVED FROM THE FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.

THE CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.

THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING ON THE TEMPORARY PARKING AS CONDITIONS DEMAND.

OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

SEQUENCE OF CONSTRUCTION

- PHASE 1**
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
 2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
 3. CONSTRUCT THE SILT FENCES ON THE SITE.
 4. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS.
 5. CLEAR AND GRUB THE SITE.
 6. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
 7. BEGIN GRADING THE SITE.

- PHASE 2**
1. TEMPORARY SEED DEMULCHED AREAS.
 2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 3. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
 4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
 5. PREPARE SITE FOR PAVING.
 6. PAVE SITE.
 7. INSTALL INLET PROTECTION DEVICES.
 8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
 9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

DEVELOPER / OWNER

SITE OPERATOR / GENERAL CONTRACTOR:

NAME _____

SUPERINTENDENT:

NAME _____

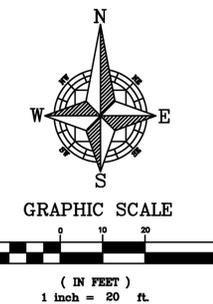
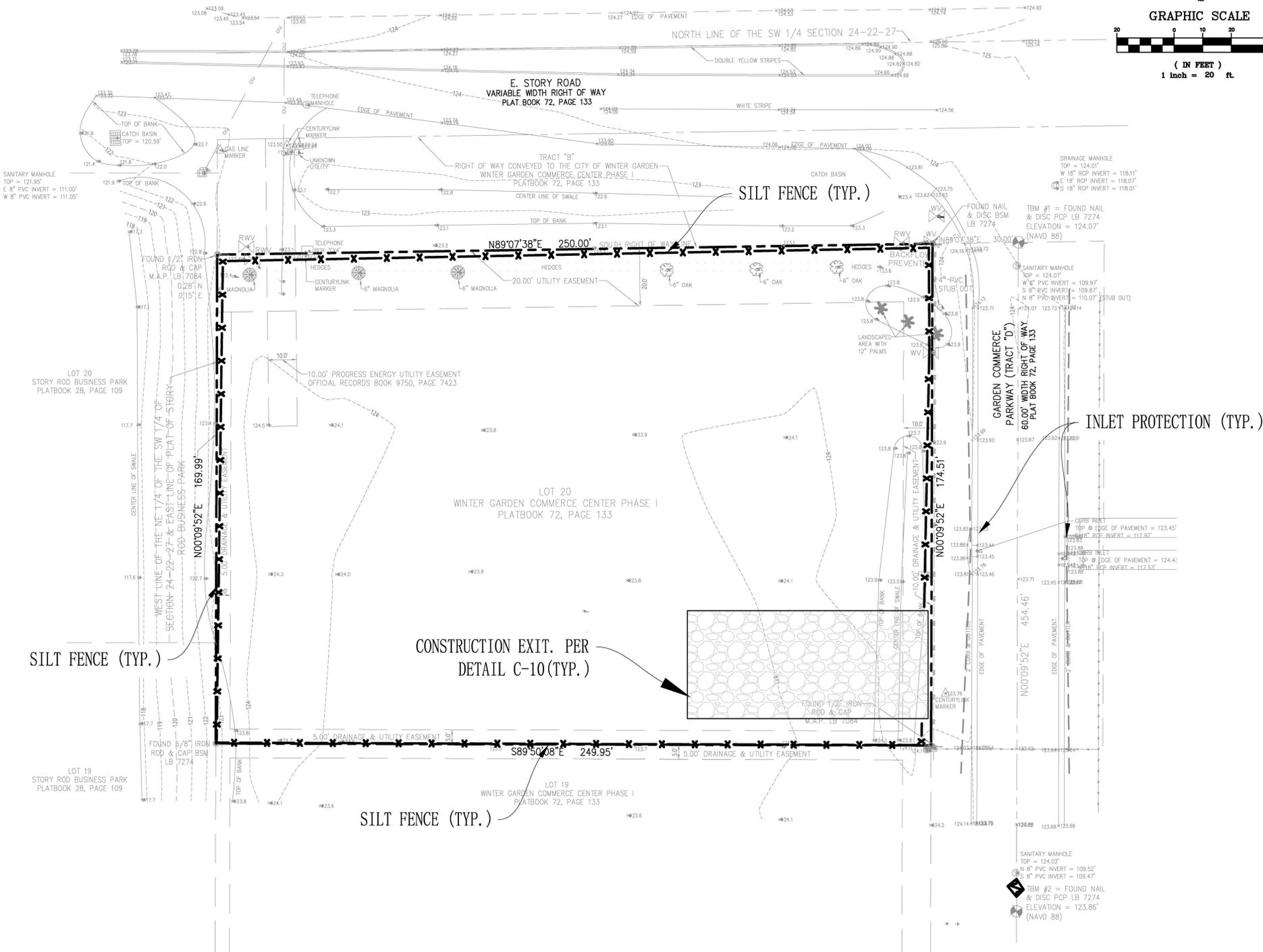
SYMBOLS LEGEND

	DOUBLE SILT FENCE
	SINGLE SILT FENCE
	SCM-1 ROCK BAGS (USED ON ASPHALT SURFACES)

SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SEQUENCE	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J
	A	E	P	A	U	U	E	C	O	E	A	E	A	P	A	U	U	N
	N	B	R	R	Y	N	L	G	P	T	V	C	N	B	R	R	Y	N
ROUGH GRADE / SEDIMENT CONTROL																		
TEMPORARY CONTROL MEASURES																		
STRIP & STOCKPILE TOPSOIL																		
STORM FACILITIES																		
TEMPORARY CONSTRUCTION ROADS																		
FOUNDATION / BUILDING CONSTRUCTION																		
SITE CONSTRUCTION																		
PERMANENT CONTROL STRUCTURES																		
FINISH GRADING																		
LANDSCAPING / SEED / FINAL STABILIZATION																		

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE



**WINTER GARDEN COMMENCE CENTER
EROSION CONTROL PLAN
WINTER GARDEN, FLORIDA**

NO.	DATE	REVISION / ISSUE DATE	BY:	LMP
1	4/10/2019	CITY COMMENTS		
2	9/7/2019	CITY COMMENTS		

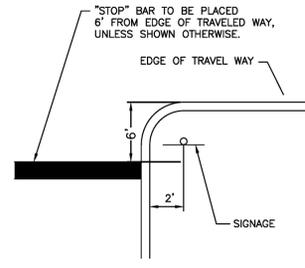
RCE CONSULTANTS, LLC
617 Arvon Drive
Altamonte Springs, FL 32701
Phone No. 407-452-8633
larry@rceconsultants.com

Engineer of Record

Laurence Palmer
#50974
RCE CONSULTANTS, LLC
Certificate of Authorization 29307

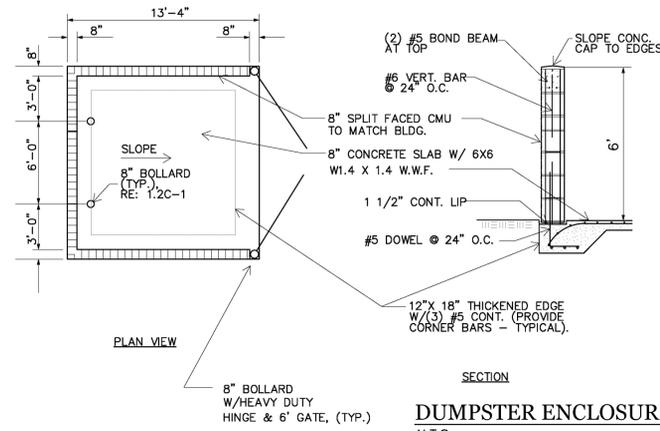
PROJECT #:
01-2019
DRAWN: LMP CHECKED: LMP
SHEET:
FEB, 2019
SCALE:
1"=20'
C-6
EROSION CONTROL PLAN



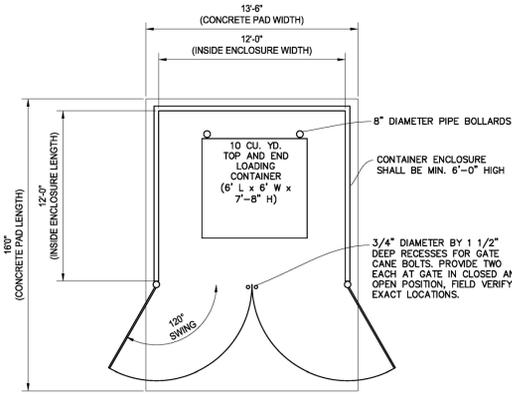


"STOP" BAR SHALL BE 24" WIDE AND 12" FOOT LONG, OR AS SHOWN, WHITE REFLECTORIZED PAINT. (SEE PLAN VIEW FOR LOCATIONS)

**STOP BAR
DETAIL WITH SIGNAGE**

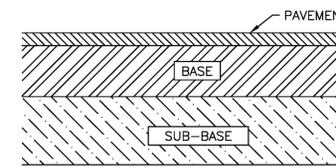


**DUMPSTER ENCLOSURE PLAN
N.T.S.**



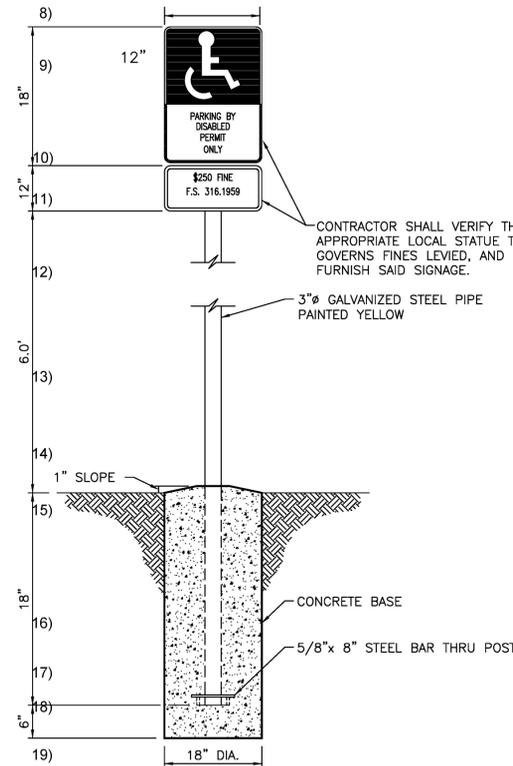
- BASE COURSE 1 1/2" TYPE S-9.5 ASPHALTIC CONCRETE
- 8 CRUSHED CONCRETE 98% DENSITY STANDARD PROCTOR PER ASTM D-558
- SUB-BASE 10" STABILIZED SUBBASE WITH MIN. (FBV) OF 75 PSI

ASPHALT PAVEMENT DETAIL

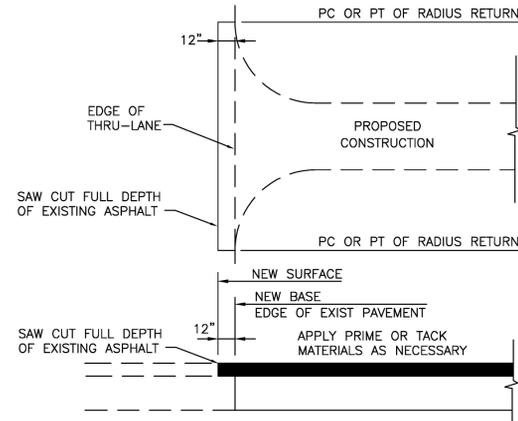


- BASE COURSE 6" 4,000 PSI CONCRETE
- 6 CRUSHED CONCRETE 98% DENSITY STANDARD PROCTOR PER ASTM D-558
- SUB-BASE 10" STABILIZED SUBBASE WITH MIN. (FBV) OF 75 PSI

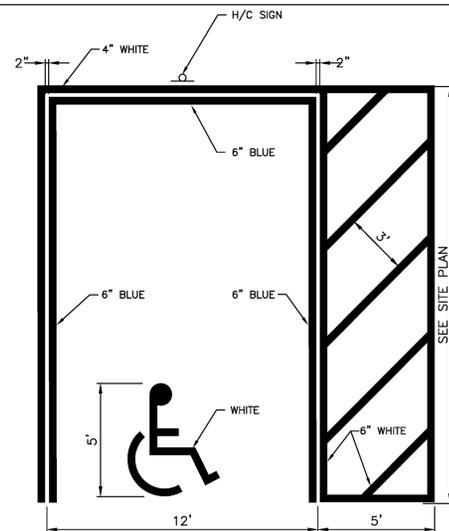
CONCRETE PAVEMENT DETAIL



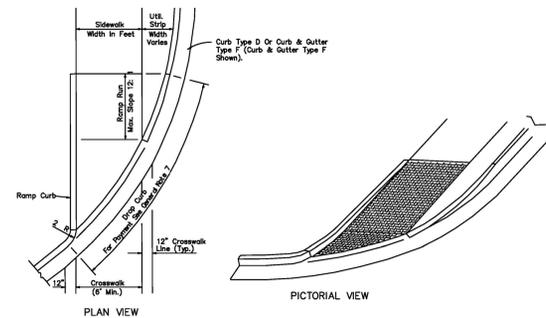
HANDICAP SIGN



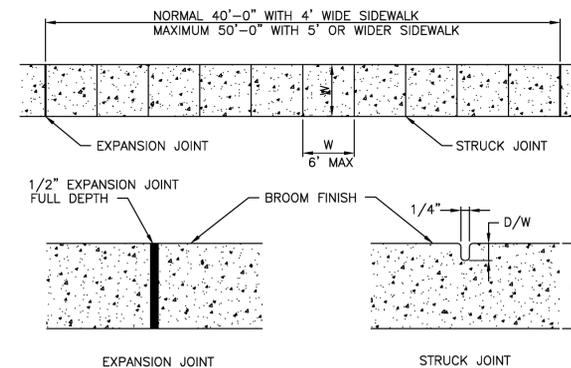
**CONNECTION DETAIL
AT EXISTING ASPHALT PAVEMENTS**



HANDICAP PARKING PAVEMENT MARKING



RAMPS FOR LINEAR PEDESTRIAN TRAFFIC



- NOTES:
- SIDEWALK EXPANSION JOINTS TO BE AT ALL TIES TO CONCRETE OTHER THAN DRIVEWAYS. MAXIMUM SPACING SHALL BE 60'.
 - EXPANSION JOINT MATERIAL SHALL BE ASPHALT FIBER IMPREGNATED PREFORMED JOINT FILLER, TO FILL DEPTH OF CONCRETE.

TYPICAL SIDEWALK

GENERAL NOTES:

- USE ACI OR FC&PA CERTIFIED FLATWORK FINISHER
- USE ACI 330R-01 GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS
- USE ACI 330.1-94 STANDARD SPECIFICATION FOR PLAIN CONCRETE PARKING LOTS
- ALL CONCRETE USED IN PARKING LOT, UNLESS OTHERWISE INDICATED, SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
- PREPARE THE SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS FOR RIGID PAVEMENTS. SUBGRADE SOIL DENSITY TESTING MUST BE COMPLETED AND VERIFIED BY THE GEOTECHNICAL ENGINEER PRIOR TO CONCRETE PLACEMENT.
- IMPORTED SOIL USE FOR BACK FILL SHOULD BE FREE OF HEAVY CLAY, SILTS, STONES, PLANT ROOT OR OTHER FOREIGN MATERIAL GREATER THAN 1" IN DIA
- LAYOUT CONTROL JOINT BY STARTING WITH ANY DRAINAGE INLET WITHIN THE PAVEMENT SECTION AND WORK TOWARD EDGE OF PAVEMENT
- KEEP ALL JOINTS CONTINUOUS
- CONTROL JOINTS SHALL BE FORMED OR SAWED WITHIN 12 HOURS FROM TIME OF PLACEMENT:
 - SIDEWALK-SPACING SHALL BE SAME AS WIDTH OF PAVEMENT AND LESS THAN 5 FEET IN LENGTH
 - PAVEMENT-MAXIMUM SPACING SHALL BE 2.5 TIMES THICKNESS IN UNIT OF FEET AND LESS THAN 15 FEET IN LENGTH (E.G. T=4 INCH SPACING AT 10x10)
- CURE CONCRETE IMMEDIATELY AFTER FINISHING OPERATION IS COMPLETED BY USING ONE OF THE FOLLOWING METHODS: WATER, PIGMENTED WATER-BASED CURING COMPOUND OR VISQUEEN AND BURLAP

CURBS:

- ALL CURBING SHALL BE CONSTRUCTED OF CONCRETE THAT WILL OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS
- ALL CONCRETE CURBS SHALL BE SPACED WITH A FULL-DEPTH, 1/2" WIDTH ISOLATION JOINT MATERIAL PRIOR TO PLACEMENT OF ADJACENT CONCRETE PAVEMENT
- THERE SHALL BE CONTROL JOINTS, EITHER TOOL OR SAW-CUT, MATCH PAVEMENT JOINTS, UNLESS OTHERWISE SPECIFIED; JOINTS SHALL BE FORMED WITHIN 12 HOURS OF PLACEMENT
- ALL CURB ENDS THAT DO NOT TIE INTO OTHER FACILITIES SHALL TRANSITION DOWN TO PAVEMENT GRADE IN 24 INCHES
- CONSTRUCTION JOINT SHALL BE TIED WITH A No.4 TIE BAR EXTENDED 6 INCHES INTO EACH CURB SECTION AND SHALL BE SPACED WITH A FULL-DEPTH 1/2" WIDTH ISOLATION JOINT MATERIAL



**WINTER GARDEN COMMENCE CENTER
CONSTRUCTION DETAILS
WINTER GARDEN, FLORIDA**

NO.	DATE	REVISION / ISSUE DATE	CITY COMMENTS
1	4/26/2018		

RCE CONSULTANTS, LLC
617 Arvern Drive
Altamonte Springs, FL 32701
Phone No. 407-452-8633
larry@rceconsultants.com

Engineer of Record

Laurence Palmer
RCE CONSULTANTS, LLC
Certificate of Authorization 29307

PROJECT #:
01-2019

DRAWN: LMP CHECKED: LMP

FEB. 2019 SHEET:
SCALE: C-7

**GENERAL
DETAILS**

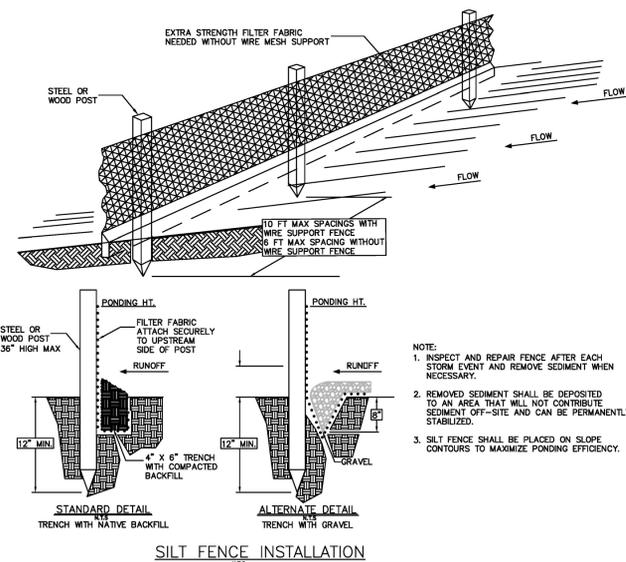
EROSION CONTROL NOTES

DURING ALL PHASES OF CONSTRUCTION THE SITE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL EXERCISE MEASURES TO PREVENT THE EROSION OF SOILS DUE TO THE ACTION OF THE WATER AND WIND. THE CONTRACTS SHALL USE THE FOLLOWING MEASURES TO ACCOMPLISH THIS OBJECTIVE:

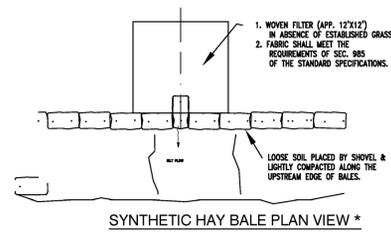
- A. SURFACE PROTECTION**
 1. CLEARING SHALL BE LIMITED SO AS TO EXPOSE THE SMALLEST POSSIBLE AREA OF LAND FOR THE SHORTEST POSSIBLE TIME.
 2. EXPOSED AREAS SHALL BE IMMEDIATELY GRADED AND PROTECTED WITH TEMPORARY OR PERMANENT COVER, SUCH AS SOD, SEED AND MULCH, CROWWETCH, LESPEDEZA OR CREEPER. NEWLY GRADED CHANNELS OR STEEP SLOPES WILL REQUIRE THE USE OF FIBROUS MATTING, NETTING OF SEEDS AND MULCHED AREAS, OR THE STAKING OR SHINGLING OF SOD WHILE VEGETATION IS BECOMING ESTABLISHED.
- B. RUN-OFF CONTROL**
 1. LONG AND/OR STEEP SLOPES WILL REQUIRE CONTOUR BENCHING AND FURROWING, OR BERMS TO REDUCE RUN-OFF VELOCITIES.
- C. SEDIMENT TRAPPING**
 1. THE TRAPPING OF ERODED PARTICLES WILL BE ACCOMPLISHED BY THE DIVERSION OF RUN-OFF TO SEDIMENT BASINS, EXCAVATION TRAPS, BERMS, STAKED SYNTHETIC HAY BALES, OR FLOATING SILT CURTAINS.
 2. THE PROPOSED RETENTION AND/OR DETENTION POND(S) ALONG WITH ANY ENVIRONMENTAL BERM(S) REAR YARD SWALE(S) SHALL BE CONSTRUCTED FIRST. THE POND(S) AND OUTFALL STRUCTURE(S) MUST BE COMPLETE AND OPERATIONAL PRIOR TO THE PLACEMENT OF ANY IMPERVIOUS SURFACE.
 3. TRAPPING DEVICES SHALL BE PERIODICALLY INSPECTED DURING DRY PERIODS AND AFTER EACH RAINFALL EVENT BY THE SITE CONTRACTOR. TRAPPING DEVICES SHALL BE REPLACED IF DETERMINED TO BE INCAPABLE OF PERFORMING INTENDED FUNCTION OF SEDIMENT TRAPPING.
 4. TRAPPING DEVICES SHALL REMAIN IN PLACE UNTIL A VEGETATIVE COVER HAS ESTABLISHED SUFFICIENTLY TO STABILIZE THE SOILS AND PREVENT EROSION.
- D. SOIL MOISTURE**
 1. THE CONTRACTOR SHALL HAVE AVAILABLE ON THE CONSTRUCTION SITE A WATER SOURCE CAPABLE OF APPLYING WATER TO DRY EXPOSED SOIL IN ORDER TO PREVENT WIND EROSION. THE APPLICATION RATE AND MANNER SHALL BE SUCH THAT SOIL MOISTURE IS ATTAINED AND NO SURFACE RUN-OFF IS CREATED.
- E. RESPONSIBILITY**
 1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED. AFTER THAT, THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER COLLECTION AND RETENTION SYSTEM.

CONSTRUCTION SEQUENCE

1. SET UP ON-SITE PRE-CONSTRUCTION CONFERENCE WITH CITY/COUNTY & ENGINEER.
2. INSTALL SILT FENCE, INLET PROTECTION, SEDIMENT TRAPS, DIVERSION DITCHES, TREE PROTECTION, AND OTHER MEASURES AS SHOWN ON PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
3. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES. CONTACT CYCORP ENGINEERING IF ADDITIONAL MEASURES ARE REQUIRED DUE TO SITE SPECIFIC CONDITIONS.
4. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
5. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY/COUNTY AND THE WATER MANAGEMENT DISTRICT, AND NPDES CRITERIA.

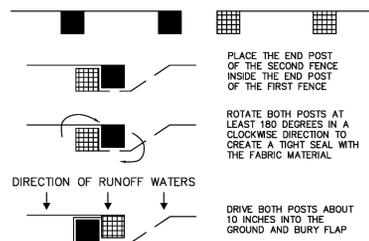


SILT FENCE INSTALLATION
N.T.S.

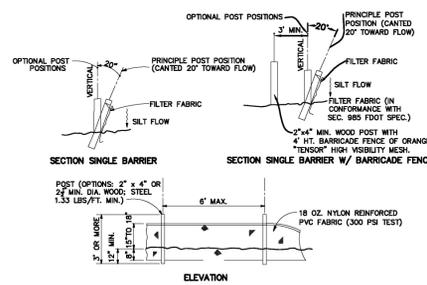


GENERAL NOTES:

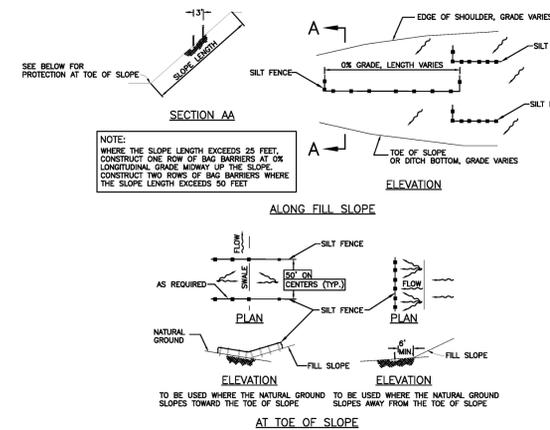
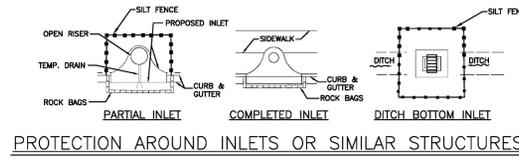
1. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP.
2. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH STORM EVENT BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT AND REPAIRS MADE AS NECESSARY.
4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
5. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE BASIN HAS BEEN PROPERLY STABILIZED.



SILT FENCE ATTACHMENT DETAIL
N.T.S.



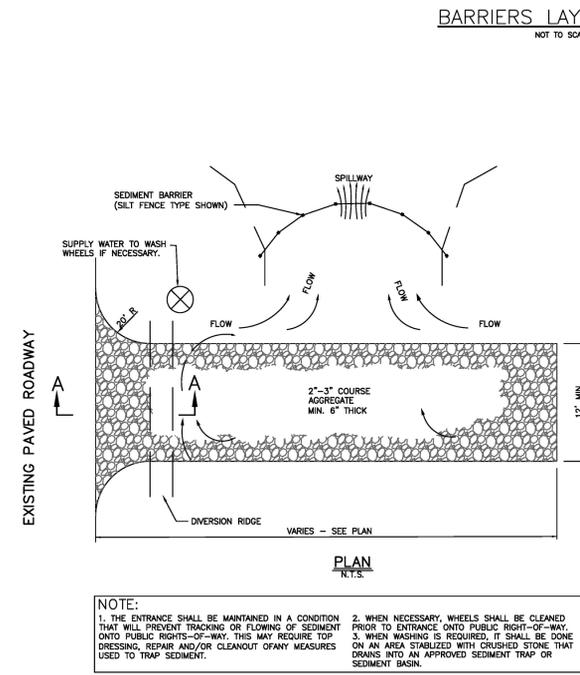
STAKED TURBIDITY BARRIER
N.T.S.



BARRIERS FOR UNPAVED DITCHES



BARRIERS FOR FILL SLOPES



TEMPORARY GRAVEL CONSTRUCTION EXIT
N.T.S.



WINTER GARDEN COMMENCE CENTER
EROSION CONTROL DETAILS
WINTER GARDEN, FLORIDA

NO.:	1	DATE:	4/10/2019	REVISION / ISSUE DATE:		CITY COMMENTS:	
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RCE CONSULTANTS, LLC
 617 Arvon Drive
 Altamonte Springs, FL 32701
 Phone No. 407-452-8633
 larry@rceconsultants.com

Engineer of Record

Laurence Palmer
 RCE CONSULTANTS, LLC
 Certificate of Authorization 29307

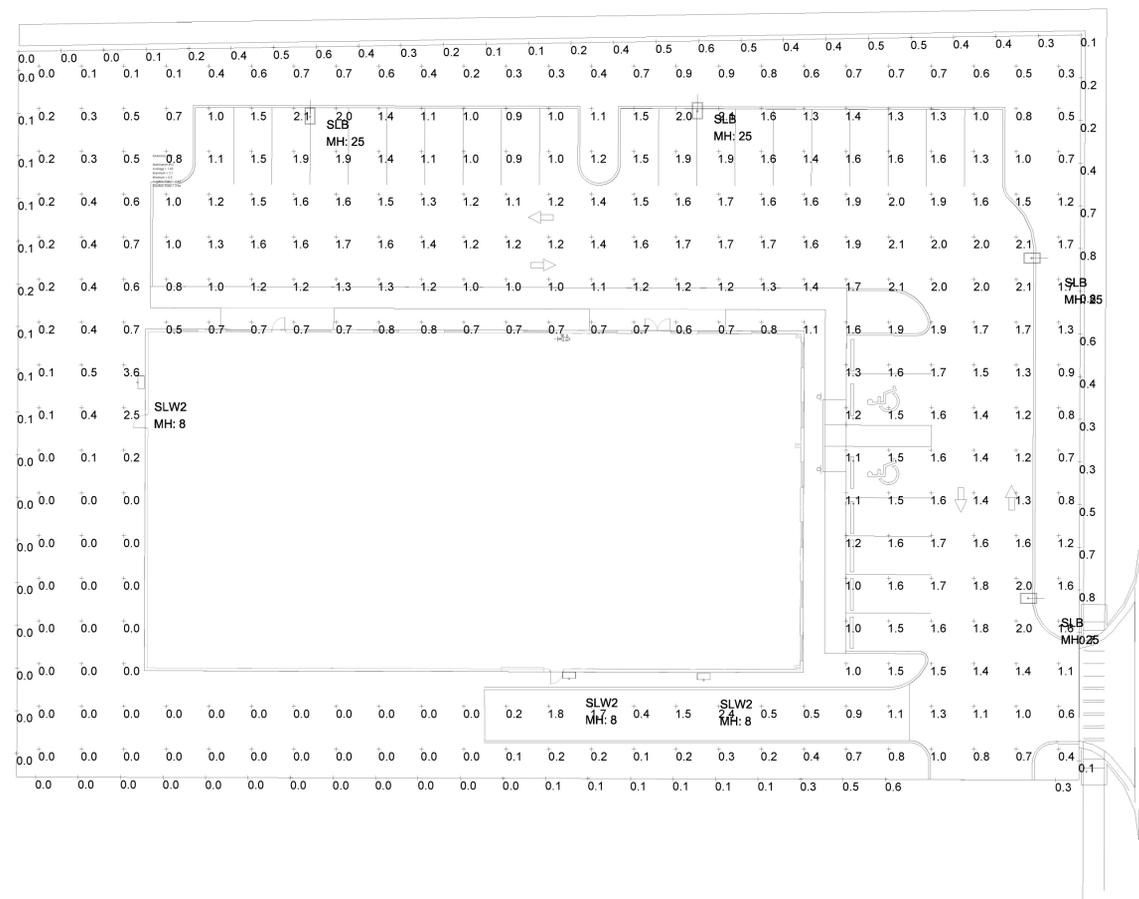
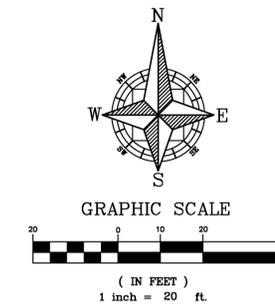
PROJECT #:
01-2019

DRAWN: LMP CHECKED: LMP

SCALE: 1" = 10'-0"

SHEET:
C-11

EROSION CONTROL
DETAILS



Landreth Lighting Schedule - 407.682.6255								
Symbol	[MANUFAC]	Qty	Label	Description	LLF	Lum. Watts	Lum. Lumens	BUG Rating
☐	Lithonia Lighting	4	SLB	DSX0 LED P4 40K TFTM MVOLT XPA HS DDBXD; POLE MOUNTED @ 25' AFG	1.000	92	8243	B1-U0-G2
☐	Lithonia Lighting	3	SLW2	OLWX1 LED 13W 40K DDB; WALL MOUNTED @ 8' AFG	1.000	14	1261	B1-U0-G0

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CALC POINTS	Illuminance	Fc	0.99	3.6	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	0.24	0.8	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	1.45	2.1	0.6	2.42	3.50

**WINTER GARDEN COMMENCE CENTER
 PHOTOMETRIC PLAN
 WINTER GARDEN, FLORIDA**

NO.	DATE	REVISION / ISSUE DATE:	CITY COMMENTS
1	4/10/2019		

RCE CONSULTANTS, LLC
 617 Avern Drive
 Altamonte Springs, FL 32701
 Phone No. 407-452-8633
 larry@rceconsultants.com

Engineer of Record

 Laurence Paliner
 #56974
 RCE CONSULTANTS, LLC
 Certificate of Authorization 29307

PROJECT #:	01.2019
DRAWN: LMP	CHECKED: LMP
FEB, 2019	SHEET:
SCALE:	1"=20'
PHOTOMETRIC PLAN	



BOUNDARY & TOPOGRAPHIC SURVEY

FOR HAYDAYAT ARMAN

SECTION 24, TOWNSHIP 22 SOUTH, RANGE 27 EAST
ORANGE COUNTY, FLORIDA

REAL PROPERTY DESCRIPTION

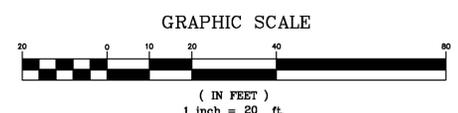
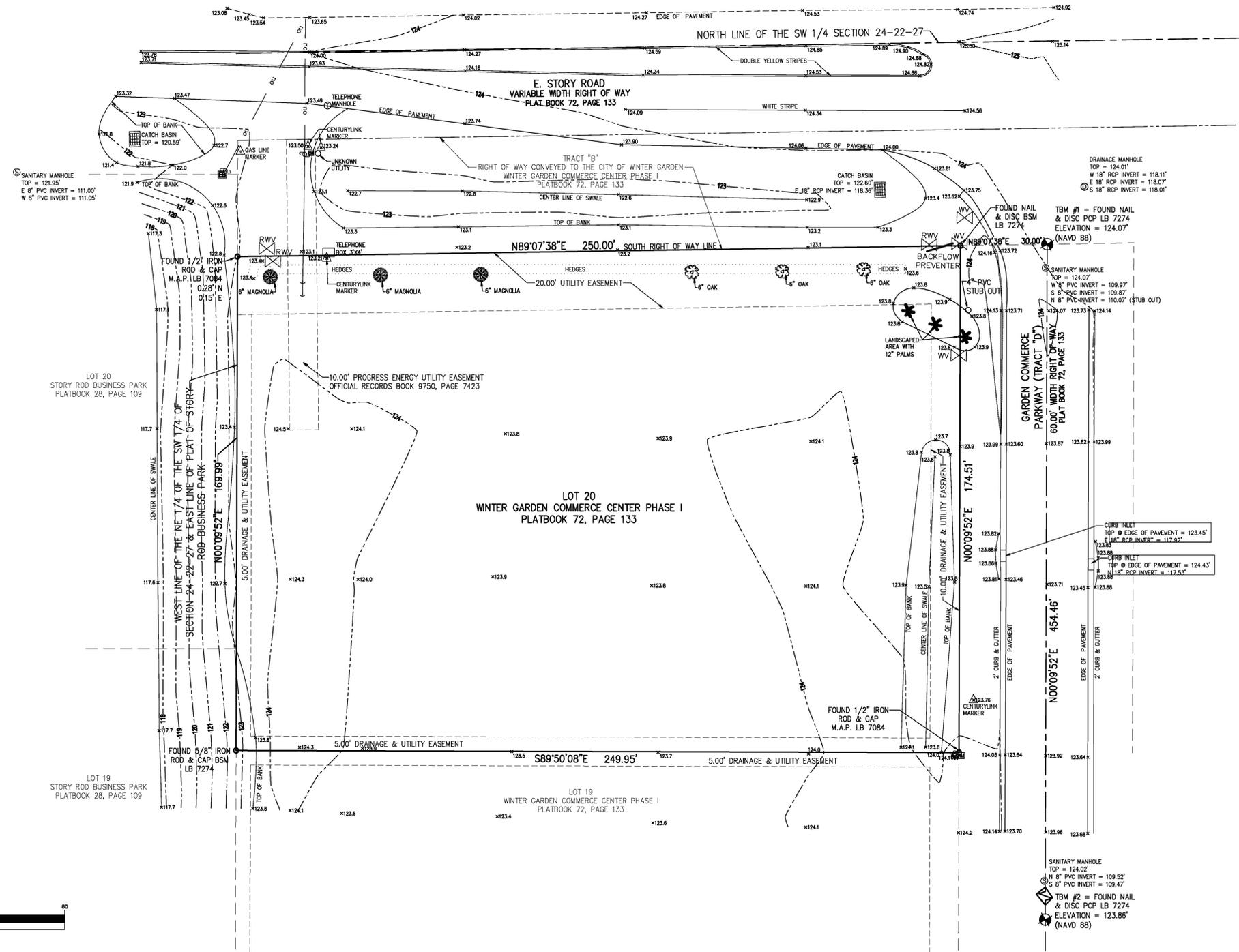
Lot 20, WINTER GARDEN COMMERCE CENTER PHASE I, according to the map or plat thereof as recorded in Plat Book 72, Page 133, Public Records of Orange County, Florida.

SURVEYOR'S NOTES

- 1.) SURVEYOR HAS NOT ABSTRACTED LANDS SHOWN HEREON FOR EASEMENTS, RIGHTS-OF-WAY, OR ANY OTHER MATTER OF RECORD WHICH MIGHT AFFECT THE TITLE OR USE OF SAID LANDS.
- 2.) NO UNDERGROUND INSTALLATIONS OR VISIBLE IMPROVEMENTS LOCATED OTHER THAN SHOWN.
- 3.) BEARINGS ARE BASED ON THE NORTH LINE OF LOT 20 AS BEING N.89°07'38"E. PER PLAT.
- 4.) THE PROPERTY DESCRIPTION WAS PROVIDED TO THE SURVEYOR BY THE CLIENT.
- 5.) ELEVATIONS ARE TRUE BASED ON NGS B.M. # L-653-026 ELEV. = 118.72' NAVD 1988 DATUM AS PUBLISHED.
- 6.) ON SITE TBM #1 = FOUND NAIL & DISC PCP LB 7274 ELEVATION = 124.07' (NAVD 88) AS SHOWN. T.B.M. #2 = TOP OF CONCRETE MONUMENT AT THE SOUTHWEST CORNER OF PROPERTY ELEVATION 69.12 AS SHOWN.
- 7.) CONTOURS INTERPOLATED FROM ELEVATION SPOT SHOTS AS SHOWN.
- 8.) HAVING CONSULTED THE NATIONAL FLOOD INSURANCE PROGRAM FIRM, I HAVE DETERMINED THAT THE SUBJECT PROPERTY LIES IN ZONE "X", NOT A SPECIAL FLOOD AREA PER FIRM PANEL # 12095C0215F, DATED SEPTEMBER 25, 2009, ORANGE COUNTY, FLORIDA.

ABBREVIATION LEGEND

N = NORTH	O.R. = OFFICIAL RECORD
S = SOUTH	D.B. = DEED BOOK
E = EAST	P.O.B. = POINT OF BEGINNING
W = WEST	P.O.C. = POINT OF COMMENCEMENT
SEC. = SECTION	W/ = WITH
FND. = FOUND	P.L.S. # 3144 = PROFESSIONAL LAND SURVEYOR REGISTRATION NUMBER 3144
CONC. MON. = CONCRETE MONUMENT	TYP. = TYPICAL
COR. = CORNER	PROP. = PROPERTY
NO. = NUMBER	R. = RADIUS
P.B. = PLAT BOOK	Δ = DELTA
PG. = PAGE	L. = ARC LENGTH
PP = PAGES	P.C. = POINT OF CURVATURE
REF. = REFERENCE	P.I. = POINT OF INTERSECTION
MEAS. = MEASURED	P.T. = POINT OF TANGENCY
INFO. = INFORMATION	TAN. = TANGENT
N.T.S. = NOT TO SCALE	C. = CHORD
C/L = CENTER LINE	C.B. = CHORD BEARING
ELEV. = ELEVATION	R/W = RIGHT-OF-WAY
CONC. = CONCRETE	(T) = TOP OF CURB
INV. = INVERT	(B) = BOTTOM OF CURB
NO # = NO IDENTIFICATION NUMBER	(A) = ACTUAL
T = TOWNSHIP	(P) = PLAT
R = RANGE	(D) = DESCRIPTION
MSL = MEAN SEA LEVEL	(C) = COMPUTED
U.T. = UNDERGROUND TELEPHONE	CALC. = CALCULATED
W.L. = UNDERGROUND WATER LINE	COR # = CERTIFIED CORNER RECORD NUMBER
R.L. = UNDERGROUND RECLAIMED WATER LINE	B.M. = BENCH MARK
R.C.P. = REINFORCED CONCRETE PIPE	O.U. = OVERHEAD UTILITY LINES
(D.O.T.) = DEPARTMENT OF TRANSPORTATION	C.M.P. = CORRUGATED METAL PIPE
(RAD.) = RADIAL	T.B.M. = TEMPORARY BENCH MARK
WV = WATER VALVE	LB # = LICENSE BUSINESS NUMBER
	(N.R.) = NON-RADIAL
	WV = RECLAIMED WATER VALVE



THIS IS TO CERTIFY THAT THIS SURVEY, AS SHOWN HEREON, MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Scott Bechir

SCOTT BECHIR, P.S.M.,
FLORIDA REGISTRATION NUMBER 5807
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

DATE	REVISION	REVISION	REVISION	REVISION	REVISION

SCOTT'S SURVEYING SERVICES, INC.
LB # 7442
8 S. HWY. 17-92, SUITE 8-A
DEBARY, FLORIDA 32713
PH. (386) 668-7332 FAX 668-7337

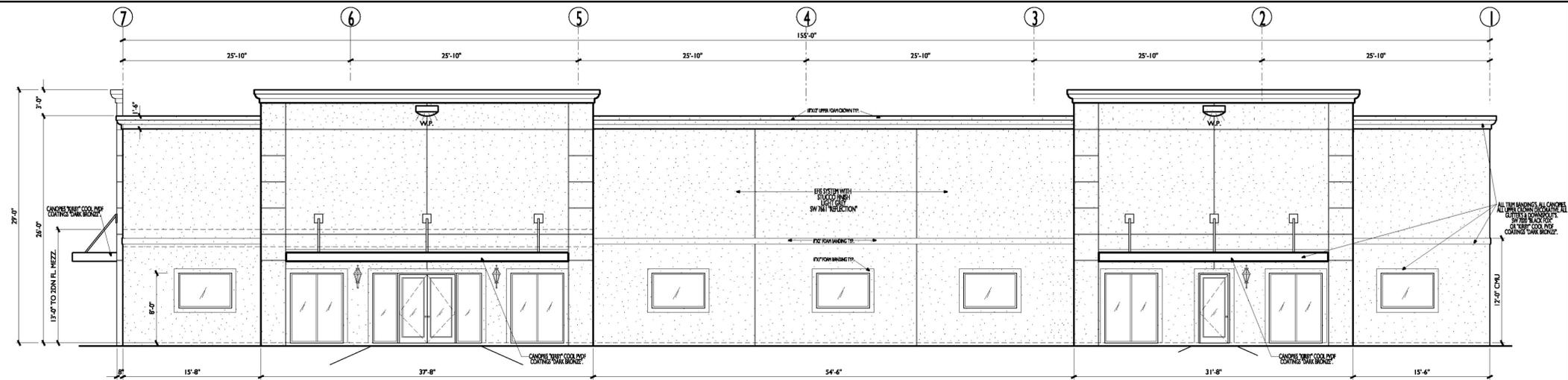
COMPUTED BY: S.R.B. DRAWN BY: S.R.B. CHECKED BY: S.R.B. FIELD BY: B.W. DATE: 1/3/19

BOUNDARY & TOPOGRAPHIC SURVEY

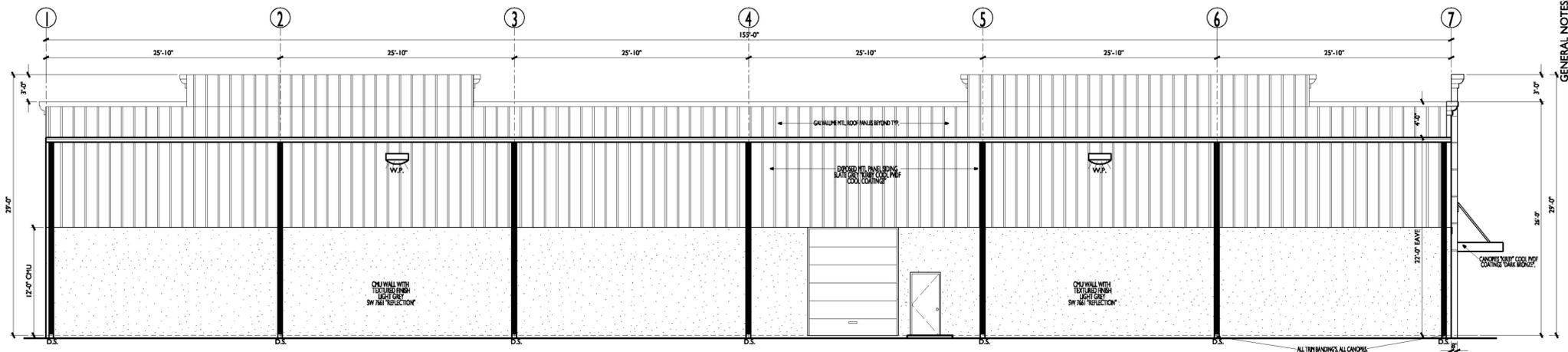
FOR
HAYDAYAT ARMAN
620 GARDEN COMMERCE PARKWAY
WINTER GARDEN

ORANGE COUNTY, FLORIDA

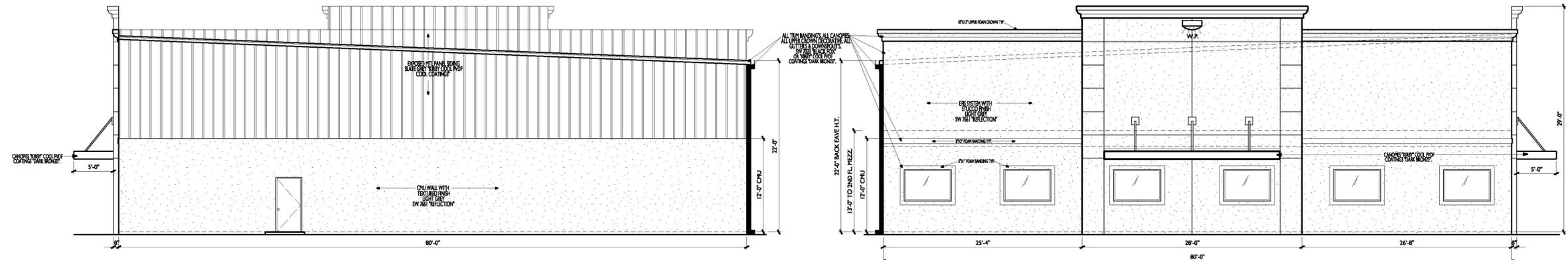
PROJECT NUMBER: 19-05
DATE: 2/6/19
SCALE: 1" = 20'
SHEET 1 OF 1



PROPOSED FRONT BUILDING ELEVATION:
SCALE: 1/8" = 1'-0"

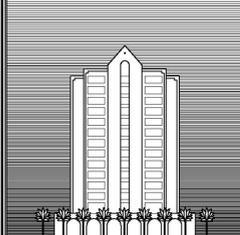


PROPOSED REAR BUILDING ELEVATION:
SCALE: 1/8" = 1'-0"



PROPOSED SIDE BUILDING ELEVATION:
SCALE: 1/8" = 1'-0"

PROPOSED SIDE BUILDING ELEVATION:
SCALE: 1/8" = 1'-0"



STANLEY P. HOELLE
ARCHITECT
114 WESTLIFE DR.
DAYTONA BEACH, FLORIDA 32117 386-295-9750

GENERAL NOTES:
ALL GENERAL & SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS, ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS. ALL WORK MUST COMPLY WITH THE 2017 EDITION (EXPOSURE 'C') OF THE FLORIDA BUILDING CODE SECT. 140 MPH WIND LOAD AND THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION ALL DOOR & WINDOW OPENINGS TO MEET OR EXCEED DESIGN PRESSURE OF +40/-45 PSF FOR DOORS AND +40/-45 PSF FOR WINDOWS WIND IMPORTANCE FACTOR IS '1.0' AND THE BUILDING CATEGORY IS 'II' (ENCLOSED BUILDING) PRESSURE COEFFICIENT IS 0.18

"QUALITY PLAYING CARD'S INC"
NEW MTL. BUILDING PROJECT
ADDRESS: 620 GARDEN COMMERCE PARK., WINTER GARDEN FLORIDA 34787
GENERAL CONTRACTOR: COX CONSTRUCTION AND DEVELOPMENT CORP. PH # 352-516-4401

ARCHITECT'S SEAL
STANLEY P. HOELLE
ARCHITECT, #9833
DAYTONA BEACH, FLORIDA 32117
DRAWN BY: S.P.H. SHEET #
CHECKED BY: S.P.H. A-3
SCALE: AS NOTED
DATE: 09-10-19



CITY OF WINTER GARDEN

DEVELOPMENT REVIEW COMMITTEE

300 West Plant Street - Winter Garden, Florida 34787-3011
(407) 656-4111

MEMORANDUM

TO: STEVE PASH, COMMUNITY DEVELOPMENT DIRECTOR
FROM: DEVELOPMENT REVIEW COMMITTEE
DATE: December 6, 2019
SUBJECT: Quality Playing Cards - 620 Garden Commerce Parkway – Lot 20
SITE PLAN REVIEW (3rd REVIEW)

Pursuant to your request, we have reviewed the revised site plan dated 9/17/19 for compliance with the City's stormwater and site requirements. This plan proposes one 12,500 s.f. office/warehouse building with associated parking, stormwater and utility improvements. This was submitted in response to our last comments dated 8/21/19 and DRC meeting of 8/28/19 where it was referred to staff review only.

ENGINEERING COMMENTS

We recommend approval of the site plan, subject to approval by all other departments, and the following conditions and comments:

1. Planning Department shall review and comment on proposed use, parking count, setbacks, open space, landscaping, buffering, lighting and signage, including the PID Zoning requirements.
2. As-builts shall comply with City of Winter Garden requirements available online at: <http://www.cwgd.com/business/forms/>.
3. Sheet C-3 Site Plan:
 - a. The 5' wide concrete sidewalk shown along the Story Road frontage (to connect to Garden Commerce Parkway) shall have a handicap ramp at Garden Commerce Pkwy. and shall connect with the sidewalk on the west (Heichle Plumbing Building).
 - b. Street lighting along Story Road may be required per Code (see below).
4. On-site lighting and along street frontages will be required pursuant to City Code, meeting dark skies requirements; a photometrics plan has been provided for Planning Department review. Coordinate with Duke Energy (response states this is in progress).
5. Sheet C-5 Utility Plan:
 - a. All construction shall conform to City of Winter Garden Standards and Specifications.
 - b. The irrigation meter shall be connected to the existing reclaimed water main.
 - c. All work downstream of the Point of Service (POS) shall be performed by a licensed Fire Sprinkler Contractor. Review and approval by Fire Department required.
 - d. Informational: There is an existing 6" underdrain along Garden Center Parkway that is to be protected.
6. All public improvements, including adjacent sidewalks, pavement, utilities, storm lines, underdrain, or curbs, will be checked at final inspection. Any damaged, broken or cracked sections shall be replaced by the developer prior to issuance of certificate of occupancy.
7. Plans call out Class III RCP. If thermoplastic pipe is substituted for RCP, the Engineer shall provide the City with a signed/sealed letter stating that he consents to this substitution and has made the necessary adjustments to the plans and specs to accommodate thermoplastic pipe. If thermoplastic pipe is used it shall meet all City material and installation requirements as specified in

the City's Standards & Specifications including Class I bedding, HP polypropylene pipe, laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).

8. All on-site utilities shall be privately owned and maintained. 100% of all required water and sewer impact fees shall be paid prior to City execution of FDEP permits or issuance of site or building permits. Meter sizes shall be provided for review by the Utilities Department for verification of impact fees at time of Building Permit application. Final plans will not be approved for construction until utility impact fees have been paid and FDEP permits or exemptions have been issued.
9. All irrigation shall be designed to be connected to existing reclaimed water mains. Any irrigation lines within City R/W shall be purple in color. All points of connection to reclaimed water mains shall have appropriate meters, backflow preventors, etc. All irrigation mains within the City's R/W under the pavement shall be encased within a sleeve.
10. Any new water, sewer, or irrigation connections are required to pay utility impact fees, to be paid prior to issuance of site or building permits or execution of FDEP permits. The plans currently show a 1" potable meter, and a single 1" irrigation meter. Assuming a 1" potable meter and 1" irrigation meter the following impact fees will be due:

1" Potable water meter	1 ea. @ \$2,715.00	=	\$2,715.00
Wastewater for 1" meter	1 ea. @ \$4,418.00	=	\$4,418.00
<u>1" Irrigation meter</u>	<u>1 ea. @ \$2,715.00</u>	<u>=</u>	<u>\$2,715.00</u>
	TOTAL	=	\$9,848.00

(does not include connection/installation fee)

11. Landscaping shall not encroach on required sight lines at intersections or driveways. Design Engineer has provided certification that sight distance requirements are being met.
12. No trees may be planted over or within 5 feet of any utility lines. Only sod or shrubs may be planted over utility lines.
13. All dumpsters shall be enclosed and shall provide 12' minimum inside clearance (each way inside of bollards and gate hardware).
14. Permit modification from SJRWMD is required as well as permits or exemptions from FDEP for water, wastewater and NPDES.

PLANNING COMMENTS

15. Site plan data must be updated to match building square footage before building permit approval.
16. Building elevations must be updated to match color elevations, to include height and projection measurements, provided by applicant before building permit approval.

STANDARD GENERAL CONDITIONS

17. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
18. All work shall conform to City of Winter Garden standards and specifications.
19. Fencing, shall meet all City requirements for height, type, etc. Chain link fencing, if used, shall be vinyl coated per Code.
20. The City of Winter Garden will inspect private site improvements only to the extent that they

connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.

21. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
22. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
23. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

Additional comments may be generated at subsequent reviews

Please review this information and contact our office if you have any questions. Thank you.

END OF MEMORANDUM

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Michael Caines
Fleet and Facilities Division Manager

Via: Mike Bollhoefer
City Manager

Frank Gilbert
Assistant City Manager – Administrative Services

Date: January 2, 2020 **Meeting Date:** January 9, 2020

Subject: Approve purchases from Vermeer Southeast

Request approval to purchase the following equipment from Vermeer Southeast;

1. One (1) Vermeer Vactron Model LP573XDT Trailer Mounted Hydro Excavator. \$51,500.00

This purchase will be a piggyback of the Florida Sheriff's Association & Florida Association of Counties Contract FSA18-VEH16.0.

2. One (1) Vermeer D8X12 Underground Bore System Complete. \$52,432.00

The purchase includes a trade-in credit for an existing bore machine that no longer meets the city's needs.

This purchase will be a piggyback of the Sourcewell Contract 012418-VRM.

These purchases were anticipated and funding was included in the current budget.

Recommended action:

Approval of the purchase of One (1) Vactron Hydro Excavator utilizing the Florida Sheriff's Association & Florida Association of Counties Contract and One (1) Vermeer Underground Bore System utilizing the Sourcewell Contract from Vermeer Southeast for a total purchase price of \$103,932.00.

Attachments/References:

Vactron Quotation
FSA Documents
Underground Bore Quotation
Sourcewell Documents



Vermeer Southeast Sales & Service, Inc.
 4559 Old Winter Garden Road
 Orlando, Florida 32811

QUOTE

Date: 10/07/19

Sales Rep: Ross Hilaman

Customer Information:

City of Winter Garden
300 West Plant
Winter Garden, FL

Delivered to:

Same

Contact Name: _____

Phone Number: _____

Payment method: _____

Qty	DESCRIPTION and SERIAL #	Unit Price	TOTAL
1	Vactron/Vermeer Model LP573XDT: 24 HP Kubota Diesel , 580 CFM vacuum pump, 500 gallon debris tank, 3,500 psi @ 4 gpm - high pressure water system, (2) 100 gallon water tanks, reverse pressure, 30' x 3" suction hose with suction tool, hydraulically operated full open and locked rear door, water knife and clean up wand, low profile torsion axles (12,000 GVWR)		\$ -
	FL Sheriff's Association Contract FSA18-VEH16.0 Specification # 52 Title: Vacuum Excavator, Trailer Mounted - 14,000 GVWR		
	Model: LP873SDT		
1	Price for base model	\$ 83,900.00	\$ 83,900.00
-1	Delete for Model LP573XDT	\$ 32,400.00	\$ (32,400.00)
		SubTotal	\$ 51,500.00
		Tax	
THANK YOU FOR YOUR BUSINESS!		Total	\$ 51,500.00
		Less Down Payment	
TERMS:		Balance Due	\$ 51,500.00

All warranties, if any, made with respect to this equipment are those warranties made by the Manufacturer. Dealer makes no warranties express or implied, including, but not limited to, warranties of MERCHANTABILITY AND FITNESS OF A PARTICULAR PURPOSE.

Customer Signature _____



FLORIDA SHERIFFS ASSOCIATION & FLORIDA ASSOCIATION OF COUNTIES

Name of Dealership	Type of Vehicle	Zone	Base Unit Price
<u>VACUUM EXCAVATOR, TRAILER MOUNTED - 14,000 LB GVWR (Specification #52)</u>			
Environmental Products of Florida	2019 PacificTek PV800	Western	\$114,368.00
	2019 PacificTek PV800	Western	-- NB --
Environmental Products of Florida	2019 PacificTek PV800	Northern	\$114,368.00
	2019 PacificTek PV800	Northern	-- NB --
Environmental Products of Florida	2019 PacificTek PV800	Central	\$114,368.00
	2019 PacificTek PV800	Central	-- NB --
Environmental Products of Florida	2019 PacificTek PV800	Southern	\$114,368.00
	2019 PacificTek PV800	Southern	-- NB --
Sewer Equipment	2019 RamVac 1000 Vacuum Excavator	Western	\$140,901.00
	2019 RamVac 1000 Vacuum Excavator	Western	-- NB --
Sewer Equipment	2019 RamVac 1000 Vacuum Excavator	Northern	\$140,901.00
	2019 RamVac 1000 Vacuum Excavator	Northern	-- NB --
Sewer Equipment	2019 RamVac 1000 Vacuum Excavator	Central	\$140,901.00
	2019 RamVac 1000 Vacuum Excavator	Central	-- NB --
Sewer Equipment	2019 RamVac 1000 Vacuum Excavator	Southern	\$140,901.00
	2019 RamVac 1000 Vacuum Excavator	Southern	-- NB --
Southern Sewer Equipment Sales	2019 Vac-Con Mudslinger MS800	Western	\$101,000.00
	2019 Vac-Con Mudslinger MS800	Western	-- NB --
Southern Sewer Equipment Sales	2019 Vac-Con Mudslinger MS800	Northern	\$101,000.00
	2019 Vac-Con Mudslinger MS800	Northern	-- NB --
Southern Sewer Equipment Sales	2019 Vac-Con Mudslinger MS800	Central	\$101,000.00
	2019 Vac-Con Mudslinger MS800	Central	-- NB --
Southern Sewer Equipment Sales	2019 Vac-Con Mudslinger MS800	Southern	\$101,000.00
	2019 Vac-Con Mudslinger MS800	Southern	-- NB --
Vermeer Southeast	2019 Vermeer LP873SDT	★ Western	\$83,900.00
	2019 Vermeer LP873SDT	Western	-- NB --
Vermeer Southeast	2019 Vermeer LP873SDT	★ Northern	\$83,900.00

	2019 Vermeer LP873SDT	Northern	-- NB --
Vermeer Southeast	2019 Vermeer LP873SDT	★Central	\$83,900.00
	2019 Vermeer LP873SDT	Central	-- NB --
Vermeer Southeast	2019 Vermeer LP873SDT	★Southern	\$83,900.00
	2019 Vermeer LP873SDT	Southern	-- NB --
Pat's Pump & Blower	2019 X-Vac X800	Western	\$108,350.00
	2019 X-Vac X800	Western	-- NB --
Pat's Pump & Blower	2019 X-Vac X800	Northern	\$108,350.00
	2019 X-Vac X800	Northern	-- NB --
Pat's Pump & Blower	2019 X-Vac X800	Central	\$108,350.00
	2019 X-Vac X800	Central	-- NB --
Pat's Pump & Blower	2019 X-Vac X800	Southern	\$108,350.00
	2019 X-Vac X800	Southern	-- NB --



FLORIDA SHERIFFS ASSOCIATION & FLORIDA ASSOCIATION OF COUNTIES

VACUUM EXCAVATOR, TRAILER MOUNTED - 14,000 LB GVWR SPECIFICATION #52

2019 Vermeer LP873SDT

The Vermeer LP873SDT purchased through this contract comes with all the standard equipment as specified by the manufacturer for this model and FSA's base vehicle specification(s) requirements which are included and made a part of this contract's vehicle base price as awarded by specification by zone.

ZONE:	★ Western	★ Northern	★ Central	★ Southern
BASE PRICE:	\$83,900.00	\$83,900.00	\$83,900.00	\$83,900.00

While the Florida Sheriffs Association and Florida Association of Counties have attempted to identify and include those equipment items most often requested by participating agencies for full size vehicles, we realize equipment needs and preferences are going to vary from agency to agency. In an effort to incorporate flexibility into our program, we have created specific add/delete options which allow the purchaser to tailor the vehicle to their particular wants or needs.

The following equipment delete and add options and their related cost are provided here to assist you in approximating the total cost of the type vehicle(s) you wish to order through this program. Simply deduct the cost of any of the following equipment items you wish deleted from the base unit cost and/or add the cost of any equipment items you wish added to the base unit cost to determine the approximate cost of the type vehicle(s) you wish to order.

NOTE: An official listing of all add/delete options and their prices should be obtained from the appropriate dealer in your zone when preparing your order. Additional add/delete options other than those listed here may be available through the dealers, however, those listed here must be honored by the dealers in your zone at the stated prices.

VEHICLE:	LP873SDT			
DEALER:	Vermeer Southeast	Vermeer Southeast	Vermeer Southeast	Vermeer Southeast
ZONE:	★ Western	★ Northern	★ Central	★ Southern
BASE PRICE:	\$83,900.00	\$83,900.00	\$83,900.00	\$83,900.00

Order Code	Delete Options	All Zones
VSK25-100G ¹	Downgrade to small excavator - specify <i>24Hp Honda Gas Engine, 575 CFM Blower, 100 Gallon Tilt Spoil Tank, 50 Gallon Fresh Water Tank with 4GPM @ 3,000 PSI Water System, Manual Rear Door NO BOOM ¹</i>	(\$63,195.00) ¹
EV150GT ¹	Downgrade to small excavator - specify <i>25Hp Kohler Air Cooled Gas Engine, 550 CFM Vacuum Pump, Hydraulic Tilt Debris Tank, 3,000 PSI @ 4GPM-High Pressure Water System, 40 Gallon Water Tank, 30'ft x 3" Suction hose with Suction Tool, Spin Wheel Door Lock, Water Knife and Clean-Up Wand, Trailer Mounted Single Axle 3,500 GVWR, NO BOOM ¹</i>	(\$56,195.00) ¹
V25-500G ¹	Downgrade to small excavator - specify <i>24Hp Honda Gas Engine, 575 CFM Blower, 500 Gallon Spoil Tank, (2) 10'x3" Vacuum hose Sections. 9,999 GVW Trailer. NO BOOM ¹</i>	(\$52,602.00) ¹
LP373GT ¹	Downgrade to small excavator - specify <i>27Hp Kohler Air Cooled Gas Engine, 580CFM Vacuum Pump, 300 Gallon Debris Tank, 3,500 PSI @ 4GPM-High Pressure water System,(2) 50 Gallon Water Tanks, 7,000lb GVWR Trailer, Reverse Pressure, 30'ft x 3" Suction Hose with Suction Tool, Hydraulic Rear Door, Water Knife and Clean-Up Wand NO BOOM ¹</i>	(\$43,230.00) ¹
VX30-500 ¹	Downgrade to small excavator - specify <i>Gen3 24.8Hp Kubota Tier IV Final Diesel Engine, 575 CFM 15" of Mercury Blower,500 Gallon Spoil Tanks (2) 125 Gallon Fresh Water Tanks with 4.0 GPM @ 3,000 PSI Water System with Auto Clutch, Can-Over Full Open External Hydraulic Door with Separate Door/Tank Raise Circuit, In Tank Clean Out System, (2) 15' x 3" Vacuum Hose, 12,000 GVW Trailer - NO BOOM ¹</i>	(\$32,510.00) ¹
LP573SGT ¹	Downgrade to small excavator - specify <i>37Hp Kohler Gas 1,000 CFM Vacuum Pump, 500 Gallon Debris Tank, 4,000PSI@4GPM-High Pressure Water System, (2) 100 Gallon Water Tanks, Reverse Pressure, 30' x 3" Suction Hose with Suction Tool, Hydraulically Full Open and Lock Rear Door, Water Knife and Clean-Up Wand, Low Profile Torsion Axles, (12,000 GVWR) NO BOOM ¹</i>	(\$32,141.00) ¹
LP873XDT ¹	Downgrade to small excavator - specify <i>24Hp Kohler Diesel (T4F), 580 CFM Vacuum Pump, 800 Gallon Debris Tank, 3,500 PSI @ 4GPM-High Pressure Water System, (2) 100 Gallon Water Tanks, Reverse Pressure, 30'Ft x 3" Suction Hose with Suction Tool, Hydraulically Operated Full Open and Locked Rear Door. Water Knife and Clean-Up Wand. Low Profile Torsion Axles (14,000 GVWR) NO BOOM ¹</i>	(\$29,575.00) ¹
LP573SDT ¹	Downgrade to small excavator - specify <i>49Hp Yanmar Diesel (T4F), 1,000 CFM Vacuum Pump, 500 Gallon Debris Tank, 4,000 PSI @ 4 GPM-High Pressure Water System, (2) 100 Gallon Water Tanks, Reserve Pressure, 30'ft X 3" Suction Hose with Suction Tool, Hydraulically Operated Full Open and Locked Rear Door, Water Knife and Clean-Up Wand, Low Profile Torsion Axles (12,000 GVWR) No Boom ¹</i>	(\$18,277.00) ¹
Manual ¹	Delete hydraulic boom to manual	(\$11,900.00) ¹
	Optional equipment delete - specify	NA
	Optional equipment delete - specify	NA
	Optional equipment delete - specify	NA

Order Code	Add Options	All Zones
AIR573SDT ¹	Model upgrade - specify <i>83Hp Yanmar Diesel, 1,000 CFM Vacuum Pump, 500 Gallon Debris Tank, 4,000 PSI @ 4GPM-High Pressure Water System, internal Air Compressor 150 CFM @170 PSI, (2) 100 Gallon Water Tanks, Reverse Pressure, 30'ft x 3" Suction Tool, Hydraulically Operated Full Open and Locked Rear Door, Water Knife and Clean-Up Wand, 50' Air Hose with Self Retracting Reel and Air Knife. Low Profile Torsion Axles, (12,000 GVWR) NO BOOM ¹</i>	\$9,317.00 ¹

VEHICLE:	LP873SDT			
DEALER:	Vermeer Southeast	Vermeer Southeast	Vermeer Southeast	Vermeer Southeast
ZONE:	★ Western	★ Northern	★ Central	★ Southern
BASE PRICE:	\$83,900.00	\$83,900.00	\$83,900.00	\$83,900.00

MC573SDT ¹	Model upgrade - specify 83Hp Yanmar Diesel 1,000 CFM Vacuum Pump, 500 Gallon Debris Tank, 2,000 PSI @ 15 GPM-High Pressure Water System, (2) 150 Gallon Water Tanks, Reverse Pressure, 30'ft x 3" Suction Hose with Suction Tool, Hydraulically Operated Full Open and Locked Rear Door, 300' Jetter Hose w/ Reel, Water Knife Clean-Up Wand. Low Profile Torsion Axles (14,000 GVWR) NO BOOM ¹	\$3,741.00 ¹
MC873SDT ¹	Model upgrade - specify 83Hp Yanmar Diesel Engine, 1,000 CFM Vacuum Pump, 800 Gallon Debris Tank, 2,000 PSI @ 15 GPM- High Pressure Water System, (2) 200 Gallon Water Tanks, Reverse Pressure, 30'ft x 3" Suction hose with Suction Tool, Hydraulically Operated Full Open and Locked Rear Door, 300' Jetter Hose w/ Reel, Water Knife Clean-Up Wand, Tandem Axles, (20,000 GVWR) NO BOOM ¹	\$7,591.00 ¹
AIR873SDT ¹	Model upgrade - specify 83Hp Yanmar Diesel, 1,000 CFM Vacuum Pump, 800 Gallon Debris Tank, 4,000 PSI @ 4GPM-High Pressure Water System, Internal Air Compressor, 185 CFM @ 175 PSI, (2) 100 Gallon Water Tanks, Reverse Pressure, 30'ft x 3" Suction Hose with Suction Tool, Hydraulically Operated Full Open and Locked Rear Door, Water Knife and Clean-Up Wand, 50' Air Hose w/ self retracting reel and Air Knife. Low Profile Torsion Axles, (14,000 GVWR) NO BOOM ¹	\$15,673.00 ¹
HTV573PTO ¹	Model upgrade - specify PTO Driven off of Truck Chassis, 1,000 CFM Vacuum Pump, 500 Gallon Debris Tank, 4,000 PSI @ 4GPM-High Pressure Water System, (2) 150 Gallon Water Tanks, Reverse Pressure, 30'ft x 3" Suction Hose with Suction Tool. Hydraulically Operated Full Open and Locked Rear Door. Water Knife and Clean-Up Wand, Storage Package (Tool Box) NO BOOM, Ford F-650 270Hp Diesel Regular Cab ¹	\$46,335.00 ¹
HTV873PTO ¹	Model upgrade - specify PTO Driven off of Truck Chassis, 1,000 CFM Vacuum Pump, 800 Gallon Debris Tank, 4,000 PSI @ 4GPM-High Pressure Water System, (2) 150 Gallon Water Tanks, Reverse Pressure, 30'ft x 3" Suction Hose with Suction Tool. Hydraulically Operated Full Open and Locked Rear Door. Water Knife and Clean-Up Wand, Storage Package (Tool Box) NO BOOM, Ford F-750 300Hp Diesel Regular Cab ¹	\$58,921.00 ¹
VX75-800 ¹	Model upgrade - specify 74Hp Deutz Diesel Engine, 1200 CFM 15" Mercury Blower, 1200 Gallon Spoils Tank, (2) 205 Gallon Fresh Water tank with Quick Fill, 8 GPM @3,000 PSI Water System with Auto Clutch, 18,000 GVW Trailer - NO BOOM ¹	\$28.00 ¹
VTX8 ¹	Model upgrade - specify Mega-Vac 1,600 Gallon Spoils Tank, (3) 200 Gallon Water Tanks, 3200 CFM Roots Blower, 18" HG, 10 GPM @ 3,000 PSI Water System, Hydraulic Rotation 6" Boom with (3) 5'extensions, in Tank Wash down System. External Tank Monitor, 50' Spring return Water Hose, 6" Ball float shutdown, 3 Stage Filtration using a Cyclonic Separator and 2 Micron Washable Poly Filter, Rotary Digging Lance, Spray Was Wand, Wireless Full Function Remote Control and CAN Control Operation System. Does Include Mounting- DOES NOT Include Truck ¹	\$120,255.00 ¹
E-GUN ¹	Emulsifier gun	\$900.00 ¹
H-JACK ¹	Electric tongue jack Hydraulic Jack ¹	\$1,918.00 ¹
AUX HYD ¹	Auxiliary hydraulics Auxiliary Hydraulics ¹	\$5,630.00 ¹
SPARE ¹	Spare tire Spare Tire ¹	\$598.00 ¹
A-BOARD ¹	Arrow board Arrow Board ¹	\$1,271.00 ¹
	Air brakes	NA
	Gooseneck hitch	NA
6WayBoom ¹	Optional equipment - specify 6 Way Boom, Hydraulic up-down, in-out, and rotation. Upgrade cost for BASE MODEL BID LP873SDT All Other models DO NOT include BOOM in price. ¹	\$2,495.00 ¹

VEHICLE:	LP873SDT			
DEALER:	Vermeer Southeast	Vermeer Southeast	Vermeer Southeast	Vermeer Southeast
ZONE:	★ Western	★ Northern	★ Central	★ Southern
BASE PRICE:	\$83,900.00	\$83,900.00	\$83,900.00	\$83,900.00

FM ¹	Optional equipment - specify <i>Flow Master Package (Includes the Flow Master arm and head, hydrant hose and diffuser box, tool box and all relevant Flow Mast tools. ¹</i>	\$14,041.00 ¹
REM DEB ¹	Optional equipment - specify <i>Remote Debris Tank ¹</i>	\$9,652.00 ¹
HOTBOX ¹	Optional equipment - specify <i>Hot Box ¹</i>	\$5,823.00 ¹
STRONGARM ¹	Optional equipment - specify <i>Strong Arm ¹</i>	\$1,852.00 ¹
5 % ¹	Optional equipment - specify <i>Discount Percentage off manufacturers Current Published Retail Price for Non-Specified Options and any optional Models ¹</i>	\$5.00 ¹
New Tag ¹	New state tag (specify state, county, city, sheriff, etc.) <i>New Tag ¹</i>	\$210.00 ¹
Tran Tag ¹	Transfer existing registration (must provide tag number) <i>Transfer tag ¹</i>	\$210.00 ¹
Temp Tag ¹	Temporary tag	NC ¹
	Maintenance Plan - specify	NA
	Maintenance Plan - specify	NA
	Warranty - specify	Std
	Warranty - specify	Std



FLORIDA SHERIFFS ASSOCIATION & FLORIDA ASSOCIATION OF COUNTIES

VACUUM EXCAVATOR, TRAILER MOUNTED - 14,000 LB GVWR SPECIFICATION #52

2019 Vermeer LP873SDT

(Alternate Dealer Option)

The Vermeer LP873SDT purchased through this contract comes with all the standard equipment as specified by the manufacturer for this model and FSA's base vehicle specification(s) requirements which are included and made a part of this contract's vehicle base price as awarded by specification by zone.

ZONE:	Western	Northern	Central	Southern
BASE PRICE:	-- No bid --			

While the Florida Sheriffs Association and Florida Association of Counties have attempted to identify and include those equipment items most often requested by participating agencies for full size vehicles, we realize equipment needs and preferences are going to vary from agency to agency. In an effort to incorporate flexibility into our program, we have created specific add/delete options which allow the purchaser to tailor the vehicle to their particular wants or needs.

The following equipment delete and add options and their related cost are provided here to assist you in approximating the total cost of the type vehicle(s) you wish to order through this program. Simply deduct the cost of any of the following equipment items you wish deleted from the base unit cost and/or add the cost of any equipment items you wish added to the base unit cost to determine the approximate cost of the type vehicle(s) you wish to order.

NOTE: An official listing of all add/delete options and their prices should be obtained from the appropriate dealer in your zone when preparing your order. Additional add/delete options other than those listed here may be available through the dealers, however, those listed here must be honored by the dealers in your zone at the stated prices.

VEHICLE: LP873SDT (ALTERNATE DEALERS)

DEALER:

ZONE: Western Northern Central Southern

BASE PRICE: -- No bid -- -- No bid -- -- No bid -- -- No bid --

New state tag (specify state, county, city, sheriff, etc.)	
Transfer existing registration (must provide tag number)	
Temporary tag	
Maintenance Plan - specify	
Maintenance Plan - specify	
Warranty - specify	
Warranty - specify	



Vermeer® SOUTHEAST

Serving the Southeast....since 1967

Vermeer Southeast Sales & Service

4559 Old Winter Garden Road, Orlando, FL

PHONE: 407-419-0007

E-Mail: rosshilaman@vermeersoutheast.com

Date: 4/30/19

Customer Name: **City of Winter Garden**

Mr. Jefferey Cotton

Quote #04172019

New Vermeer D8x12:

- 48 Horsepower Kohler Diesel Engine
- 9 GPM FMC Water Pump
- Standard Aggressive Stake Down System
- Drill head , Collar, Starter Rod and 3.5" Dirt Bit w/ Hole
- Vermeer **Firestick** – 1.66" x 6' drill rod (180')
- Umbrella with Bracket
- One year or One thousand hour warranty



New Vermeer MX125-3 Modular Mixing System:

- 5.5 HP Gas Engine
- 300 gallon tank, 3" trash pump, hopper/venture, roll jet system
- 2" x 50' supply hose



New Custom 6 Ton Tandem Heavy Duty Axle:

- 6 Ton Custom Heavy Haul Trailer
- Dual 6K Axles
- Tandem Axle
- Electric Brakes
- D-Rings
- Two Chains and Two Binders
- MX125-5 Mounted on Trailer

Explanation of the Vermeer Confidence Plus Program: (Optional)

- **24 or 36 months parts & labor warranty on the drill only**
- The first \$200 of any warrantable road call is covered during those 24 or 36 months
- The 250, 500, 750, and 1000 hr services included (parts and labor) at ANY Vermeer dealership throughout the country
- **Additional Yearly Maintenance Packages Available @ \$2,104.00 Each Additional Year**
- 67 point inspection done at each of those four service intervals and you will be given a copy of that inspections for your records
- Drill Fax is created with Vermeer to create additional resale value at the end of the lease or loan

24 months Total Coverage: \$4,209.00

36 months Total Coverage: \$6,734.00

Key Benefits of Confidence Plus Program:

- Reduction in downtime
- Increased Resale Value
- Reduction in unexpected repairs due to a Vermeer Certified tech inspecting the machine on a consistent basis
- Additional 12 or 24 months of warranty
- Reduction in road call charges
- Is honored at any dealer in the world (not just the selling dealer)

Supporting Dealership Locations: Full Service Department and Available Parts Inventory

- Jacksonville
- Orlando
- Clearwater
- Ft. Myers
- Boynton Beach
- Others Include: Pensacola, Birmingham (AL), and Marietta (GA)



Total Package Investment Breakout:

01. D8x12.....	\$91,169.00
02. MX125-3.....	\$10,313.00
03. 6 Ton Trailer.....	\$6,950.00
a. Includes two chains and two binders	
b. MX125 mounted to trailer	
04. Trade in of the 2009 D20x22 Series II package.....	\$(-56,000.00)
a. Includes trailer and mix tank	

2-3 Days of complete OnSite Training Included with Purchase by one of our Trenchless Specialist. This training will be tailored to your Team's needs.

Total..... \$52,432.00 (plus tax)

QUOTE FOR BUDGETARY PURPOSES ONLY

Equipment to be purchase via Sourcewell Contract 012418-VRM

City of Winter Garden Member ID# 132330

Customer Acceptance: _____ Date: _____

- Less applicable sales taxes
- Training included in delivery
- Prices good for 30 days

Thank you for this opportunity. The entire Vermeer Southeast Team looks forward to our continued Partnership with City of Winter Garden.

Ross Hilaman

FORM E
CONTRACT ACCEPTANCE AND AWARD



(Top portion of this form will be completed by NJPA if the vendor is awarded a contract. The vendor should complete the vendor authorized signatures as part of the RFP response.)

NJPA Contract #: 012418-VRM

Proposer's full legal name: Vermeer Corporation

Based on NJPA's evaluation of your proposal, you have been awarded a contract. As an awarded vendor, you agree to provide the products and services contained in your proposal and to meet all of the terms and conditions set forth in this RFP, in any amendments to this RFP, and in any exceptions that are accepted by NJPA.

The effective date of the Contract will be March 14, 2018 and will expire on March 14, 2022 (no later than the later of four years from the expiration date of the currently awarded contract or four years from the date that the NJPA Chief Procurement Officer awards the Contract). This Contract may be extended for a fifth year at NJPA's discretion.

NJPA Authorized Signatures:



NJPA DIRECTOR OF COOPERATIVE CONTRACTS
AND PROCUREMENT/CPO SIGNATURE

Jeremy Schwartz
(NAME PRINTED OR TYPED)



NJPA EXECUTIVE DIRECTOR/CEO SIGNATURE

Chad Coquette
(NAME PRINTED OR TYPED)

Awarded on March 12, 2018

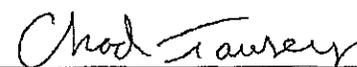
NJPA Contract # 012418-VRM

Vendor Authorized Signatures:

The Vendor hereby accepts this Contract award, including all accepted exceptions and amendments.

Vendor Name Vermeer Corporation

Authorized Signatory's Title Corporate Account Manager



VENDOR AUTHORIZED SIGNATURE

Chad Tousey

(NAME PRINTED OR TYPED)

Executed on March 19, 2018

NJPA Contract # 012418-VRM



COMMENT AND REVIEW
to the
REQUEST FOR PROPOSAL (RFP) #012418
Entitled

PUBLIC UTILITY EQUIPMENT WITH RELATED ACCESSORIES AND SUPPLIES

The following advertisement was placed in Oregon's *Daily Journal of Commerce* on December 8, 2017, in South Carolina's *The State* on December 7, 2017, in Utah's *The Salt Lake Tribune* on December 7, 2017, in *USA Today* on December 7, 2017, and on the NJPA website www.njpacoop.org, Onvia website www.onvia.com, Notice to Bidders website www.noticetobidders.com, PublicPurchase.com, AAMDC, Merx, Biddingo and The New York State Contract Reporter:

The National Joint Powers Alliance® (NJPA), on behalf of NJPA and its current and potential member agencies, which includes all governmental, higher education, K-12 education, not-for-profit, tribal government, and all other public agencies located in all fifty states, Canada, and internationally, issues this Request For Proposal (RFP) to result in a national contract solution for the procurement of #012418 PUBLIC UTILITY EQUIPMENT WITH RELATED ACCESSORIES AND SUPPLIES. Details of this RFP are available beginning December 7, 2017. Details may be obtained by letter of request to Chris Robinson, NJPA, 202 12th Street Northeast, P.O. Box 219, Staples, MN 56479, or by e-mail at RFP@njpacoop.org. Proposals will be received until January 24, 2018 at 4:30 p.m. Central Time at the above address and opened January 25, 2018 at 8:30 a.m. Central Time.

RFPs were requested by and distributed to:

Altec Industries	Lindco Equipment Sales, Inc.
BRITESPAN Building Systems Inc.	Lineman's Testing Laboratories of Canada
Calumet Branded Products LLC	LMT Inc.
Caterpillar, Inc.	MGS Inc
Coastline Equipment	MidCo Material Handling
Construction Industry Center	Monroe Towmaster LLC
Control Networks Plus LLC	Motrec International Inc.
Data Transfer Solutions, LLC	NESCO LLC
Deltek	NPKCE
Department of Finance and Administration	Pacific-Tek
Ditch Witch	Pioneer Pump
DUCO, LLC	Prime Vendor Inc.
Elliott Equipment Company	RACO Manufacturing & Engineering
Felicia Y Sharpe	Rausch Electronics USA, LLC
Fitness Ventures, Inc.	Reelstrong LLC

FSG	Ring-O-Matic
GapVax, Inc.	Royal Purple
Global Power Technologies, LLC	S.D.P. Manufacturing, Inc.
Global Pump	Seon
Globe Trailers	SL King and Associates
Grace Environmental Services	SMS Equipment
Grace Services	Strahnet
Green Climber NA	Structural Metal Fabricators Inc.
Hardline Equipment	Subsite, LLC
Harrington	Swenson Spreader LLC
Hertz Equipment Rental Corp.	Terex
HitchDoc	Thompson Pump
Hol-Mac Corporation	Timberland Equipment Limited
Hurco Technologies, Inc.	Time Manufacturing Company
Interstate Power Systems	Tri State Buiding Center
Jack Doheny Companies, Inc.	TSE International, Inc.
Jemtech	Twin Equipment
Kainos Office	Valor Holdings
Keizer Morris International	Vermeer Corporation
Kundel Industries	Wachs Utility Products
Ledwell & Son	WasteCorp Pumps LLC
LF George Inc.	Xylem Dewatering Solutions, Inc.

Proposals were opened on January 25, 2018, at the NJPA offices located at 202 12th Street Northeast in Staples, Minnesota 56479, from the following:

Altec Industries, Inc.
 Elliot Equipment Company
 GapVax Inc.
 Global Pump
 Keizer Morris International, Inc.
 Pacific-Tek
 Ring-O-Matic
 Terex Utilities Inc.
 The Charles Machine Works, Inc.
 Thompson Pump and Manufacturing Company Inc.
 Time Manufacturing Co
 Vermeer Corporation
 Wachs Utility Products
 Xylem Dewatering Solutions, Inc.

Proposals were reviewed by the Proposal Evaluation Committee:

Greg Grunig, NJPA Procurement Lead Analyst
 Kim Austin, NJPA Procurement Analyst III
 Brandon Town, NJPA Procurement Analyst II
 Michael Munoz, NJPA Procurement Analyst II

The findings of the Proposal Evaluation Committee are summarized as follows:

The Proposal Evaluation Committee used the established NJPA RFP evaluation criteria and determined that all proposal responses met Level-One Responsiveness. The response of Keizer Morris International, Inc. was determined to be Level-Two non-responsive because the offering of products and services in their proposal were found to fall outside of the scope of the RFP. All other proposals were found to be Level-Two responsive and were evaluated.

Altec Industries Inc. offers a diverse product line, including aerial devices, cable handling equipment, chippers/chipper bodies cranes, and digger derricks. They offer a 24 HR parts/sales/service line with less than a 10 second wait time, and have a large sales force with 37 service centers and more than 100 mobile service techs. Altec offers competitive pricing with volume discounts on multiple identical units.

Elliot Equipment Co. manufactures a selection of aerial equipment, boom truck cranes and digger derricks. Elliot offers a lifetime structural warranty on their equipment with two years on boom trucks and one year on the digger derricks. Elliot has 103 locations across the US and Canada to sell and service their equipment. Elliot offers a significant discount from List Price on their own products, as well as "open-market" goods, and additional volume discounts starting at three units.

Terex Utilities Inc. provides aerial platforms, cranes, utility equipment, and boom trucks, covered by a robust warranty that includes coverage for travel and labor. Terex will serve Member needs through 20 service locations across the US, with multiple mobile field technicians. They also offer online parts ordering, tools and accessory ordering capability, with a solid pricing proposal.

The Charles Machine Works offers directional boring equipment, piercing tools, pipe layers, trench rollers, vacuum excavation, pipe and cable locators, trenchers, and vibratory plows under the brand names Ditch Witch, Subsite and HammerHead. They offer in-house financing and leasing options. Charles Machine Works is represented by a dealer network with 126 locations across the US and Canada. They offer a range of significant discounts from MSRP and pass-through pricing on "open-market" items supplied with their equipment.

Thompson Pump and Manufacturing has a wide selection of pumps, including diesel or electric powered, dry priming or wet priming, which are either skid mounted or trailer mounted in various sizes and horsepower ratings. Thompson offers Members many options for arrangements on freight and shipping. Thompson has a strong dealer/distributor network able to service Members' needs. They offer considerable pricing discounts and volume discounts starting at ten units.

Time Manufacturing Co. manufactures a broad selection of bucket trucks, digger derricks, aerial equipment and cable placers under the Versalift, Condor, Skybird and Ruthmann brands. The company has a strong dealer and distributor network to handle sales and service to Members across the US and Canada. Time offers significantly discounted pricing on their primary equipment offerings, as well as accessories.

Vermeer Corporation offers pile drivers, trenchers, plows, trenchless boring, directional drilling, pipeline trenchers, and concrete cutters. They have 109 dealers in the US and 16 in Canada, giving them a demonstrated ability to serve Member needs. Vermeer proposed a range of considerable pricing discounts across product lines and offered volume discounts.

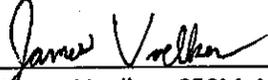
For these reasons, the NJPA Proposal Review Committee recommends award of NJPA Contract #012418 to:

Altec Industries Inc.	#012418-ALT
Elliot Equipment Co.	#012418-EEC
Terex Utilities Inc.	#012418-TER
The Charles Machine Works.	#012418-CMW
Thompson Pump and Manufacturing.	#012418-TPM
Time Manufacturing Co.	#012418-TIM
Vermeer Corporation.	#012418-VRM

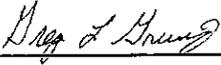
The preceding recommendations were approved on March 9, 2018.



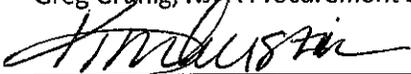
Chris Robinson, JD, NJPA Procurement Manager



James Voelker, CFCM, NJPA Procurement Lead Analyst



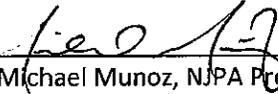
Greg Grunig, NJPA Procurement Lead Analyst



Kim Austin, NJPA Procurement Analyst III



Brandon Town, NJPA Procurement Analyst II



Michael Munoz, NJPA Procurement Analyst II



**Form G
PUBLIC UTILITY EQUIPMENT WITH RELATED ACCESSORIES AND SUPPLIES**

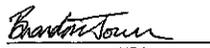
Possible Points	Altec Industries, Inc.	Elliot Equipment Company	GapVax Inc.	Global Pump	Keizar Morris International, Inc.	Pacific-Tek	Ring-O-Matic	
Conformance to Terms/ Conditions to Include Documentation	50	43	44	40	39	-	39	37
Pricing	400	358	358	313	312	-	281	339
Financial, Industry and Marketplace Successes	75	68	60	61	58	-	59	57
Bidder's Ability to Sell/ Service Contract Nationally	100	93	90	68	72	-	78	83
Bidder's Marketing Plan	50	43	45	43	41	-	41	39
Value Added Attributes	75	68	69	58	57	-	59	60
Warranty Coverages and Information	50	44	45	39	40	-	41	38
Selection and Variety of Products and Services Offered	200	185	179	185	170	-	156	181
Total Points	1,000	902	890	787	789	0	754	814
Rank Order		1	3	10	9	14	11	8

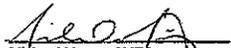
Possible Points	Terex Utilities Inc.	The Charies Machine Works, Inc.	Thompson Pump and Manufacturing Company Inc.	Time Manufacturing Co	Vermeer Corporation	Wachs Utility Products	Xylem Dewatering Solutions, Inc.	
Conformance to Terms/ Conditions to Include Documentation	50	37	38	39	37	43	36	31
Pricing	400	348	356	362	351	358	285	189
Financial, Industry and Marketplace Successes	75	65	67	60	64	68	57	62
Bidder's Ability to Sell/ Service Contract Nationally	100	84	90	82	91	93	69	72
Bidder's Marketing Plan	50	39	43	42	42	45	38	36
Value Added Attributes	75	66	67	60	65	68	56	58
Warranty Coverages and Information	50	42	42	39	43	43	38	39
Selection and Variety of Products and Services Offered	200	171	183	172	178	184	160	155
Total Points	1,000	850	886	856	871	900	739	650
Rank Order		7	4	6	5	2	12	13


Chris Robinson, JD, NJPA


Greg Gpinig, NJPA


Kim Austin, NJPA


Brandon Town, NJPA


Michael Munoz, NJPA

Form C

**EXCEPTIONS TO PROPOSAL, TERMS, CONDITIONS,
AND SOLUTIONS REQUEST**



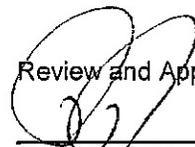
Company Name: Vermeer Corporation

Any exceptions to the terms, conditions, specifications, or proposal forms contained in this RFP must be noted in writing and included with the Proposer's response. The Proposer acknowledges that the exceptions listed may or may not be accepted by NJPA or included in the final contract. NJPA will make reasonable efforts to accommodate the listed exceptions and may clarify the exceptions in the appropriate section below.

Section/page	Term, Condition, or Specification	Exception	NJPA ACCEPTS
		-none-	

Proposer's Signature: Chad Tousey Date: 1-22-18

NJPA's clarification on exceptions listed above:

Review and Approved: 
2/28/18
NJPA Legal Department

FORM D



Formal Offering of Proposal
(To be completed only by the Proposer)

PUBLIC UTILITY EQUIPMENT WITH RELATED ACCESSORIES AND SUPPLIES

In compliance with the Request for Proposal (RFP) for PUBLIC UTILITY EQUIPMENT WITH RELATED ACCESSORIES AND SUPPLIES, the undersigned warrants that the Proposer has examined this RFP and, being familiar with all of the instructions, terms and conditions, general and technical specifications, sales and service expectations, and any special terms, agrees to furnish the defined products and related services in full compliance with all terms and conditions of this RFP, any applicable amendments of this RFP, and all Proposer's response documentation. The Proposer further understands that it accepts the full responsibility as the sole source of solutions proposed in this RFP response and that the Proposer accepts responsibility for any subcontractors used to fulfill this proposal.

Company Name: Vermeer Corporation Date: January 18, 2018

Company Address: 1210 Vermeer Road East

City: Pella State: IA Zip: 50219

CAGE Code/Duns & Bradstreet Number: 11457 / 00-527-4071

Contact Person: Chad Tousey Title: Corporate Accounts Coordinator

Authorized Signature: *Chad Tousey* Chad Tousey
(Name printed or typed)

FORM E
CONTRACT ACCEPTANCE AND AWARD



(Top portion of this form will be completed by NJPA if the vendor is awarded a contract. The vendor should complete the vendor authorized signatures as part of the RFP response.)

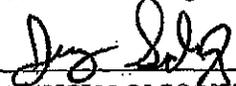
NJPA Contract #: 012418-VRM

Proposer's full legal name: Vermeer Corporation

Based on NJPA's evaluation of your proposal, you have been awarded a contract. As an awarded vendor, you agree to provide the products and services contained in your proposal and to meet all of the terms and conditions set forth in this RFP, in any amendments to this RFP, and in any exceptions that are accepted by NJPA.

The effective date of the Contract will be March 14, 2018 and will expire on March 14, 2022 (no later than the later of four years from the expiration date of the currently awarded contract or four years from the date that the NJPA Chief Procurement Officer awards the Contract). This Contract may be extended for a fifth year at NJPA's discretion.

NJPA Authorized Signatures:



NJPA DIRECTOR OF COOPERATIVE CONTRACTS
AND PROCUREMENT/CEO SIGNATURE

Jeremy Schwartz
(NAME PRINTED OR TYPED)



NJPA EXECUTIVE DIRECTOR/CEO SIGNATURE

Chad Coauette
(NAME PRINTED OR TYPED)

Awarded on March 12, 2018

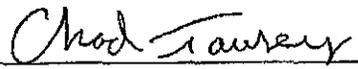
NJPA Contract # 012418-VRM

Vendor Authorized Signatures:

The Vendor hereby accepts this Contract award, including all accepted exceptions and amendments.

Vendor Name Vermeer Corporation

Authorized Signatory's Title Corporate Account Manager



VENDOR AUTHORIZED SIGNATURE

Chad Tousey

(NAME PRINTED OR TYPED)

Executed on March 19, 2018

NJPA Contract # 012418-VRM

PROPOSER ASSURANCE OF COMPLIANCE



Proposal Affidavit Signature Page

PROPOSER'S AFFIDAVIT

The undersigned, authorized representative of the entity submitting the foregoing proposal (the "Proposer"), swears that the following statements are true to the best of his or her knowledge.

1. The Proposer is submitting its proposal under its true and correct name, the Proposer has been properly originated and legally exists in good standing in its state of residence, the Proposer possesses, or will possess before delivering any products and related services, all applicable licenses necessary for such delivery to NJPA members agencies. The undersigned affirms that he or she is authorized to act on behalf of, and to legally bind the Proposer to the terms in this Contract.
2. The Proposer, or any person representing the Proposer, has not directly or indirectly entered into any agreement or arrangement with any other vendor or supplier, any official or employee of NJPA, or any person, firm, or corporation under contract with NJPA, in an effort to influence the pricing, terms, or conditions relating to this RFP in any way that adversely affects the free and open competition for a Contract award under this RFP.
3. The Proposer has examined and understands the terms, conditions, scope, contract opportunity, specifications request, and other documents in this solicitation and affirms that any and all exceptions have been noted in writing and have been included with the Proposer's RFP response.
4. The Proposer will, if awarded a Contract, provide to NJPA Members the /products and services in accordance with the terms, conditions, and scope of this RFP, with the Proposer-offered specifications, and with the other documents in this solicitation.
5. The Proposer agrees to deliver products and services through valid contracts, purchase orders, or means that are acceptable to NJPA Members. Unless otherwise agreed to, the Proposer must provide only new and first-quality products and related services to NJPA Members under an awarded Contract.
6. The Proposer will comply with all applicable provisions of federal, state, and local laws, regulations, rules, and orders.
7. The Proposer understands that NJPA will reject RFP proposals that are marked "confidential" (or "nonpublic," etc.), either substantially or in their entirety. Under Minnesota Statute §13.591, Subd. 4, all proposals are considered nonpublic data until the evaluation is complete and a Contract is awarded. At that point, proposals generally become public data. Minnesota Statute §13.37 permits only certain narrowly defined data to be considered a "trade secret," and thus nonpublic data under Minnesota's Data Practices Act.
8. The Proposer understands that it is the Proposer's duty to protect information that it considers nonpublic, and it agrees to defend and indemnify NJPA for reasonable measures that NJPA takes to uphold such a data designation.

[The rest of this page has been left intentionally blank. Signature page below]

By signing below, Proposer is acknowledging that he or she has read, understands, and agrees to comply with the terms and conditions specified above.

Company Name: Vermeer Corporation

Address: 1210 Vermeer Road East

City/State/Zip: Pella, IA 50219

Telephone Number: 641-621-8531

E-mail Address: ctousey@vermeer.com

Authorized Signature: Chad Tousey

Authorized Name (printed): Chad Tousey

Title: Corporate Accounts Manager

Date: 1-19-18

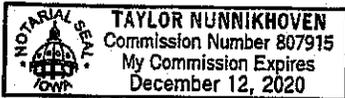
Notarized

Subscribed and sworn to before me this 19th day of January, 20 18

Notary Public in and for the County of Marion State of Iowa

My commission expires: December 12, 2020

Signature: Taylor Nunnikhoven





PROPOSER QUESTIONNAIRE

Payment Terms, Warranty, Products and Services, Pricing and Delivery, and Industry-Specific Questions

Proposer Name: Vermeer Corporation

Questionnaire completed by: Chad Tousey

Payment Terms and Financing Options

1) What are your payment terms (e.g., net 10, net 30)?

Payment Terms are Net 30.

2) Do you provide leasing or financing options, especially those options that schools and governmental entities may need to use in order to make certain acquisitions?

A variety of leasing programs are available. This includes standard leases as well as leases with different purchase options at the end of the term. Purchase Options using predetermined or fair market values can be used to tailor monthly payments to a member's budget. Rates and terms can vary and be tailored to the members needs and based on their application.

3) Briefly describe your proposed order process. Please include enough detail to support your ability to report quarterly sales to NJPA. For example, indicate whether your dealer network is included in your response and whether each dealer (or some other entity) will process the NJPA Members' purchase orders.

- *Vermeer Corporation will utilize a Business-to-Government order process and funds flow.*
- *Vermeer will establish a national marketing program for the public utility equipment contract like what is already in place with NJPA today.*
- *The Process Flow for NJPA orders will be structured to minimize the impact for both the sales team and our customers as indicated below:*

1. *Customer contacts the local dealer for NJPA contract purchase*
2. *Determine if local agency is NJPA member*
 - a. *If member – proceed*
 - b. *If not a current member – assist agency with online membership application*
3. *Dealer determines product specifications and supplies quote*
 - a. *Pricing – percentage discount from catalog pricing*
4. *Develop quote with :*
 - a. *Machine pricing*
 - b. *Freight – based on zoned freight matrix*
5. *Quote presented to local agency*
 - a. *Accepted – proceed to order process*
 - b. *Denied – Dealer does not proceed, seeks possible assistance; Vermeer Corporate & NJPA*
6. *Dealer places machine order*

7. **Dealer receives machine and preps for delivery to local agency**
8. **Dealer delivers machine to customer**
 - a. **Perform operator review as needed**
 - b. **File equipment registration**
9. **Dealer submits copy of their dealer-to-NJPA member invoice to Vermeer Corporation**
10. **Vermeer Corporation adds the purchase to the NJPA quarterly sales report.**
 - a. **Vermeer Corporation makes payment to NJPA quarterly and sends the corresponding report.**

- 4) Do you accept the P-card procurement and payment process? If so, is there any additional cost to NJPA Members for using this process?

If the P-card is associated with one of the major charge card issuers, then the P-card can be used for parts and service at multiple dealerships.

Warranty

- 5) Describe in detail your manufacturer warranty program, including conditions and requirements to qualify, claims procedure, and overall structure. You may include in your response a copy of your warranties, but at a minimum please also answer the following questions.

Full description of our one year warranty is provided in manufacturer Warranty Statements.

See attachment Form P-5.1.

Extended warranties are available.

- Do your warranties cover all products, parts, and labor?

All materials and labor are covered as described in manufacturer Warranty Statements.

See attachment Form P-5.1.

- Do your warranties impose usage restrictions or other limitations that adversely affect coverage?

Standard Warranty is subject to one full year or 1,000 hours, whichever comes first as described in Manufacturer Warranty Statements. Extended warranties for parts and/or labor are available for a variety of terms and hours.

- Do your warranties cover the expense of technicians' travel time and mileage to perform warranty repairs?

The Standard warranty repair or replacement must be made at the dealer location as described in manufacturer Warranty Statements. Extended warranties and preventative maintenance programs are available that would include some travel time.

- Are there any geographic regions of the United States for which you cannot provide a certified technician to perform warranty repairs? How will NJPA Members in these regions be provided service for warranty repair?

We have the facilities and technicians available to perform warranty throughout the entire United States and Canada.

- Will you cover warranty service for items made by other manufacturers that are part of your proposal, or are these warranties issues typically passed on to the original equipment manufacturer?

Warranties will be passed on to the original equipment manufacturer.

- What are your proposed exchange and return programs and policies?

Vermeer routinely accepts trade-ins for new equipment. The value for a specific piece can be discussed with a member and their local Vermeer representative. With the warranty we provide combined with a member's ability to try and/or see a piece of equipment operate in their local area, the need for simply returning or exchanging a product is not generally applicable to the type of equipment we deliver.

- 6) Describe any service contract options for the items included in your proposal.

Service contracts are available for purchase. It is marketed as Confidence Plus[®] with standard, base, and premium coverage options.

See attachment Form P-6.1.

Pricing, Delivery, Audits, and Administrative Fee

- 7) Provide a general narrative description of the equipment/products and related services you are offering in your proposal.
- 8) Describe your pricing model (e.g., line-item discounts or product-category discounts). Provide detailed pricing data (including standard or list pricing and the NJPA discounted price) on all of the items that you want NJPA to consider as part of your RFP response. Provide a SKU for each item in your proposal. (Keep in mind that reasonable price and product adjustments can be made during the term of an awarded Contract. See the body of the RFP and the Price and Product Change Request Form for more detail.)

Vermeer is offering percentage discounts from our stated list prices. For the equipment in the Public Utility Equipment RFP, the discounts are up to 14%. NJPA's discount is noted within the folder name of each product category that contains the pricing templates. There is a pricing template for each model that incorporates the appropriate and stated discount for each unit and options for each model. The pricing templates utilize model numbers and sales codes rather than SKU numbers.

Each pricing template includes a line item for freight. A Freight Matrix is included with our pricing files. The Freight Matrix is broken out by Zone and Machine for each Vermeer product. In order to determine total price, the Vermeer dealer will utilize the discounted list price on the pricing template and the freight matrix. By supplying both product price and freight as part of the "bid price", the member will be able to have full assurance of contracted pricing eliminating all the potential "gray area" for the Purchasing Officer

This is the same system that has been used, and refined, for the past eight years. To date, based on feedback from our contract administrator, the use of these templates works well for NJPA and their members. We will continue to work with NJPA to refine this method if needed.

See attachment Form P-8.1 for pricing templates and freight matrix.

- 9) Please quantify the discount range presented in this response. For example, indicate that the pricing in your response represents is a 50% percent discount from the MSRP or your published list.

The breakdown of specific discounts per product group are detailed within the folder name of each product category that contains the pricing templates. Please see the folders in attachment Form P-8.1 for a complete detailed list of discounts. For most of Vermeer equipment utilized by NJPA and its members, the discount is up to 14%. It is important to note that Vermeer utilizes one pricing system which is not inflated. Vermeer does not have a separate list price which includes higher prices for government entities or for discounting purposes. We have used the same process for establishing list prices for many decades.

10) The pricing offered in this proposal is

- a. the same as the Proposer typically offers to an individual municipality, university, or school district.
- b. the same as the Proposer typically offers to GPOs, cooperative procurement organizations, or state purchasing departments.
- c. better than the Proposer typically offers to GPOs, cooperative procurement organizations, or state purchasing departments.
- d. other than what the Proposer typically offers (please describe).

11) Describe any quantity or volume discounts or rebate programs that you offer.

Quantity discounts may apply when a large quantity of units are being ordered at one time. Please contact the appropriate Vermeer Dealer or the Vermeer Corporate Accounts Department to discuss.

12) Propose a method of facilitating "sourced" products or related services, which may be referred to as "open market" items or "nonstandard options". For example, you may supply such items "at cost" or "at cost plus a percentage," or you may supply a quote for each such request.

Cost Plus up to 18% trailers

Cost Plus up to 35% all other items

13) Identify any total cost of acquisition costs that are **NOT** included in the pricing submitted with your response. This cost includes all additional charges that are not directly identified as freight or shipping charges. For example, list costs for items like installation, set up, mandatory training, or initial inspection. Identify any parties that impose such costs and their relationship to the Proposer.

Equipment Parts-Vermeer Corporation at 1210 Vermeer Road East in Pella, Iowa is the sole source manufacturer of Vermeer Genuine Parts. The Vermeer dealership network is the sole source distributor for genuine Vermeer parts that are recommended for use on all equipment. The pricing should not exceed the suggested list price.

RDO Vermeer Pacific in California, which is part of the Vermeer dealership network includes the following additional charges:

CARB registration fee for any unit with a 50 hp engine and over. CARB is California Air Resources Board. This is government mandated. The dealership begins the registration process as soon as they can because the machine has to sit until the registration process is complete or there is risk of being issued a citation.

Tire tax of \$1.75 per tire. This is required for anything with tires.

Registration fee for units that have to be licensed and plated. This is done as a courtesy to the customer. If a customer prefers to take responsibility for this on their own, then the dealer does not charge a registration fee.

14) If delivery or shipping is an additional cost to the NJPA Member, describe in detail the complete shipping and delivery program.

We have provided a freight matrix which includes any applicable freight costs. For those products that are more specialized in nature, we included a maximum freight rate as a way to provide the NJPA member with a check point and a not to exceed amount. The total price for each piece of equipment is determined by using the iscounted model price in conjunction with the zone based freight matrix. Delivery is included in this total price for each unit.

15) Specifically describe those shipping and delivery programs for Alaska, Hawaii, Canada, or any offshore delivery.

We have Vermeer dealerships covering Alaska, Hawaii, Canada, as well as throughout the globe. The Vermeer dealer works with Vermeer Corporation's logistics team to ship the product from the manufacturing plant to their location. The dealer then preps and delivers the equipment to the customer.

16) Describe any unique distribution and/or delivery methods or options offered in your proposal.

Due to the nature of our product and business model, Vermeer is set up to distribute and deliver through the Vermeer dealership network. The service, longevity, and expertise of this dealership network along with the relationship with Vermeer Corporation is what makes it a unique distribution channel. Having a zoned freight matrix is something Vermeer does specific for NJPA.

17) Please specifically describe any self-audit process or program that you plan to employ to verify compliance with your proposed Contract with NJPA. This process includes ensuring that NJPA Members obtain the proper pricing, that the Vendor reports all sales under the Contract each quarter, and that the Vendor remits the proper administrative fee to NJPA.

Each dealer receives funding from Vermeer Corporation for products sold and delivered to NJPA members. To receive this funding the dealer must submit paperwork to the Vermeer Corporate Accounts Department (specifically to Shelly Larson and Jodi Schnell), stating the NJPA program was utilized and who the purchasing member is. This paperwork along with submitted equipment registration is used as an accounting tool and in our audit process. Vermeer Corporation supplies marketing materials and schedules training sessions, allowing Vermeer to educate the Vermeer Dealers in the proper use and promotion of the NJPA program.

18) Identify a proposed administrative fee that you will pay to NJPA for facilitating, managing, and promoting the NJPA Contract in the event that you are awarded a Contract. This fee is typically calculated as a percentage of Vendor's sales under the Contract or as a per-unit fee; it is not a line-item addition to the Member's cost of goods. (See RFP Section 6.29 and following for details.)

Vermeer Corporation is proposing a 1.4% administrative fee to be paid to NJPA when reporting quarterly sales.

Industry-Specific Questions

19) Describe how the equipment you propose in response to this RFP simplifies the operation for end-users.

Drills- Series 3 (Speed, Sound, Simplicity)

- 1. focus on increasing speed of machine (carriage speed, rotation speed, tracking speed)**
- 2. focus on engine shielding and cooling package to reduce sound at operator's ear**
- 3. focus on making the machines as easy to run as possible**

Common Machine Controls- if an operator is used to running any of our drills they can comfortably run a larger or smaller drill with limited training

Aurora Touchscreen Display- both locating and drilling display in clear view of the operator

Marine grade controls- eliminates rocker switches. All non-drilling functions are located on one key pad

Dial control- operator can easily change drill settings using dial located on control station

Variety of Rod Options- right tool for the job

Excavator style cabs for greater comfort and legroom

Narrow Width drills to access small and limited job site openings

Ride-on Tractors

Integrated system display allows monitoring of machine functions

Common controls across the trencher lineup providing better training, efficiency and productivity

Large fuel tanks for increased productivity on the job

Interchangeable axle hubs allowing a change from tracks to rubber tires

20) Provide examples from your product offering that are not available from most competitors in this industry.

Drills

Bolt-on rack and pinion for easy change-out

CanBus system for onboard diagnosis

Dual screen display options

Pre and post planning tools providing detail reports making the job more efficient

Marine grade controls for all weather conditions

One piece forged drill rod for added strength and durability

Ride-On Tractors

"Auto Creep" is a Vermeer exclusive feature monitoring engine speed and maintaining the correct load for production.

Quad tracks are available on all ride-on tractors from the RTX450 to the RTX1250.

21) Explain how your equipment in this category reduces down-time on the job site.

Drills

Can Bus system- to display fault codes and onboard diagnosis to identify what parts are needed to fix the issue

Commonality of parts- focus on using common components which makes it so our service techs are used to working on components even on new machines, which decreases diagnostic time

Vise Logic- helps to decrease stresses on the drill rods due to improper operation

Bolt-on rack and pinion- easily change out rack and pinion rather than having to break welds

Ride-On Tractors

Heavy Duty axle options for increased durability

Quad track options allow for more flotation and higher tractive effort

Detailed descriptions of fault codes on the DP10 digital display enabling the technician to have the appropriate parts for the initial service call.

22) Explain how your company has integrated technology into your equipment to provide efficiencies and analytics to save time and costs on the job.

Drills

CanBus system for onboard diagnosis

Dual screen display options

Ride-On Tractors

Auto Creep uses the computer to maintain the ideal engine load, consistently for maximum production. Trench Sense monitors engine speed and overrides the controls automatically to help reduce engine stalls and hydraulic pressure spikes.

Automatic applied and released parking brakes allow for safe operations and reduce operator error of driving through the brakes.

Productivity Tools

Vermeer offers integrated on rig telematics (Vermeer Fleet) options across the Series 3 drill line-up. Vermeer Fleet provides fleet managers equipment GPS location to efficiently locate and route equipment and crews to the jobsite. Vermeer Fleet identifies planned maintenance schedules and captures completed services, while displaying idle times and fuel consumed. Vermeer Fleet also helps managers identify operating expense reduction opportunities and prompts them to take action on a machine with maintenance alert notifications and fault diagnostic codes.

Advanced telematics (Vermeer Fleet +Edge) available on the D23x30S3, D24x40S3 and D40x55S3 help increase job productivity by managing and analyzing operational data. With this tool you can capture near real-time machine data, such as mud flow, thrust and pullback force and rotational torque on a rod-by-rod basis. Operations and fleet managers can review machine information at any point in time during or after a drilling operation to help improve the performance of the equipment and crews.

Vermeer Projects, a mobile bore planning and as-built collection tool, allows users to capture utility locations and depths in a GIS environment and plan a bore path designed to avoid buried utilities and obstacles. This bore plan can be exported from Vermeer Projects and uploaded to Vermeer BoreAssist on the DCI Aurora display. Vermeer BoreAssist allows users to view the bore plan profile and rod-by-rod plan on the rig as well as actual depth and pitch recordings as they are recorded on the locator. Users can view bore path progress and use the information provided in BoreAssist to make bore path corrections during the bore.

23) How does your manufacturing process eliminate waste and non-value added options to keep price increases to a minimum?

In order to eliminate waste from our manufacturing processes, we first need to teach our team members what waste looks like (the 8 common wastes in any process) and what value added and non-value added activities are. Once they are equipped with this knowledge we empower them to eliminate waste through the kaizen methodology and tools. This can take place during their day to day work or during a formal kaizen event. The methodology includes understanding our current state and problem identification through the eyes of the team member or the customer of a process. As we eliminate waste from our processes, we become safer, more productive and produce better quality. All of these things contribute to the cost of our product.

The same methodology applies to product development. We strive to understand customer needs or the problems they are experiencing and then develop a solution to meet that need. If we developed options or products that don't help our customers solve a problem we are consuming resources without a purpose, which would be introducing waste in to our business.

Similar to our internal process improvement, we want our customers to be safe, productive and do quality work so we look at how our products function and serve their intended purpose.

24) Explain how your distributors are set up to provide service and support for equipment in this industry.

Vermeer aims to provide each customer with a differentiated, highly personalized experience consistently through the robust dealer network with locations to cover the United States and Canada.

See attachments: Form A 18.1 & 18.2

From selecting the right equipment, to training operators, to providing the parts and service needed, Vermeer dealerships give our customers the localized support and confidence to get the job done while maximizing productivity, whether it's on the jobsite or in the field.

Support is far from over following the initial sale. Equipping customers with the right parts at the right time to keep yellow iron working productively is a top priority. Vermeer delivers additional business confidence through enhanced support and parts availability. Customers can feel confident knowing there is a partner nearby, whose goal is to be their equipment dealer of choice.

25) Identify how your products, services and supplies address the scope of this RFP.

The need for clean water, faster communication and reliable access to electricity requires a range of equipment that can work in the most rural, remote areas and the most congested, populous cities, in a range of ground conditions -- from hard rock to clay to cobble.

Anticipating the variety of conditions in which installation of these vital utilities are performed, Vermeer offers a comprehensive and high-quality product offering, including horizontal directional drills, guided boring systems, trenchers, vibratory plows, rockwheels, piercing tools and vacuum excavators, as well as a range of tooling, accessories, and support equipment ready to see you through the most challenging jobs.

Signature: _____

Chad Tawsey

Date: _____

1-22-18