



CITY COMMISSION

AGENDA

(*REVISED – 6/11/2020)

CITY HALL COMMISSION CHAMBERS

300 W. Plant Street
Winter Garden, Florida

REGULAR MEETING

June 11, 2020

6:30 p.m.

CALL TO ORDER

Determination of a Quorum

Opening Invocation and Pledge of Allegiance

1. APPROVAL OF MINUTES

Regular Meeting Minutes – May 28, 2020

2. FIRST READING AND PUBLIC HEARING OF PROPOSED ORDINANCES

- A. **Ordinance 19-26:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 8.95 ± ACRES LOCATED AT 12920 REAVES ROAD, ON THE NORTHWEST CORNER OF REAVES ROAD AND STONEYBROOK WEST PARKWAY, INTO THE CITY OF WINTER GARDEN, FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- B. **Ordinance 19-27:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 8.95 ± ACRES LOCATED AT 12920 REAVES ROAD, ON THE NORTHWEST CORNER OF REAVES ROAD AND STONEYBROOK WEST PARKWAY, FROM ORANGE COUNTY RURAL TO CITY MEDIUM DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- C. **Ordinance 19-28:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 1.80 ± ACRES LOCATED AT 12921 REAVES ROAD, ON THE NORTHEAST CORNER OF REAVES ROAD AND STONEYBROOK WEST PARKWAY, INTO THE CITY OF WINTER GARDEN, FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- D. **Ordinance 19-29:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.80 ± ACRES LOCATED AT 12921 REAVES ROAD, ON THE NORTHEAST CORNER OF REAVES ROAD AND STONEYBROOK WEST PARKWAY, FROM ORANGE COUNTY RURAL TO CITY MEDIUM DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- E. **Ordinance 19-30:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 10.75 +/- ACRES OF LAND GENERALLY LOCATED AT 12920 & 12921 REAVES ROAD ON THE NORTHWEST AND NORTHEAST CORNERS OF REAVES ROAD AND STONEYBROOK WEST PARKWAY, FROM ORANGE COUNTY A-1 (AGRICULTURAL) AND R-CE-2 (RURAL RESIDENTIAL) TO CITY PUD (PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE STONEYBROOK SENIOR LIVING PUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
(Staff requests postponement to a date uncertain) – Community Development Director Pash
- F. **Ordinance 20-19:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.07 +/-

ACRES OF LAND GENERALLY LOCATED AT 199 S MAIN STREET AND 158 S WOODLAND STREET ON THE NORTHEAST CORNER OF S MAIN STREET AND E SMITH STREET, FROM C-1 (CENTRAL COMMERCIAL DISTRICT) TO PUD PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE SMITH STREET LUXURY STUDIOS PUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE (**Staff requests postponement to a date uncertain**) – **Community Development Director Pash**

- G. **Ordinance 20-23:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING AND REPLACING ORDINANCE 18-09 GENERALLY KNOWN AS THE WEST MARKET PCD PERTAINING TO THE 18.25 +/- ACRE PROPERTY GENERALLY LOCATED SOUTH OF WEST COLONIAL DRIVE, WEST OF SOUTH PARK AVENUE, AND NORTH OF SAND LIME ROAD; AMENDING THE WEST MARKET PCD TO ALLOW AN AUTOMOTIVE SERVICE CENTER AND BANK WITH DRIVE-THRU AS PERMITTED USES, AMENDING THE DEVELOPMENT PLAN AND OTHER DEVELOPMENT RESTRICTIONS; PROVIDING FOR NONSEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE - (**Second reading and public hearing June 25, 2020**) – **Community Development Director Pash**

3. **SECOND READING AND PUBLIC HEARING OF PROPOSED ORDINANCES**

- A. **Ordinance 19-47:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.58 ± ACRES LOCATED AT S PARK AVENUE, NORTH OF W PLANT STREET, WEST OF S PARK AVENUE, AND SOUTH OF W BAY STREET, FROM NO FUTURE LAND USE TO MEDIUM DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- B. **Ordinance 19-48:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.91 +/- ACRES OF LAND GENERALLY LOCATED AT 30 N PARK AVENUE AND S PARK AVENUE, NORTH OF WEST PLANT STREET, WEST OF N/S PARK AVENUE, AND SOUTH OF W BAY STREET, FROM R-2 (RESIDENTIAL) AND NZ (NO ZONING) TO PUD (PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE 30 NORTH PARK PUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE – **Community Development Director Pash**
- C. **Ordinance 20-20:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE FUTURE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 6.01 ± ACRES LOCATED AT 1577 & 894 BEARD ROAD, WEST OF BEULAH ROAD, EAST OF 9TH STREET, AND SOUTH OF BEARD ROAD FROM LOW DENSITY RESIDENTIAL TO COMMERCIAL; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE
- D. **Ordinance 20-21:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 6.01 ± ACRES LOCATED AT 1577 & 894 BEARD ROAD, WEST OF BEULAH ROAD, EAST OF 9TH STREET, AND SOUTH OF BEARD ROAD, FROM R-1 (RESIDENTIAL DISTRICT) TO PCD (PLANNED COMMERCIAL DEVELOPMENT); PROVIDING FOR CERTAIN PCD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE WINTER GARDEN SELF STORAGE PCD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE – **Community Development Director Pash**

4. **REGULAR BUSINESS**

- A. Recommendation to approve **SITE PLAN** for 1905 Avalon Road (Belle Meade Commercial Outparcel 2) – **Community Development Director Pash**
- B. Recommendation to approve Amendment No. 2 to Meter Replacement Services Agreement with Utility Solutions of America, Inc., through an existing piggy-back contract with the City of Callaway, Florida and authorize the issuance of purchase order to Core & Main for the purchase of the water meters, transmitters and lids for a total project cost of \$1,037,736.00 which includes a 5% contingency – **Assistant City Manager of Public Services Williams**

- C. *Recommendation to approve awarding contract to TD Thomson, Inc. for embankment stabilization along Teacup Springs drainage canal in the amount of **\$27,039.10** which includes a 10% contingency – **Assistant City Manager of Public Services Williams**
- D. *Discussion on Saturday’s Event in front of City Hall – **City Manager Bollhoefer**

5. **MATTERS FROM PUBLIC** – *(Limited to 3 minutes per speaker)*

6. **MATTERS FROM CITY ATTORNEY** - Kurt Ardaman

7. **MATTERS FROM CITY MANAGER** – Mike Bollhoefer

8. **MATTERS FROM MAYOR AND COMMISSIONERS**

ADJOURN to **Regular Meeting** on Thursday, **June 25, 2020** at **6:30 p.m.** in City Hall Commission Chambers, 300 W. Plant Street, 1st floor

NOTICES:

In accordance with Florida Statutes 286.0105, if any person decides to appeal any decision made by said body with respect to any matter considered at such meeting, he/she will need a record of the proceedings and, for that purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Winter Garden does not prepare or provide such record.

Any opening invocation that is offered before the official start of the Commission meeting shall be the voluntary offering of a private person, to and for the benefit of the Commission. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Commission or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Commission meeting are invited to stand during the opening invocation and to stand and recite the Pledge of Allegiance. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Commission Chambers or exit the City Commission Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance. (Reference Resolutions 15-04 and 16-02)

	Those needing assistance to participate in any of these proceedings should contact the City Clerk's Office at least 48 hours in advance of the meeting (407) 656-4111 x2297.		Help for the hearing impaired is available through the Assistive Listening System. Receivers can be obtained at the meeting from the Information Technology Department (407) 656-4111 x5455.
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CITY OF WINTER GARDEN

CITY COMMISSION REGULAR MEETING MINUTES

May 28, 2020

A **REGULAR MEETING** of the Winter Garden City Commission was called to order by Mayor Rees at 6:30 p.m. at City Hall, 300 West Plant Street, Winter Garden, Florida. An Opening Invocation and Pledge of Allegiance given.

Present: Mayor John Rees and Commissioners

Lisa L. Bennett – District 1

Bob Buchanan – District 2

Mark A. Maciel – District 3

Colin Sharman – District 4

Also Present: City Manager Mike Bollhoefer, City Attorney A. Kurt Ardaman, City Clerk Angee Grimmage, Assistant City Manager of Administrative Services Frank Gilbert, Assistant City Manager of Public Services Jon Williams, Community Development Director Stephen Pash, Information Technology Director Chad Morrill, Fire Chief Matt McGrew

1. **APPROVAL OF MINUTES**

Motion by Commissioner Buchanan to approve regular meeting minutes of May 14, 2020 as submitted. Seconded by Commissioner Bennett and carried unanimously 5-0.

(Addressed at this point in the meeting: Agenda Items 3.C, 2.A and 2.B, respectively.)

2. **FIRST READING AND PUBLIC HEARING OF PROPOSED ORDINANCES**

- A. **Ordinance 19-47:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.58 ± ACRES LOCATED AT S PARK AVENUE, NORTH OF W PLANT STREET, WEST OF S PARK AVENUE, AND SOUTH OF W BAY STREET, FROM NO FUTURE LAND USE TO MEDIUM DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- B. **Ordinance 19-48:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.91 +/- ACRES OF LAND GENERALLY LOCATED AT 30 N PARK AVENUE AND S PARK AVENUE, NORTH OF WEST PLANT STREET, WEST OF N/S PARK AVENUE, AND SOUTH OF W BAY STREET, FROM R-2 (RESIDENTIAL) AND NZ (NO ZONING) TO PUD (PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE 30 NORTH PARK PUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

Community Development Director Pash stated that the applicant for 30 North Park Avenue is requesting acquisition of the 0.58± acres of land from the City. He displayed a map, described the size of the property, and noted the applicant's need for the land in the proposed planned development of nine town homes, parking lot and pond area. He described some of the other proposed improvements and the need for relocating a

sanitary force main and reclaimed water line at an estimated cost of \$235,000. Mr. Pash described details in the agreement, noted that this actually gives them the land and recognized City Manager Bollhoefer to offer further details.

City Manager Bollhoefer explained there is actually no sale amount listed for this land because the sale would be an amount of zero dollars. The City wants the developer to put all of their funds into the development of the project. He described how paying those relocation costs plus a sale amount would drive up the numbers, thereby jeopardizing the quality of the construction. He further expressed that the property, which the City received at no cost, would have a return on this investment in the area of tax revenue for years to come.

There was discussion on the land, gifted by the railroad, only has value when connected to the other land and how by itself, there is no value.

City Manager Bollhoefer explained the reason for moving this agenda item before the zoning hearing, noting that without this agreement, the zoning is moot.

Mr. Bollhoefer also noted onerous language included in the agreement allowing reversion of the land back to the City under certain circumstances. Community Development Director Pash added that this is why the cash escrow of \$235,000 was included, for relocation of the pipes in the event the work was not completed.

Community Development Director Pash explained the zoning by describing the total size of the combined properties to rezone from planned unit development. Also, change of the future land use from no future land use to medium density residential. He described the development, design guideline changes to a section from 1,000 square feet to 2,000 square feet. Staff recommends approval of Ordinance 19-47 and 19-48 with the proposed changes as noted.

Mayor Rees noted that the Purchase and Sale Agreement does not require a public hearing; however, the ordinances will. Therefore, he consulted with City Attorney Ardaman on the reading of the ordinance, as they all tied in together.

City Attorney Ardaman read Ordinance 19-47 and 19-48 by title only.

Mayor Rees questioned building height, buffering, trees, and visibility. Mr. Pash responded that the trees would come down, replacements provided and there would be additional landscaping. Discussion ensued regarding the need for a buffer, the building's height, existing trees that would remain and their location. They discussed an aerial view of the location and noted some trees at the adjacent apartment.

Mayor Rees opened the public hearing; reading a dedicated phone number and instructions for the public's participation in this meeting. After waiting several minutes and receiving no public calls or comments, he closed the public hearing.

Motion by Commissioner Bennett to approve Ordinance 19-47 and 19-48 with the proposed changes as noted and with a second reading and public hearing June 11, 2020. Seconded by Commissioner Maciel and carried unanimously 5-0.

- C. **Ordinance 20-20:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE FUTURE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 6.01 ± ACRES LOCATED AT 1577 & 894 BEARD ROAD, WEST OF BEULAH ROAD, EAST OF 9TH STREET, AND SOUTH OF BEARD ROAD FROM LOW DENSITY RESIDENTIAL TO COMMERCIAL; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE
- D. **Ordinance 20-21:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 6.01 ± ACRES LOCATED AT 1577 & 894 BEARD ROAD, WEST OF BEULAH ROAD, EAST OF 9TH STREET, AND SOUTH OF BEARD ROAD, FROM R-1 (RESIDENTIAL DISTRICT) TO PCD (PLANNED COMMERCIAL DEVELOPMENT); PROVIDING FOR CERTAIN PCD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE WINTER GARDEN SELF STORAGE PCD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

City Attorney Ardaman read Ordinances 20-20 and 20-21 by title only. Community Development Director Pash stated that this is an application to change the future land use from low density residential to commercial. He also noted that this rezones the approximately 6.01 ± acre property from R-1 to planned commercial development for a self-storage facility. He described the proposed development and other land improvements. He disclosed that a community meeting had been held and discussions included the corner, the S-Curve in Beard Road, sidewalks, as well as potential environmental easements. He noted building of the proposed development on the upland portion only, having no impact on the wetlands. He expressed that unfortunately, there is insufficient right-of-way to make changes to the S-curve, meaning it will remain the same. Staff recommends approval of Ordinances 20-20 and 20-21.

Commissioner Sharman asked if the Planning and Zoning Board voted unanimously in favor of this item. Mr. Pash responded yes.

Commissioner Maciel inquired whether the small piece on the S-curve, containing the mobile homes, was Orange County. Mr. Pash responded that this is part of the development and is in the City and that it would remain.

Commissioner Bennett noted that historically storage units have less impact on traffic than other possible uses that could go on the property. Mr. Pash agreed, stating that this is correct. City Manager Bollhoefer noted that storage facilities have the least amount of traffic of any project and noted that the discussion regarding this was that it faces the turnpike and puts the least amount of burden on existing infrastructure.

Mayor Rees opened the public hearing; reading a dedicated phone number and instructions for the public's participation in this meeting.

Ron Mueller, 709 Lake Cove Pointe Circle, Winter Garden, Florida, spoke of debated discussions held at the Planning and Zoning meeting regarding the property. He stated that it is not consistent with the surrounding area and voiced opposition to this type of business at this location. He encouraged a review between now and the second hearing.

City Manager Bollhoefer noted that the Planning and Zoning Board did debate this issue and in their final determination, after hearing all the facts, voted unanimously. Mr. Bollhoefer informed that residential would not be the highest and best use for this location due to its proximity to the turnpike; describing it as ideal for a storage unit. He addressed the areas current speeding issues; noting this as the reason the S-curve should not change. The development having no impact on the wetlands and some undevelopable areas also discussed.

Mr. Mueller mentioned another discussion of the Planning and Zoning Board was regarding other options for the property.

After waiting several minutes and receiving no public calls or comments, he closed the public hearing.

Mayor Rees noted Beard Road would be a challenge going forward and he described the area.

Motion by Commissioner Maciel to approve Ordinance 20-20 and 20-21 with a second reading and public hearing scheduled for June 11, 2020. Seconded by Commissioner Bennett and carried unanimously 5-0.

3. **REGULAR BUSINESS**

A. Recommendation to approve SITE PLAN for 1200 Daniels Road (Daniels Road Business Park), subject to conditions

Community Development Director Pash noted that this is the site plan for 1200 Daniels Road. He noted a past reviewed and denial due to impact on the wetlands and the need to save them. He shared that the applicant returned with a revised set of plans. He described that it has two single story office and retail buildings, as well as two two-story commercial buildings; a total of 65,000 square feet. He described other proposed

improvements and noted the saving of the wetlands as requested in the past. He informed of the project's review and approval by the Development Review Committee (DRC) and staff, who recommend approval, subject to the conditions in the DRC report.

Mayor Rees inquired about the development's access and the challenges it would bring to already challenged areas. City Manager Bollhoefer acknowledged this would be a challenge and described a solution of the cut-through road at the church allowing options for those wanting to go northbound. Discussion ensued on the challenges and safe alternatives.

Motion by Commissioner Buchanan to approve site plan for 1200 Daniels Road (Daniels Road Business Park), subject to conditions. Seconded by Commissioner Maciel and carried unanimously 5-0.

B. Recommendation to approve SITE PLAN for 504 West Plant Street (504 Building), subject to conditions

Community Development Director Pash noted this as the site plan review for 504 West Plant Street. He informed of the proposal to develop a two-story, approximately 10,000 square foot office building. The property is zoned Planned Commercial Development (PCD). He noted a change from on street parking to parking within the property, using the property at Smith Street and Park Avenue for overflow. He informed of the project's review and approval by the Development Review Committee (DRC) and staff, who recommend approval, subject to the conditions in the DRC report.

City Manager Bollhoefer noted that staff really liked the parking on Plant Street and on Park Avenue. He explained the issues this would cause and the reason for choosing other options for traffic control. Discussion ensued on areas for parking. Commissioner Bennett asked if there was ingress and egress on Park, as well as Plant Street. Mr. Pash responded that it is only on Park Avenue.

Motion by Commissioner Bennett to approve the site plan for 504 West Plant Street (504 Building), subject to conditions. Seconded by Commissioner Sharman and carried unanimously 5-0.

C. Recommendation to approve Purchase and Sale Agreement for a portion of 30 North Park Avenue (City Property)

This item addressed earlier in the meeting with items 2.A and 2.B.

Motion by Commissioner Buchanan to approve the Purchase and Sale Agreement for a portion of 30 North Park Avenue (City Property). Seconded by Commissioner Maciel and carried unanimously 5-0.

4. **MATTERS FROM PUBLIC** – There were no items.

Mayor Rees opened the public hearing; reading a dedicated phone number and instructions for the public's participation in this meeting. After waiting several minutes and receiving no public calls or comments, he closed the public hearing.

5. **MATTERS FROM CITY ATTORNEY** – There were no items.

6. **MATTERS FROM CITY MANAGER**

City Manager Bollhoefer gave updates regarding the changes due to the COVID-19 Coronavirus. He informed of reopening the day camp and noted the pool would reopen using appointment time blocks for safety.

Mr. Bollhoefer noted that the City has followed the Governor's executive orders relating to the virus with the one exception of hours of operation for restaurants. He indicated receiving a request for the City to follow State guidelines. Mr. Bollhoefer suggested reverting to the City's normal business hours and discussion ensued on the restaurants open until 2:00 a.m. and returning to the City's ordinance. Mr. Bollhoefer noted that this is for restaurants; however, the City only has one bar that always closed before midnight.

Commissioner Bennett sought clarification on the request and Commissioner Buchanan inquired if this was for the historic district. Mr. Bollhoefer advised that the City Commission could make in-district regulations if they so desired; however, this request is for everyone. He suggested revisiting the issue if desired on a permanent basis.

Motion by Commissioner Sharman for the City to revert to its regular hours for restaurants. Seconded by Commissioner Maciel and carried unanimously 5-0.

Supplies in Chambers

City Manager Bollhoefer apologized regarding supplies in the chambers and indicated that they were for the food drop-offs, done in partnership with Lakeside Church, noting also church volunteers from East Winter Garden who assisted with food deliveries.

Cessation of Hot Meal Delivery

Mr. Bollhoefer informed of the cessation of hot meal deliveries due to dietary restrictions of the recipients.

7. **MATTERS FROM MAYOR AND COMMISSIONERS**

Commissioner Maciel thanked staff and the first responders for their efforts, noting the great feedback received from residents.

Commissioner Buchanan shared an update received from a resident regarding Friends of Lake Apopka and the West Orange Trail System around Lake Apopka. He noted that it was quite refreshing to hear about how they are still working and partnering efforts with Orange County. He encouraged the City Commission receiving an update at some point.

Commissioner Buchanan thanked staff and noted the efforts in the downtown area to keep us all safe.

Commissioner Bennett noted receiving expressed gratitude and compliments on efforts made in the downtown. She spoke of the tables, efforts with the farmers market with hand washing stations. She acknowledged every effort in keeping our citizens safe, and active and as well as supporting the City's economy. She expressed her thanks.

Mayor Rees thanked the City and the American Legion for its Memorial Day celebration. He commented on the good turnout even though in the rain, the social distancing and noted that this event reminded him of Mr. Graham.

The meeting adjourned at 7:17 p.m.

APPROVED:

Mayor John Rees

ATTEST:

City Clerk Angee Grimmage, CMC

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: June 2, 2020

Meeting Date: June 11, 2020

Subject: 12920 & 12921 Reaves Road
Stoneybrook Senior Living PUD
Ordinance 19-26
Ordinance 19-27
Ordinance 19-28
Ordinance 19-29
Ordinance 19-30
PARCEL ID # 35-22-27-0000-00-023 & 36-22-27-1773-00-060

Issue: For property located at 12920 & 12921 Reaves Road, the applicant is requesting to annex into the City, amend the future land use designation from Orange County Rural to City MR Medium Density Residential, and rezone the property from Orange County A-1 and R-CE-2 to PUD (Planned Unit Development).

Discussion:

The City encourages infill of its jurisdictional limits through voluntary annexation of enclaves. The applicant is requesting to annex the +/- 10.75 acre property located at 12920 & 12921 Reaves Road, change the future land use designation to Medium Density Residential, and rezone the property to PUD in order to permit the proposed development. The proposed development includes a 3 story independent living building and a two story assisted living building as well as 10 detached 2-car garage buildings and associated site development such as recreation areas and stormwater infrastructure. Several new requirements to address surrounding resident concerns were added to the PUD after the project was tabled at the October 10, 2019 City Commission Meeting. The proposed annexation, FLU amendment, and rezoning are consistent with the City's Comprehensive Plan and the City's Code of Ordinances (See attached Staff Report).

Recommended Action:

Staff recommends postponement to a date uncertain.

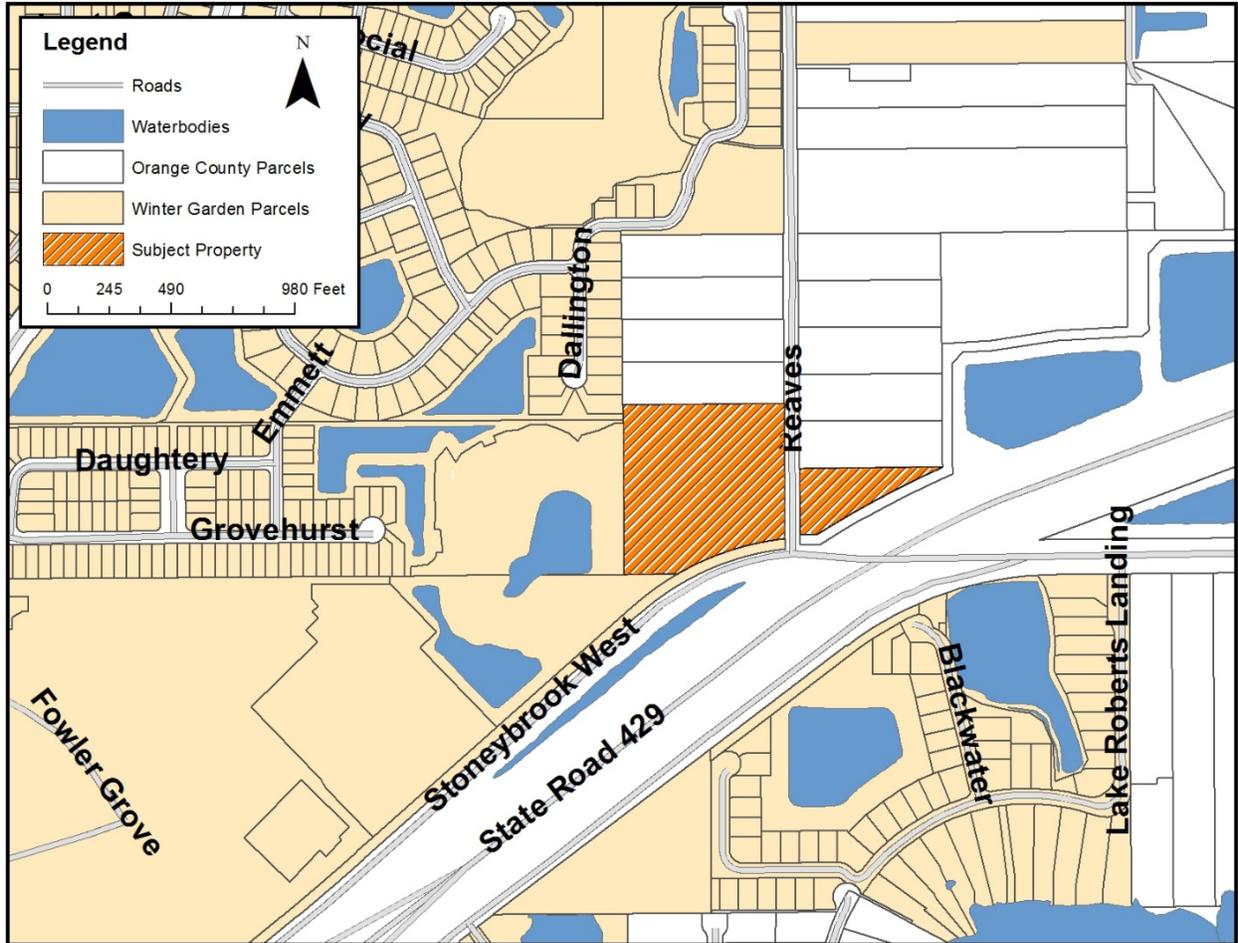
Attachment(s)/References:

Location Map
Ordinance 19-26
Ordinance 19-27
Ordinance 19-28
Ordinance 19-29
Ordinance 19-30
Staff Report

LOCATION MAP

12920 & 12921 Reaves Road

Annexation, FLU Amendment, & PUD Rezoning



ORDINANCE 19-26

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 8.95 ± ACRES LOCATED AT 12920 REAVES ROAD, ON THE NORTHWEST CORNER OF REAVES ROAD AND STONEYBROOK WEST PARKWAY, INTO THE CITY OF WINTER GARDEN, FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of the land, generally described as approximately 8.95 ± acres located at 12920 Reaves Road, on the northwest corner of Reaves Road and Stoneybrook West Parkway and legally described in Section 2 of this Ordinance, which land is reasonably compact and contiguous to the corporate limits of the City of Winter Garden, Florida (“City”), has, pursuant to the prerequisites and standards set forth in § 171.044, Fla. Stat., petitioned the City Commission for voluntary annexation;

WHEREAS, the petition for voluntary annexation referenced herein bears the signatures of all owners of the property or properties described in Section 2 of this Ordinance (*i.e.*, the property or properties to be annexed); and

WHEREAS, the City has determined that the property described in Section 2 of this Ordinance is located in an unincorporated area of the County and that annexation of such property will not result in the creation of an enclave.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Annexation.* That the City Commission through its Planning and Zoning Board has conducted an investigation to determine whether the described property meets the prerequisites and standards set forth in Chapter 171, Fla. Stat. and has held a public hearing and said petition and made certain findings.

SECTION 2: *Description of Area Annexed.* That, after said public hearing and having found such petition meets said prerequisites and standards, the property legally defined in ATTACHMENT “A” and graphically shown in ATTACHMENT “B” shall be annexed into the City of Winter Garden, Florida.

SECTION 3: *Effect of Annexation.* That the City of Winter Garden, Florida, shall have all of the power, authority, and jurisdiction over and within the land as described in Section 2 hereof, and the inhabitants thereof, and property therein, as it does and have over its present corporate limits and laws, ordinances, and resolutions of said City shall apply and shall have equal force and effect as if all territory had been part of said City at

the time of the passage of such laws, ordinances, and resolutions.

SECTION 4: *Apportionment of Debts and Taxes.* Pursuant to § 171.061, Fla. Stat., the area annexed to the City shall be subject to all taxes and debts of the City upon the effective date of annexation. However, the annexed area shall not be subject to municipal ad valorem taxation for the current year if the effective date of the annexation falls after the City levies such tax.

SECTION 5: *Instructions to Clerk.* Within seven (7) days following the adoption of this Ordinance, the City Clerk or his/her designee is directed to file a copy of this ordinance, including ATTACHMENT "A" hereto, with the clerk of the circuit court and the chief administrative officer of Orange County as required by § 171.044(3), Fla. Stat.

SECTION 6: *Severability.* Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

SECTION 7: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

ATTACHMENT "A"
LEGAL DESCRIPTION

PARCEL ID#: 35-22-27-0000-00-023

LEGAL DESCRIPTION:

THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, TOWNSHIP 22 SOUTH, RANGE 27 EAST, HEREAFTER REFERRED TO AS BEALAH GROVE, ORANGE COUNTY, FLORIDA.

CONTAINS 389,740 SQUARE FEET OR 8.947 ACRES MORE OR LESS.

LESS AND EXCEPT THAT PORTION TAKEN AS RIGHT OF WAY FOR STATE ROAD 429 AND THE BIKE TRAIL DESCRIBED IN THAT CERTAIN STIPULATED ORDER OF TAKING AND STIPULATED FINAL JUDGEMENT RECORDED SEPTEMBER 21, 2000 IN OFFICIAL RECORDS BOOK 6092, PAGE 1697, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; AND DESCRIBED AS FOLLOWS:

RIGHT OF WAY FOR STATE ROAD 429

COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 35; THENCE RUN NORTH 00 DEGREES 26 MINUTES 57 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHEAST 1/4 OF SECTION 35 A DISTANCE 1338.18 FEET FOR A POINT OF BEGINNING, ALSO BEING THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 35, THENCE RUN SOUTH 89 DEGREES 36 MINUTES 03 SECONDS WEST ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, A DISTANCE OF 372.91 FEET TO A POINT ON A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1037.45 FEET AND A CENTRAL ANGLE OF 19 DEGREES 46 MINUTES 22 SECONDS; THENCE FROM A CHORD BEARING OF NORTH 73 DEGREES 49 MINUTES 27 SECONDS EAST RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 358.02 FEET TO A POINT ON SAID CURVE, THENCE DEPARTING SAID CURVE RUN NORTH 00 DEGREES 26 MINUTES 57 SECONDS WEST A DISTANCE OF 572.21 FEET TO THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 35; THENCE RUN NORTH 89 DEGREES 34 MINUTES 40 SECONDS EAST ALONG SAID NORTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4; THENCE RUN SOUTH 00 DEGREES 26 MINUTES 57 SECONDS EAST ALONG THE AFORESAID EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 35 A DISTANCE OF 669.09 FEET TO THE POINT OF BEGINNING.

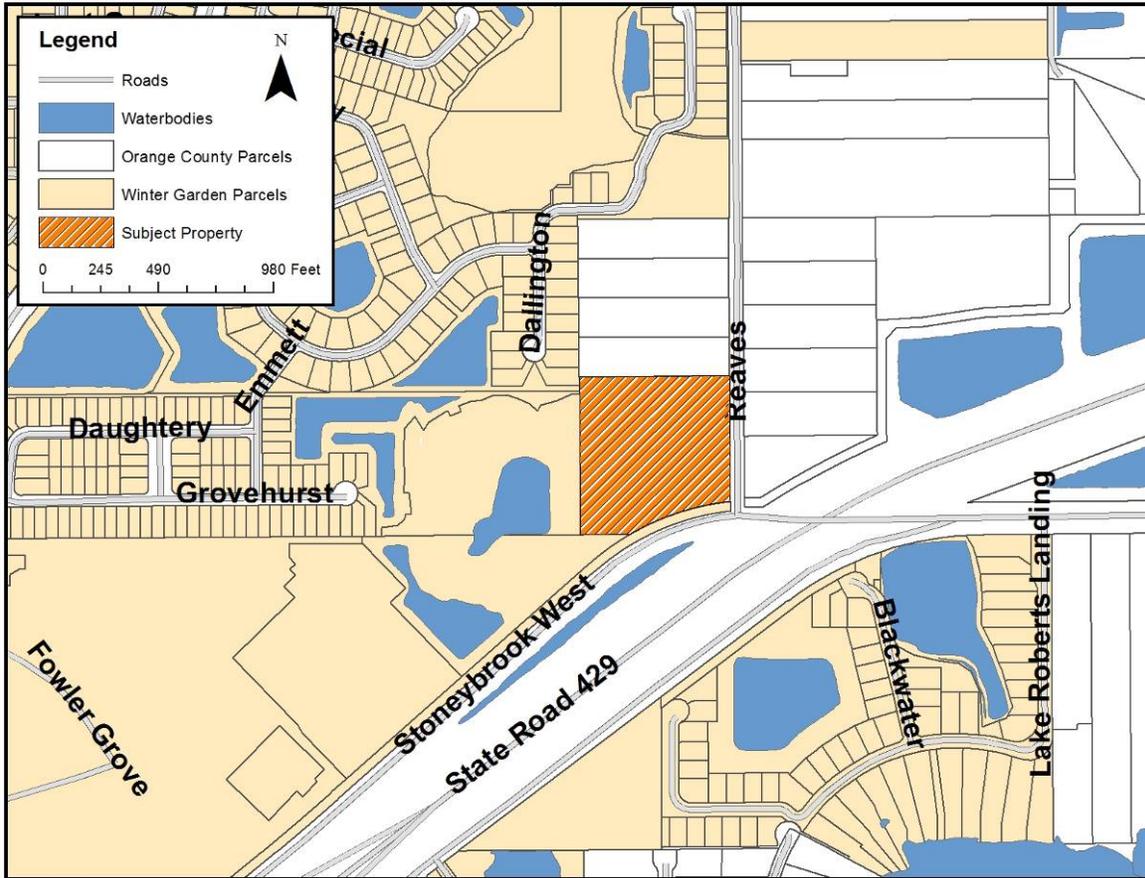
AND BIKE TRAIL

COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 35; THENCE RUN NORTH 00 DEGREES 26 MINUTES 57 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHEAST 1/4 OF SECTION 35 A DISTANCE OF 1338.18 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 35, THENCE RUN SOUTH 89 DEGREES 36 MINUTES 03 SECONDS WEST ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, A DISTANCE OF 372.91 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE SOUTH 89 DEGREES 36 MINUTES 03 SECONDS WEST ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, A DISTANCE OF 85.93 FEET TO A POINT ON A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1077.45 FEET AND CENTRAL ANGLE OF 24 DEGREES 06 MINUTES 45 SECONDS; THENCE FROM A CHORD BEARING OF NORTH 71 DEGREES 52 MINUTES 18 SECONDS EAST RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 453.43 FEET TO A POINT ON SAID CURVE; THENCE DEPARTING SAID CURVE RUN SOUTH 00 DEGREES 26 MINUTES 57 SECONDS EAST, A DISTANCE OF 40.20 FEET TO A POINT ON A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1037.45 FEET AND A CENTRAL ANGLE OF 19 DEGREES 46 MINUTES 22 SECONDS; THENCE FROM A CHORD BEARING OF SOUTH 73 DEGREES 49 MINUTES 27 SECONDS WEST RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 358.02 FEET TO THE POINT OF BEGINNING.

ATTACHMENT "B"

LOCATION MAP

12920 Reaves Road



ORDINANCE 19-27

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 8.95 ± ACRES LOCATED AT 12920 REAVES ROAD, ON THE NORTHWEST CORNER OF REAVES ROAD AND STONEYBROOK WEST PARKWAY, FROM ORANGE COUNTY RURAL TO CITY MEDIUM DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on the 13th of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24th of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden;

WHEREAS, the owner of that certain real property generally described as approximately 8.95 ± acres located at 12920 Reaves Road, on the northwest corner of Reaves Road and Stoneybrook West Parkway, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from Orange County Rural to City Medium Density Residential; and

WHEREAS, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by designating the aforesaid Property to City Medium Density Residential as set forth in ATTACHMENT "B".

SECTION II. *Effective Date.* Provided that the Property described herein is annexed into the City of Winter Garden pursuant to Ordinance 19-26, this Ordinance shall become effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order

determining that the adopted Ordinance is in compliance.

SECTION III. Severability. Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

ATTACHMENT "A"
LEGAL DESCRIPTION

PARCEL ID#: 35-22-27-0000-00-023

LEGAL DESCRIPTION:

THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, TOWNSHIP 22 SOUTH, RANGE 27 EAST, HEREAFTER REFERRED TO AS BEALAH GROVE, ORANGE COUNTY, FLORIDA.

CONTAINS 389,740 SQUARE FEET OR 8.947 ACRES MORE OR LESS.

LESS AND EXCEPT THAT PORTION TAKEN AS RIGHT OF WAY FOR STATE ROAD 429 AND THE BIKE TRAIL DESCRIBED IN THAT CERTAIN STIPULATED ORDER OF TAKING AND STIPULATED FINAL JUDGEMENT RECORDED SEPTEMBER 21, 2000 IN OFFICIAL RECORDS BOOK 6092, PAGE 1697, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; AND DESCRIBED AS FOLLOWS:

RIGHT OF WAY FOR STATE ROAD 429

COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 35; THENCE RUN NORTH 00 DEGREES 26 MINUTES 57 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHEAST 1/4 OF SECTION 35 A DISTANCE 1338.18 FEET FOR A POINT OF BEGINNING, ALSO BEING THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 35, THENCE RUN SOUTH 89 DEGREES 36 MINUTES 03 SECONDS WEST ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, A DISTANCE OF 372.91 FEET TO A POINT ON A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1037.45 FEET AND A CENTRAL ANGLE OF 19 DEGREES 46 MINUTES 22 SECONDS; THENCE FROM A CHORD BEARING OF NORTH 73 DEGREES 49 MINUTES 27 SECONDS EAST RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 358.02 FEET TO A POINT ON SAID CURVE, THENCE DEPARTING SAID CURVE RUN NORTH 00 DEGREES 26 MINUTES 57 SECONDS WEST A DISTANCE OF 572.21 FEET TO THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 35; THENCE RUN NORTH 89 DEGREES 34 MINUTES 40 SECONDS EAST ALONG SAID NORTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4; THENCE RUN SOUTH 00 DEGREES 26 MINUTES 57 SECONDS EAST ALONG THE AFORESAID EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 35 A DISTANCE OF 669.09 FEET TO THE POINT OF BEGINNING.

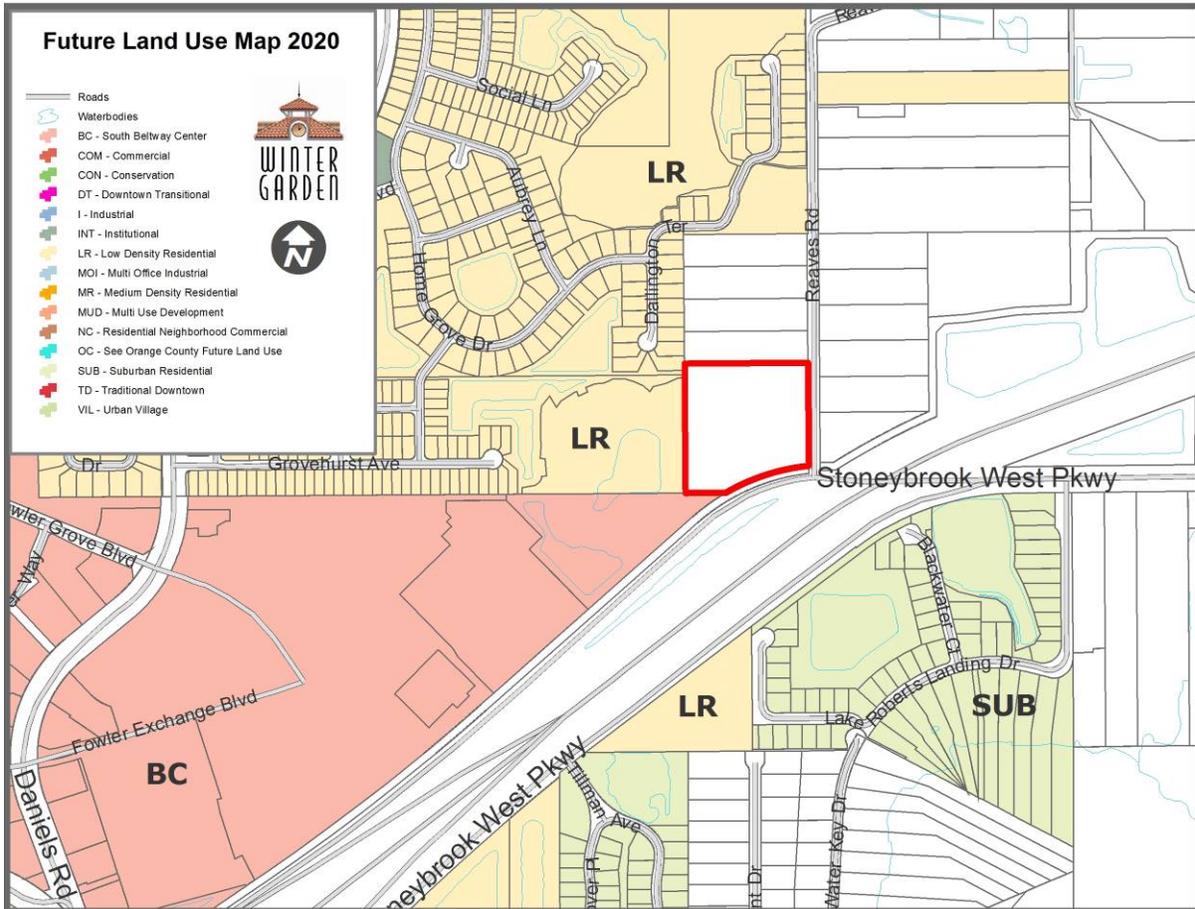
AND BIKE TRAIL

COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 35; THENCE RUN NORTH 00 DEGREES 26 MINUTES 57 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHEAST 1/4 OF SECTION 35 A DISTANCE OF 1338.18 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 35, THENCE RUN SOUTH 89 DEGREES 36 MINUTES 03 SECONDS WEST ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, A DISTANCE OF 372.91 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE SOUTH 89 DEGREES 36 MINUTES 03 SECONDS WEST ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, A DISTANCE OF 85.93 FEET TO A POINT ON A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1077.45 FEET AND CENTRAL ANGLE OF 24 DEGREES 06 MINUTES 45 SECONDS; THENCE FROM A CHORD BEARING OF NORTH 71 DEGREES 52 MINUTES 18 SECONDS EAST RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 453.43 FEET TO A POINT ON SAID CURVE; THENCE DEPARTING SAID CURVE RUN SOUTH 00 DEGREES 26 MINUTES 57 SECONDS EAST, A DISTANCE OF 40.20 FEET TO A POINT ON A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1037.45 FEET AND A CENTRAL ANGLE OF 19 DEGREES 46 MINUTES 22 SECONDS; THENCE FROM A CHORD BEARING OF SOUTH 73 DEGREES 49 MINUTES 27 SECONDS WEST RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 358.02 FEET TO THE POINT OF BEGINNING.

ATTACHMENT "B"

FUTURE LAND USE MAP

12920 Reaves Road



Subject property changed from Orange County Rural to City MR Medium Density Residential

ORDINANCE 19-28

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 1.80 ± ACRES LOCATED AT 12921 REAVES ROAD, ON THE NORTHEAST CORNER OF REAVES ROAD AND STONEYBROOK WEST PARKWAY, INTO THE CITY OF WINTER GARDEN, FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of the land, generally described as approximately 1.80 ± acres located at 12921 Reaves Road, on the northeast corner of Reaves Road and Stoneybrook West Parkway and legally described in Section 2 of this Ordinance, which land is reasonably compact and contiguous to the corporate limits of the City of Winter Garden, Florida (“City”), has, pursuant to the prerequisites and standards set forth in § 171.044, Fla. Stat., petitioned the City Commission for voluntary annexation;

WHEREAS, the petition for voluntary annexation referenced herein bears the signatures of all owners of the property or properties described in Section 2 of this Ordinance (*i.e.*, the property or properties to be annexed); and

WHEREAS, the City has determined that the property described in Section 2 of this Ordinance is located in an unincorporated area of the County and that annexation of such property will not result in the creation of an enclave.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Annexation.* That the City Commission through its Planning and Zoning Board has conducted an investigation to determine whether the described property meets the prerequisites and standards set forth in Chapter 171, Fla. Stat. and has held a public hearing and said petition and made certain findings.

SECTION 2: *Description of Area Annexed.* That, after said public hearing and having found such petition meets said prerequisites and standards, the property legally defined in ATTACHMENT “A” and graphically shown in ATTACHMENT “B” shall be annexed into the City of Winter Garden, Florida.

SECTION 3: *Effect of Annexation.* That the City of Winter Garden, Florida, shall have all of the power, authority, and jurisdiction over and within the land as described in Section 2 hereof, and the inhabitants thereof, and property therein, as it does and have over its present corporate limits and laws, ordinances, and resolutions of said City shall apply and shall have equal force and effect as if all territory had been part of said City at

the time of the passage of such laws, ordinances, and resolutions.

SECTION 4: *Apportionment of Debts and Taxes.* Pursuant to § 171.061, Fla. Stat., the area annexed to the City shall be subject to all taxes and debts of the City upon the effective date of annexation. However, the annexed area shall not be subject to municipal ad valorem taxation for the current year if the effective date of the annexation falls after the City levies such tax.

SECTION 5: *Instructions to Clerk.* Within seven (7) days following the adoption of this Ordinance, the City Clerk or his/her designee is directed to file a copy of this ordinance, including ATTACHMENT "A" hereto, with the clerk of the circuit court and the chief administrative officer of Orange County as required by § 171.044(3), Fla. Stat.

SECTION 6: *Severability.* Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

SECTION 7: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

ATTACHMENT "A"
LEGAL DESCRIPTION

PARCEL ID#: 36-22-27-1773-00-060

LEGAL DESCRIPTION:

LOT 7, COUNTRY TRAIL ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, PAGE 47, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

LESS THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

FROM A 5" X 5" CONCRETE MONUMENT WITH A 4" BRASS DISC STAMPED "RLS 1585 RLS 1819" AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 36, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, RUN N00°26'57"W 1175.74 FEET ALONG THE WEST BOUNDARY OF SAID SOUTHWEST 1/4 TO A POINT ON THE CENTERLINE OF SURVEY FOR WESTERN BELTWAY (STATE ROAD 429) AS SHOWN ON THE RIGHT-OF-WAY CONTROL SURVEY FOR WESTERN BELTWAY (STATE ROAD 429) PART C - PROJECT NO. 655 BY JONES, WOOD & GENTRY, INC. COMPLETED FEBRUARY 12, 1998, SAID CENTERLINE OF SURVEY BEING A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 3819.72 FEET; THENCE FROM A TANGENT BEARING OF N54°13'14"E, RUN NORTHEASTERLY 507.22 FEET ALONG THE ARC OF SAID CURVE AND SAID CENTERLINE OF SURVEY WITH A CHORD BEARING OF N58°01'29"E THROUGH A CENTRAL ANGLE OF 07°36'30" TO A POINT; THENCE RUN S89°20'26"W 173.15 FEET; THENCE RUN N77°09'49"W 51.42 FEET; THENCE RUN S89°20'26"W 100.33 FEET TO A POINT BEING ON A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 3989.72 FEET, SAID CURVE BEING 170.00 FEET NORTHWESTERLY OF, WHEN MEASURED RADially TO, SAID CENTERLINE OF SURVEY; THENCE FROM A TANGENT BEARING OF N57°47'06"E, RUN NORTHEASTERLY 229.40 FEET ALONG THE ARC OF SAID CURVE WITH A CHORD BEARING OF N59°25'56"E THROUGH A CENTRAL ANGLE OF 03°17'40" TO A POINT ON THE NORTH BOUNDARY OF LOT 7, COUNTRY TRAIL ESTATES AS RECORDED IN PLAT BOOK 20, PAGE 47, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN S89°30'12"W 82.66 FEET ALONG SAID NORTH BOUNDARY FOR THE POINT OF BEGINNING, SAID POINT OF BEGINNING BEING A POINT ON A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 4029.72 FEET, SAID CURVE BEING 210.00 FEET NORTHEASTERLY OF, WHEN MEASURED RADially TO, SAID CENTER LINE OF SURVEY; THENCE FROM A TANGENT BEARING OF S60°02'45"W, RUN SOUTHWESTERLY 147.67 FEET ALONG THE ARC OF SAID CURVE WITH A CHORD BEARING OF S58°59'45"W THROUGH A CENTRAL ANGLE OF 02°05'59" TO A POINT; THENCE RUN S89°20'26"W 65.57 FEET TO A POINT ON THE WEST BOUNDARY OF THE AFORESAID LOT 7; THENCE RUN N00°30'40"W 75.315 FEET ALONG THE WEST BOUNDARY TO THE NORTHWEST CORNER OF SAID LOT 7; THENCE RUN N89°30'12"E 192.81 FEET TO THE POINT OF BEGINNING.

AND

LOT 6, COUNTRY TRAIL ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, PAGE 47, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

LESS THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

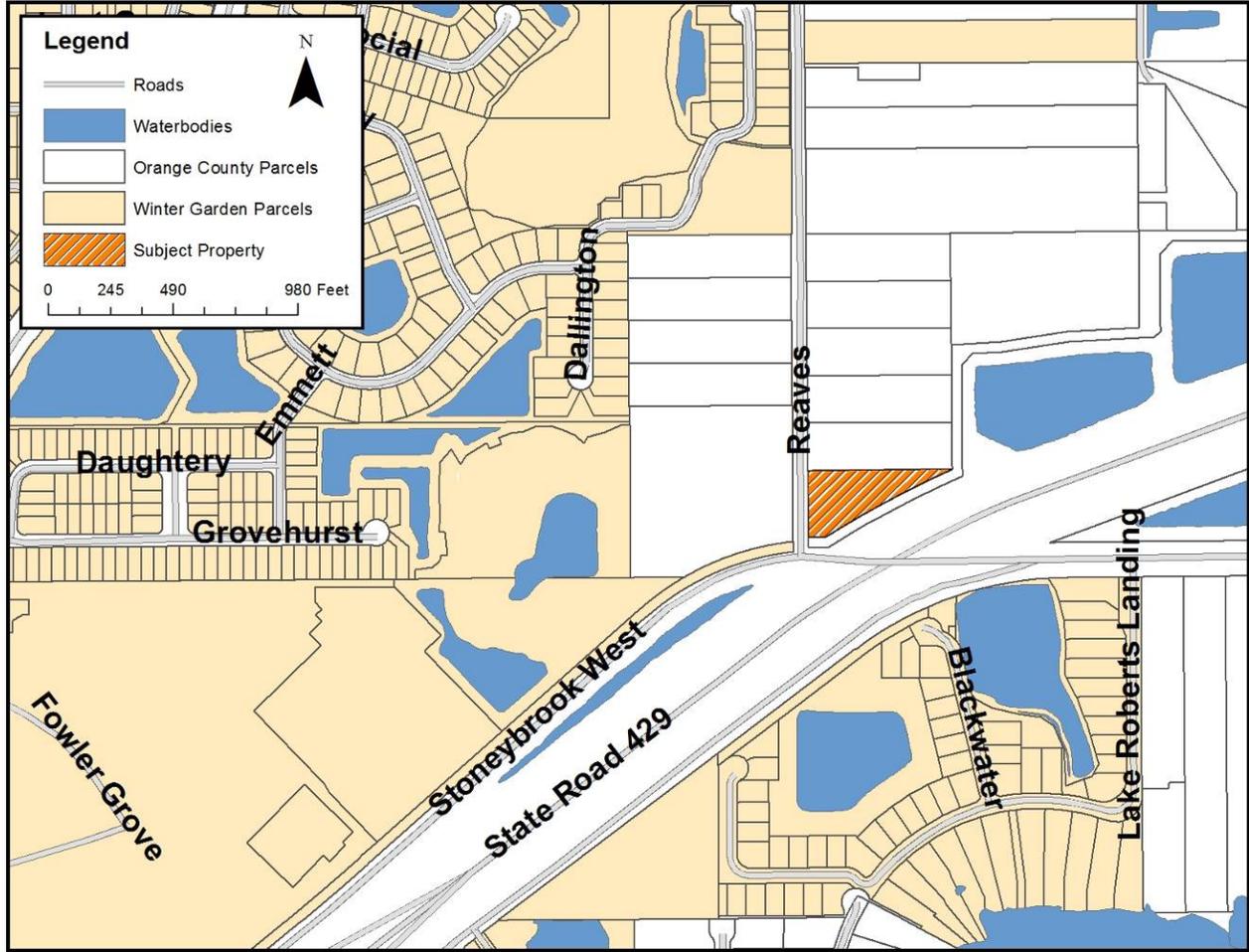
FROM A 5" X 5" CONCRETE MONUMENT WITH A 4" BRASS DISC STAMPED "RLS 1585 RLS 1819" AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 36, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, RUN N00°26'57"W 1175.74 FEET ALONG THE WEST BOUNDARY OF SAID SOUTHWEST 1/4 TO A POINT ON THE CENTERLINE OF SURVEY FOR WESTERN BELTWAY (STATE ROAD 429) AS SHOWN ON THE RIGHT-OF-WAY CONTROL SURVEY FOR WESTERN BELTWAY (STATE ROAD 429) PART C - PROJECT NO. 655 BY JONES, WOOD & GENTRY, INC. COMPLETED FEBRUARY 12, 1998, SAID CENTERLINE OF SURVEY BEING A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 3819.72 FEET; THENCE FROM A TANGENT BEARING OF N54°13'14"E, RUN NORTHEASTERLY 687.64 FEET ALONG THE ARC OF SAID CURVE AND SAID CENTERLINE OF SURVEY WITH A CHORD BEARING OF N59°22'40"E THROUGH A CENTRAL ANGLE OF 10°18'53" TO A POINT ON THE EAST BOUNDARY OF LOT 7, COUNTRY TRAIL ESTATES AS RECORDED IN PLAT BOOK 20, PAGE 47, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE N00°28'28"W 46.02 FEET TO THE SOUTHEAST CORNER OF LOT 6 OF SAID COUNTRY TRAIL ESTATES; THENCE CONTINUE N00°28'28"W 184.38 FEET ALONG THE EAST BOUNDARY OF SAID LOT 6 FOR THE POINT OF BEGINNING, SAID POINT OF BEGINNING BEING A POINT ON A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 4029.72 FEET, SAID CURVE BEING 210.00 FEET NORTHWESTERLY OF, WHEN MEASURED RADially TO, SAID CENTERLINE OF SURVEY; THENCE FROM A TANGENT BEARING OF S65°55'10"W, RUN SOUTHWESTERLY 413.10 FEET ALONG THE ARC OF SAID CURVE WITH A CHORD BEARING OF S62°58'57"W THROUGH A CENTRAL ANGLE OF 05°52'25" TO A POINT ON THE SOUTH BOUNDARY OF THE AFORESAID LOT 6; THENCE RUN S89°30'12"W 192.81 FEET TO THE SOUTHWEST CORNER OF SAID LOT 6; THENCE RUN N00°30'40"W 184.96 FEET TO THE NORTHWEST CORNER OF SAID LOT 6; THENCE RUN N89°29'50"E 562.32 FEET TO THE NORTHEAST CORNER OF SAID LOT 6; THENCE RUN S00°28'28"E 0.64 FEET TO THE POINT OF BEGINNING.

CONTAINS: 78,099 SQUARE FEET OR 1.792 ACRES MORE OR LESS

ATTACHMENT "B"

LOCATION MAP

12921 Reaves Road



ORDINANCE 19-29

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.80 ± ACRES LOCATED AT 12921 REAVES ROAD, ON THE NORTHEAST CORNER OF REAVES ROAD AND STONEYBROOK WEST PARKWAY, FROM ORANGE COUNTY RURAL TO CITY MEDIUM DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on the 13th of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24th of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden;

WHEREAS, the owner of that certain real property generally described as approximately 1.80 ± acres located at 12921 Reaves Road, on the northeast corner of Reaves Road and Stoneybrook West Parkway, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from Orange County Rural to City Medium Density Residential; and

WHEREAS, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by designating the aforesaid Property to City Medium Density Residential as set forth in ATTACHMENT "B".

SECTION II. *Effective Date.* Provided that the Property described herein is annexed into the City of Winter Garden pursuant to Ordinance 19-28, this Ordinance shall become effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order

determining that the adopted Ordinance is in compliance.

SECTION III. Severability. Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

ATTACHMENT "A"
LEGAL DESCRIPTION

PARCEL ID#: 36-22-27-1773-00-060

LEGAL DESCRIPTION:

LOT 7, COUNTRY TRAIL ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, PAGE 47, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

LESS THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

FROM A 5" X 5" CONCRETE MONUMENT WITH A 4" BRASS DISC STAMPED "RLS 1585 RLS 1819" AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 36, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, RUN N00°26'57"W 1175.74 FEET ALONG THE WEST BOUNDARY OF SAID SOUTHWEST 1/4 TO A POINT ON THE CENTERLINE OF SURVEY FOR WESTERN BELTWAY (STATE ROAD 429) AS SHOWN ON THE RIGHT-OF-WAY CONTROL SURVEY FOR WESTERN BELTWAY (STATE ROAD 429) PART C - PROJECT NO. 655 BY JONES, WOOD & GENTRY, INC. COMPLETED FEBRUARY 12, 1998, SAID CENTERLINE OF SURVEY BEING A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 3819.72 FEET; THENCE FROM A TANGENT BEARING OF N54°13'14"E, RUN NORTHEASTERLY 507.22 FEET ALONG THE ARC OF SAID CURVE AND SAID CENTERLINE OF SURVEY WITH A CHORD BEARING OF N58°01'29"E THROUGH A CENTRAL ANGLE OF 07°36'30" TO A POINT; THENCE RUN S89°20'26"W 173.15 FEET; THENCE RUN N77°09'49"W 51.42 FEET; THENCE RUN S89°20'26"W 100.33 FEET TO A POINT BEING ON A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 3989.72 FEET, SAID CURVE BEING 170.00 FEET NORTHWESTERLY OF, WHEN MEASURED RADially TO, SAID CENTERLINE OF SURVEY; THENCE FROM A TANGENT BEARING OF N57°47'06"E, RUN NORTHEASTERLY 229.40 FEET ALONG THE ARC OF SAID CURVE WITH A CHORD BEARING OF N59°25'56"E THROUGH A CENTRAL ANGLE OF 03°17'40" TO A POINT ON THE NORTH BOUNDARY OF LOT 7, COUNTRY TRAIL ESTATES AS RECORDED IN PLAT BOOK 20, PAGE 47, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN S89°30'12"W 82.66 FEET ALONG SAID NORTH BOUNDARY FOR THE POINT OF BEGINNING, SAID POINT OF BEGINNING BEING A POINT ON A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 4029.72 FEET, SAID CURVE BEING 210.00 FEET NORTHEASTERLY OF, WHEN MEASURED RADially TO, SAID CENTER LINE OF SURVEY; THENCE FROM A TANGENT BEARING OF S60°02'45"W, RUN SOUTHWESTERLY 147.67 FEET ALONG THE ARC OF SAID CURVE WITH A CHORD BEARING OF S58°59'45"W THROUGH A CENTRAL ANGLE OF 02°05'59" TO A POINT; THENCE RUN S89°20'26"W 65.57 FEET TO A POINT ON THE WEST BOUNDARY OF THE AFORESAID LOT 7; THENCE RUN N00°30'40"W 75.315 FEET ALONG THE WEST BOUNDARY TO THE NORTHWEST CORNER OF SAID LOT 7; THENCE RUN N89°30'12"E 192.81 FEET TO THE POINT OF BEGINNING.

AND

LOT 6, COUNTRY TRAIL ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, PAGE 47, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

LESS THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

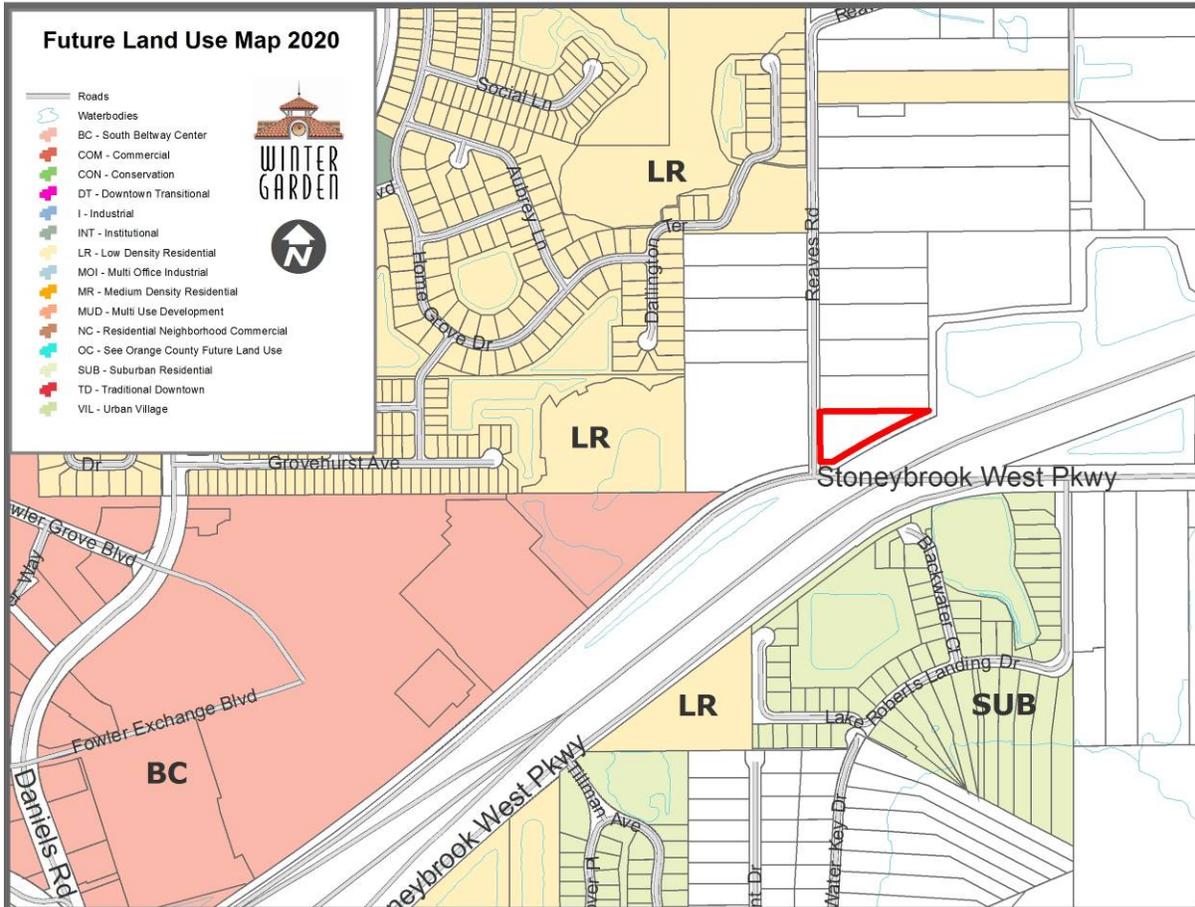
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CONTAINS: 78,099 SQUARE FEET OR 1.792 ACRES MORE OR LESS

ATTACHMENT "B"

FUTURE LAND USE MAP

12921 Reaves Road



Subject property changed from Orange County Rural to City MR Medium Density Residential

ORDINANCE 19-30

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 10.75 +/- ACRES OF LAND GENERALLY LOCATED AT 12920 & 12921 REAVES ROAD ON THE NORTHWEST AND NORTHEAST CORNERS OF REAVES ROAD AND STONEYBROOK WEST PARKWAY, FROM ORANGE COUNTY A-1 (AGRICULTURAL) AND R-CE-2 (RURAL RESIDENTIAL) TO CITY PUD (PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE STONEYBROOK SENIOR LIVING PUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner(s) of real property generally described as approximately 10.75 ± acres of certain real property generally located at 12920 & 12921 Reaves Road on the northwest and northeast corners of Reaves Road and Stoneybrook West Parkway, in Winter Garden, Florida, being more particularly described on Exhibit “A” attached hereto and incorporated herein by this reference (the “Property”), desire to rezone their property from Orange County A-1 and R-CE-2 to City PUD, and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the City of Winter Garden Code of Ordinances, therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. After due notice and public hearing, the zoning classification of the Property, as described in Exhibit “A” attached hereto, is hereby rezoned from Orange County A-1 and R-CE-2 to City PUD in the City of Winter Garden, Florida subject to the following conditions, provisions and restrictions:

- a. **Conceptual Plan-** All development on the Property must substantially conform to the requirements identified in the Stoneybrook Senior Living PUD Plan attached hereto as Exhibit “B.” Should any conflict be found between this Ordinance and the Stoneybrook Senior Living PUD Plan attached hereto as Exhibit “B”, then the standards and conditions established by this Ordinance shall control.
- b. **Zoning-** Due to the nature of the permitted uses set forth in this Ordinance,

the following sections of Article V, Division 2 of the City Code of Ordinances regarding Residential Planned Unit Developments shall not apply to the Property: section 118-860, section 118-921, section 118-923, section 118-925, and section 118-927. Unless specifically noted elsewhere in Exhibit "B" attached hereto, or expressly provided for herein, all development on the Property must comply with the general zoning requirements of the Residential Planned Unit Development zoning district. These requirements include any approval procedure of the Residential Planned Unit Development zoning district.

- c. **Permitted Uses-** With respect to the Stoneybrook Senior Living PUD Area as identified in Exhibit "B" attached hereto, the only permitted uses shall be an Independent/Assisted Living Facility, an Outdoor Recreation Area, and a Stormwater Management Pond.
- d. **Prohibited Uses-** Unless specifically identified by this Ordinance as a permitted use, all other uses are prohibited. Without limiting the foregoing, all uses prohibited by Section 118-858(5), City of Winter Garden Code of Ordinances are prohibited uses for the Property.
- e. **Design Criteria/Architectural Standards-**
 - i. **Architectural Standards-** Any new proposed buildings or structures on the property shall adhere to the aesthetic character and design quality of the proposed architectural renderings, attached hereto as Exhibit "C".
 - ii. **Maximum Building Height-** The maximum building height shall not exceed 50 feet (three stories).
 - iii. **Landscape Design-** The Property shall be required to adhere to the landscape design standards for specified commercial corridors in accordance with Chapter 118, Article X, Division 3 of the City of Winter Garden Code of Ordinances, as well as the conceptual landscaping depicted in the Development Plan attached hereto as Exhibit "B". Detailed landscape and irrigation plans shall be reviewed at time of Site Plan review.
 - iv. **Site Design-** Bicycle racks, seating, and trash receptacles are required to be provided on site.
 - v. **Setbacks and Required Yards-** All buildings and accessory structures shall adhere to the following minimum setbacks:
 - i. Front (Stoneybrook West Parkway): 45'
 - ii. Side (Reaves Road): 25'
 - iii. Side Interior: 45'
 - iv. Rear: 100'

- vi. **Outdoor Storage-** Outdoor storage of materials or equipment is prohibited.
- vii. **Signage-** All signage proposed for the Property shall conform to the requirements and regulations of Chapter 102 of the City of Winter Garden Code of Ordinances. For the purposes of permit review, the Property shall be considered a “permitted nonresidential use in a residential district”.
- viii. **Common Open & Recreation Space-**

The minimum common open space provided for the Property shall be 20%, and an additional 5% of space shall be provided for outdoor active recreation areas. The outdoor active recreation areas shall be designed to be consistent with the architecture of the main building or to complement the architecture of the building. These outdoor areas will provide residents access to the outdoors for gatherings, recreational activities, exercise activities, nature walks, gardening, and other community social events.
- ix. **Dark Skies-** all exterior lighting shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles. Exterior lighting shall be designed as dark skies lighting in a consistent and coordinated manner for the entire project in compliance with the requirements of Chapter 118, Article X, Division 4 of the City Code of Ordinances.
- f. **Delivery Hours-** No deliveries shall occur during peak hour traffic times in the morning or afternoon or between the hours of 9:00 pm and 7:00 am.
- g. **Staff Conditions-** All development on the Property must comply with the following staff conditions:
 - 1. The 40’ wide strip along Stoneybrook West Parkway is under the ownership and control of Orange County Parks & Rec for a future bike trail and is subject to an electric transmission easement granted to Duke Energy. Approval from Orange County and Duke Energy will be required for any crossings of this area.
 - 2. The trees identified as “to be preserved” in Exhibit “B” shall be maintained and protected with tree fencing during construction.
 - 3. Reaves Road is under Orange County jurisdiction; County permits are required for any work within the R/W.
 - 4. A geotechnical report shall be provided with final Site Plan review.
 - 5. Per the findings in the Environmental report, a gopher tortoise survey shall be conducted. Also, as many of the existing listed ferns as possible shall be maintained on site.

6. The City is the lead regulatory agency in regards to reviewing proposed development within or adjacent to wetlands. A permit from SJRWMD does not constitute an approval from the City. If a conservation easement is recorded over the wetland area and upland buffer, the City shall be included as a party that has jurisdiction over any future activities within these areas.
7. A traffic study for full build-out of the parcel as proposed shall be provided at time of final Site Plan review. Additional intersection improvements may be required including right-of-way dedications to accommodate additional lanes, etc.
8. Drainage methodology shall be discussed at time of final Site Plan review – both existing and proposed. Potential adverse impacts to the Fowler Groves Mall, Stonecrest Subdivision, and County residential properties to the north shall be avoided.
9. All utilities shall conform to Chapter 78 of the City Code. Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer.
10. 100% of the water/sewer impact fees shall be paid prior to site or building permit issuance or execution of FDEP permit applications by the City. All sanitary pipes and fittings shall be SDR 26 per City standards. Use City Standard Detail Sheets for utilities and public works. All on-site utilities shall be privately owned and maintained.
11. Permits or exemptions shall be provided from SJRWMD for stormwater and FDEP for water, wastewater and NPDES NOI.
12. Fire sprinkler systems will be required on all buildings over 6,000 s.f. with Point of Service (POS), backflow prevention, etc. shown. All work downstream of the POS shall be performed by a licensed fire sprinkler contractor.
13. All dumpsters shall be enclosed and shall provide 12' minimum inside clearance (each way inside of bollards), and access by solid waste vehicles. Coordinate additional requirements with Public Services Department, Solid Waste Division.
14. Any screen walls or retaining walls shall require a separate permit from the Building Department.
15. All underdrain pipe shall be double wall HDPE pipe or PVC pipe.
16. Any offsite drainage coming onto the site shall be accommodated.
17. Site lighting will be required as well as street lighting on all street

frontages if not existing; all lighting shall meet dark skies requirements per City Code. The Developer is required to have street lights installed along all street frontages, including payment of the first year of operation.

18. 5' wide concrete sidewalks shall be constructed along all street frontages pursuant to City Code, with the exception that the existing sidewalks along Stoneybrook West Parkway shall be expanded from 5' to become 10' wide multi-use paths. Existing sidewalks, curbs, & pavement will be checked at completion and any damaged sections shall be replaced.
19. Internal sidewalks shall connect to the public sidewalks in the right-of-way per ADA.
20. If HDPE pipe is being specified it shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe, laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).
21. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
22. All work shall conform to City of Winter Garden standards and specifications.
23. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
24. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
25. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others, including by way of any development order or permit issued. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City shall not be responsible and any corrective measures required will be the responsibility of the Owner/Developer. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as

contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

26. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of **2.25%** of the cost of all site improvements shall be paid prior to issuance of the building permit.
27. All on-site activities are required to stop at sunset during the construction period.
28. The finished floor elevation of the proposed buildings is required to be consistent with what is shown in Exhibit "B" (119.00). In addition, the applicant shall explore reducing the 3-story building's roof height if possible.
29. The 146' +/- deep forested buffer on the north side of the site that is shown in Exhibit "B" is required to be placed into a permanent conservation easement that prohibits any development of the area. This easement is required to be recorded before receiving Site Plan Approval.
30. The applicant is required to install additional vegetation within a common area tract in the Foxcrest subdivision as shown in Exhibit "D". The necessary provisions shall be made to ensure the vegetation receives adequate water during a one-year establishment period.

SECTION 2: *General Requirements.*

- a. **Stand Alone Clause-** If phased, each phase of development of the Property must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.
- b. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- c. **Amendments-** Minor amendments to this Ordinance will be achieved by

Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.

- d. **Expiration/Extension-** Expiration of this PUD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION 3: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 4: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 5: Effective Date. This Ordinance shall become effective after its adoption at its second reading upon the occurrence of the effective date of annexation Ordinance 19-26 and Ordinance 19-28 and the effective date of Comprehensive Plan future land use map amendment Ordinance 19-27 and Ordinance 19-29.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

Exhibit "A"

PARCEL ID#: 35-22-27-0000-00-023, 36-22-27-1773-00-060

LEGAL DESCRIPTION:

THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, TOWNSHIP 22 SOUTH, RANGE 27 EAST, HEREAFTER REFERRED TO AS BEALAH GROVE, ORANGE COUNTY, FLORIDA.

CONTAINS 389,740 SQUARE FEET OR 8.947 ACRES MORE OR LESS.

LESS AND EXCEPT THAT PORTION TAKEN AS RIGHT OF WAY FOR STATE ROAD 429 AND THE BIKE TRAIL DESCRIBED IN THAT CERTAIN STIPULATED ORDER OF TAKING AND STIPULATED FINAL JUDGEMENT RECORDED SEPTEMBER 21, 2000 IN OFFICIAL RECORDS BOOK 6092, PAGE 1697, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; AND DESCRIBED AS FOLLOWS:

RIGHT OF WAY FOR STATE ROAD 429

COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 35; THENCE RUN NORTH 00 DEGREES 26 MINUTES 57 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHEAST 1/4 OF SECTION 35 A DISTANCE 1338.18 FEET FOR A POINT OF BEGINNING, ALSO BEING THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 35, THENCE RUN SOUTH 89 DEGREES 36 MINUTES 03 SECONDS WEST ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, A DISTANCE OF 372.91 FEET TO A POINT ON A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1037.45 FEET AND A CENTRAL ANGLE OF 19 DEGREES 46 MINUTES 22 SECONDS; THENCE FROM A CHORD BEARING OF NORTH 73 DEGREES 49 MINUTES 27 SECONDS EAST RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 358.02 FEET TO A POINT ON SAID CURVE, THENCE DEPARTING SAID CURVE RUN NORTH 00 DEGREES 26 MINUTES 57 SECONDS WEST A DISTANCE OF 572.21 FEET TO THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 35; THENCE RUN NORTH 89 DEGREES 34 MINUTES 40 SECONDS EAST ALONG SAID NORTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 A DISTANCE OF 30.00 FEET TO THE NORTHEAST CORNER OF SAID SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4; THENCE RUN SOUTH 00 DEGREES 26 MINUTES 57 SECONDS EAST ALONG THE AFORESAID EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 35 A DISTANCE OF 669.09 FEET TO THE POINT OF BEGINNING.

AND BIKE TRAIL

COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 35; THENCE RUN NORTH 00 DEGREES 26 MINUTES 57 SECONDS WEST ALONG THE EAST LINE OF SAID SOUTHEAST 1/4 OF SECTION 35 A DISTANCE OF 1338.18 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 35, THENCE RUN SOUTH 89 DEGREES 36 MINUTES 03 SECONDS WEST ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, A DISTANCE OF 372.91 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE SOUTH 89 DEGREES 36 MINUTES 03 SECONDS WEST ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, A DISTANCE OF 85.93 FEET TO A POINT ON A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1077.45 FEET AND CENTRAL ANGLE OF 24 DEGREES 06 MINUTES 45 SECONDS; THENCE FROM A CHORD BEARING OF NORTH 71 DEGREES 52 MINUTES 18 SECONDS EAST RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 453.43 FEET TO A POINT ON SAID CURVE; THENCE DEPARTING SAID CURVE RUN SOUTH 00 DEGREES 26 MINUTES 57 SECONDS EAST, A DISTANCE OF 40.20 FEET TO A POINT ON A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1037.45 FEET AND A CENTRAL ANGLE OF 19 DEGREES 46 MINUTES 22 SECONDS; THENCE FROM A CHORD BEARING OF SOUTH 73 DEGREES 49 MINUTES 27 SECONDS WEST RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 358.02 FEET TO THE POINT OF BEGINNING.

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LOT 6, COUNTRY TRAIL ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, PAGE 47, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

LESS THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

FROM A 5" X 5" CONCRETE MONUMENT WITH A 4" BRASS DISC STAMPED "RLS 1585 RLS 1819" AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 36, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, RUN N00°26'57"W 1175.74 FEET ALONG THE WEST BOUNDARY OF SAID SOUTHWEST 1/4 TO A POINT ON THE CENTERLINE OF SURVEY FOR WESTERN BELTWAY (STATE ROAD 429) AS SHOWN ON THE RIGHT-OF-WAY CONTROL SURVEY FOR WESTERN BELTWAY (STATE ROAD 429) PART C - PROJECT NO. 655 BY JONES, WOOD & GENTRY, INC. COMPLETED FEBRUARY 12, 1998, SAID CENTERLINE OF SURVEY BEING A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 3819.72 FEET; THENCE FROM A TANGENT BEARING OF N54°13'14"E, RUN NORTHEASTERLY 687.64 FEET ALONG THE ARC OF SAID CURVE AND SAID CENTERLINE OF SURVEY WITH A CHORD BEARING OF N59°22'40"E THROUGH A CENTRAL ANGLE OF 10°18'53" TO A POINT ON THE EAST BOUNDARY OF LOT 7, COUNTRY TRAIL ESTATES AS RECORDED IN PLAT BOOK 20, PAGE 47, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN N00°28'28"W 46.02 FEET TO THE SOUTHEAST CORNER OF LOT 6 OF SAID COUNTRY TRAIL ESTATES; THENCE CONTINUE N00°28'28"W 184.38 FEET ALONG THE EAST BOUNDARY OF SAID LOT 6 FOR THE POINT OF BEGINNING, SAID POINT OF BEGINNING BEING A POINT ON A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 4029.72 FEET, SAID CURVE BEING 210.00 FEET NORTHWESTERLY OF, WHEN MEASURED RADially TO, SAID CENTERLINE OF SURVEY; THENCE FROM A TANGENT BEARING OF S65°55'10"W, RUN SOUTHWESTERLY 413.10 FEET ALONG THE ARC OF SAID CURVE WITH A CHORD BEARING OF S62°58'57"W THROUGH A CENTRAL ANGLE OF 05°52'25" TO A POINT ON THE SOUTH BOUNDARY OF THE AFORESAID LOT 6; THENCE RUN S89°30'12"W 192.81 FEET TO THE SOUTHWEST CORNER OF SAID LOT 6; THENCE RUN N00°30'40"W 184.96 FEET TO THE NORTHWEST CORNER OF SAID LOT 6; THENCE RUN N89°29'50"E 562.32 FEET TO THE NORTHEAST CORNER OF SAID LOT 6; THENCE RUN S00°28'28"E 0.64 FEET TO THE POINT OF BEGINNING.

CONTAINS: 78,099 SQUARE FEET OR 1.792 ACRES MORE OR LESS

Exhibit "B"

COVER PAGE

STONEYBROOK SENIOR LIVING PUD Plan

(10 PAGES - ATTACHED)

ABBREVIATIONS

A	AREA ANCHOR BOLT ABANDON(ED) ACRE(S) ACRE FOOT/FEET ASBESTOS CEMENT PIPE AMERICANS WITH DISABILITIES ACT ADDITIONAL AVERAGE DAILY TRAFFIC ALUMINUM ALTERNATE BEFORE NOON AMPERE(S) APPROXIMATE AIR RELEASE VALVE AIR RELEASE VACUUM VALVE ASPHALT ASSEMBLY AVENUE AVERAGE AZIMUTH	F	FINISHED GRADE FIRE HYDRANT FURNISH AND INSTALL FIGURE FINISHED FITTING FENCE LINE FLOOR FLEXIBLE FORCE MAIN FOOT FEET PER HOUR FEET PER MINUTE FEET PER SECOND FEET/FOOT FOOTING	P	POINT OF SERVICE POWER POLE PHONE RISER POINT OF REVERSE CURVATURE PRESSURE PROJECT PROPOSED PRESSURE REDUCING VALV POINT OF REVERSE VERTICAL CURVE PUMPING STATION POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POINT OF TANGENCY PLUS VALVE POLYVINYL CHLORIDE PAVEMENT POWER
B	BACKFLOW PREVENTER BASELINE BUILDING BOULEVARD BENCH MARK BOUNDARY BLOWOFF BACK OF CURB BOTTOM BOTTOM OF WALL BEARING BOTTOM OF SLOPE BUTTERFLY VALVE BEGIN VERTICAL CURVE	G	GAUGE GALLON GALVANIZED GREASE INTERCEPTOR GAS MAIN GALLONS PER DAY GALLONS PER HOUR GALLONS PER MINUTE GALLONS PER SECOND GUARD RAIL GROUND/GRADE GALVANIZED STEEL PIPE GATE VALVE GATE VALVE AND BOX GROUND WATER TABLE	Q	FLOW RATE
C	CAPACITY CATCH BASIN CENTER TO CENTER CEMENT CUBIC FEET CUBIC FEET PER MINUTE CUBIC FEET PER SECOND CURB AND GUTTER CAST IRON CAST IRON PIPE CONSTRUCTION JOINT CENTER LINE CONCRETE LIGHT POLE CLEAR/CLEARANCE CLASS CONCRETE MONUMENT CORRUGATED METAL PIPE CORRUGATED METAL PIPE ARCH CONDUIT COUNTY CLEANOUT COLUMN COMPLETE CONCRETE CONNECTION CONSTRUCTION CONTINUOUS COORDINATE(S) CORNER COUPLING CONCRETE POWER POLE CONTROL STRUCTURE CORPORATION STOP COATING CENTER CABLE TELEVISION CULVERT CHECK VALVE CUBIC YARD CYLINDER	H	HOSE BIBB HARDWARE HIGH DENSITY POLYETHYLENE PIPE HOME OWNERS ASSOCIATION HORIZONTAL HORSEPOWER HOUR HEIGHT HEADWALL HIGH WATER LEVEL HIGHWAY HYDRANT	R	RADIUS REINFORCED CONCRETE PIPE REINFORCED CONCRETE PIPE ARCH ROAD ROADWAY REDUCER REFERENCE REINFORCE(D) REQUIRED REVISE/REVISION RADIAL POINT REDUCED PRESSURE BACKFLOW PREVENTER REVOLUTIONS PER MINUTE RAILROAD RIGHT RELIEF VALVE RIGHT-OF-WAY REUSE WATER MAIN
D	DOUBLE DIAMETER AT BREAST HEIGHT DEGREE DEFLECT(ION) DEPARTMENT DETAIL DESIGN HIGH WATER LEVEL DUCTILE IRON DIAMETER DIAGONAL DIMENSION DUCTILE IRON PIPE DISCHARGE DISTANCE DROP MANHOLE DOWN DRAIN DRAWING DRIVEWAY	I	INTERSTATE HIGHWAY INTERSECTION ANGLE INSIDE DIAMETER INSIDE FACE INCHES INLET INSERT IRON PIPE IRON ROD IRRIGATION INTERSECT/INTERSECTION INVERT	S	SOUTH SANITARY SEWER SPLASH BLOCK SCHEDULE SIDE DRAIN SHELL DRAIN SOUTHEAST SECONDS SECTION SQUARE FEET SHEET SHEETING SEASONAL HIGH WATER LINE SIMILAR SETBACK LINE SLOPE SHEET METAL SPECIFICATIONS SQUARE SQUARE INCHES SQUARE YARDS STATE ROAD STAINLESS STEEL STREET STATION STANDARD STEEL STRUCTURE STORM SEWER SUPPORT SUSPEND/SUSPENSION SERVICE SOUTHWEST SIDEWALK SYMBOL(S) SYMMETRICAL SYSTEM
E	EAST EACH EDGE OF CONCRETE ENERGY DISSIPATOR EACH FACE EFFLUENT EXISTING GRADE EASEMENT LINE ELBOW ELECTRIC ELEVATION ELLIPSE/ELLIPTICAL ENCASEMENT ENGINEERING EDGE OF PAVEMENT EQUAL/EQUATION EQUIPMENT EQUIVALENT EASEMENT ESTIMATE END VERTICAL CURVE EACH WAY ENDWALL EXCAVATE EXISTING EXPAND/EXPANSION EXTEND/EXTENSION	J	JUNCTION BOX JUNCTION JOIST JOINT	T	TANGENT TURFBLOCK TOP AND BOTTOM TEMPORARY BENCH MARK TIME OF CONCENTRATION TRENCH DRAIN TOTAL DYNAMIC HEAD TOP ELEVATION TECHNICIAN/TECHNICAL TEMPORARY TERMINAL LAMPHOLE TOP OF BANK TOP OF CURB TOE OF SLOPE TOTAL TOP OF WALL TOP OF SLOPE TAPPING SLEEVE & VALVE TOWNSHIP TYPICAL
F	FRAME AND COVER FLOOR DRAIN FIRE DEPARTMENT CONNECTION FOUNDATION FLORIDA DEPARTMENT OF TRANSPORTATION FINISHED FLOOR	L	LATITUDE LATERAL POUND LINEAR FEET/FOOT LONGITUDE LIMIT(S) LIGHT POLE LIFT STATION LEFT LOW WATER LEVEL	U	UNDERDRAIN UNDERGROUND UNDERGROUND TELEPHONE CABLE
G	GAUGE GALLON GALVANIZED GREASE INTERCEPTOR GAS MAIN GALLONS PER DAY GALLONS PER HOUR GALLONS PER MINUTE GALLONS PER SECOND GUARD RAIL GROUND/GRADE GALVANIZED STEEL PIPE GATE VALVE GATE VALVE AND BOX GROUND WATER TABLE	M	MAINTENANCE MATERIAL MAXIMUM MECHANICAL MITERED END SECTION MANUFACTURER MILLION GALLONS PER DAY MANHOLE MANHOLE COVER MEAN HIGH WATER LEVEL MINIMUM MISCELLANEOUS MECHANICAL JOINT METAL LIGHT POLE MEAN LOW WATER LEVEL MONUMENT MAINTENANCE OF TRAFFIC MILES PER HOUR MEAN SEA LEVEL MOUNTING	V	VALVE BOX VERTICAL CURVE VITRIFIED CLAY PIPE VERTICAL VERTICAL POINT OF CURVE VERTICAL POINT OF INTERSECTION VERTICAL POINT OF TANGENCY VOLTS
H	HOSE BIBB HARDWARE HIGH DENSITY POLYETHYLENE PIPE HOME OWNERS ASSOCIATION HORIZONTAL HORSEPOWER HOUR HEIGHT HEADWALL HIGH WATER LEVEL HIGHWAY HYDRANT	N	NORTH NOT APPLICABLE NORMAL CONTROL LEVEL NORTHEAST NATURAL GROUND NOT IN CONTRACT NO OR # NUMBER NOMINAL NOT TO SCALE NORTHWEST NORMAL HIGH WATER ELEVATION NORMAL WATER LEVEL	W	WEST WITH WATER MAIN WITHOUT WATER/WEATHER PROOF WOOD POWER POLE WATER SURFACE WET SEASON WATER TABLE WEIGHT WATER VALVE WELDED WIRE FABRIC WELDED WIRE MESH
I	INTERSTATE HIGHWAY INTERSECTION ANGLE INSIDE DIAMETER INSIDE FACE INCHES INLET INSERT IRON PIPE IRON ROD IRRIGATION INTERSECT/INTERSECTION INVERT	O	ON CENTER OUTSIDE DIAMETER OR EQUAL OPENING OPPOSITE OVAL REINFORCED CONCRETE PIPE OUTFALL STRUCTURE OVERFLOW OVERHEAD	Y	YARD YEAR
J	JUNCTION BOX JUNCTION JOIST JOINT	P	POINT OF CURVATURE POINT OF COMPOUND CURVATURE POLYETHYLENE PIPE POINT OF INTERSECTION POST INDICATOR VALVE PROPERTY LINE POINT OF BEGINNING PUSH ON JOINT	MISC.	AND AT DELTA

EXISTING SYMBOLS

LINES

BARBED WIRE FENCE	
CENTER LINE	
CHAIN LINK FENCE	
CONTOURS	
EASEMENT LINE	
LOT LINES	
PROPERTY LINE	
RIGHT-OF-WAY	
RETAINING WALL	
SHORELINE	
WETLAND LIMITS	
FENCE OR WALL	

SANITARY SEWER

100 LINEAR FEET SANITARY 8" PVC PIPE @ 0.30% SLOPE	
CLEANOUT	
DBL SEWER LATERAL	
SINGLE SEWER LATERAL	
4" PVC PIPE FORCE MAIN	
MANHOLE	

STORM DRAIN

100 LINEAR FEET STORM 24" RCP @ 0.21% SLOPE	
6" PVC UNDERDRAIN	
DRAINAGE FLOW ARROW	
CURB INLET	
MANHOLE	
MITERED END SECTION	
SLOPE DIRECTIONAL FOR PONDS	
SPOT GRADE	
STORM INLET	

WATER

6" PVC WATER MAIN	
11 1/4" BEND	
22 1/2" BEND	
45" BEND	
90" BEND	
TEE	
CROSS	
FIRE DEPT. CONNECTION	
BACKFLOW PREVENTER	
DOUBLE WATER SERVICE	
SINGLE WATER SERVICE	
GATE VALVE	
FIRE HYDRANT	
METER	
REDUCER	
BLOWOFF	

HIGHWAY & UTILITIES

BENCH MARK	
BOUNDARY CORNER	
CONCRETE	
COUNTY ROADS	
INTERSTATE ROADS	
LIGHT POLE	
MISC ROAD SIGN	
SECTION CORNER	
EDGE OF PAVEMENT W/O CURB	
STATE ROADS	
GUY POLE	
UTILITY POLE	
GAS MAIN	
CABLE TV	
ELECT. BURIED CABLE	
TELEPHONE CABLE	
CURB & PAVEMENT	
OVERHEAD WIRE	

PROPOSED SYMBOLS

LINES

BARBED WIRE FENCE	
CENTER LINE	
CHAIN LINK FENCE	
CONTOURS	
EASEMENT LINE	
EROSION CONTROL	
LOT LINES	
PROPERTY LINE	
RIGHT-OF-WAY	
BUFFER/SETBACK	
RETAINING WALL	
SHORELINE	
WETLAND LIMITS	
FENCE OR WALL	
FLOW PATH	

SANITARY SEWER

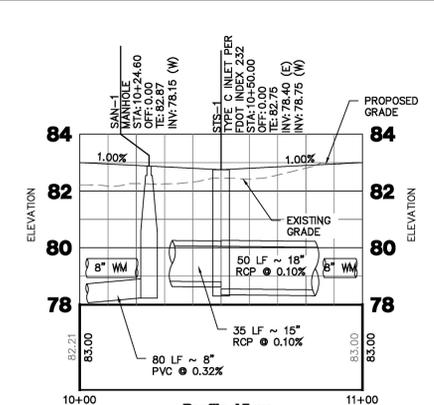
100 LINEAR FEET SANITARY 8" PVC PIPE @ 0.30% SLOPE	
CLEANOUT	
DBL SEWER LATERAL	
SINGLE SEWER LATERAL	
4" PVC PIPE FORCE MAIN	
MANHOLE	
MITERED END SECTION	
SLOPE DIRECTIONAL FOR PONDS	
SPOT GRADE	
STORM INLET	

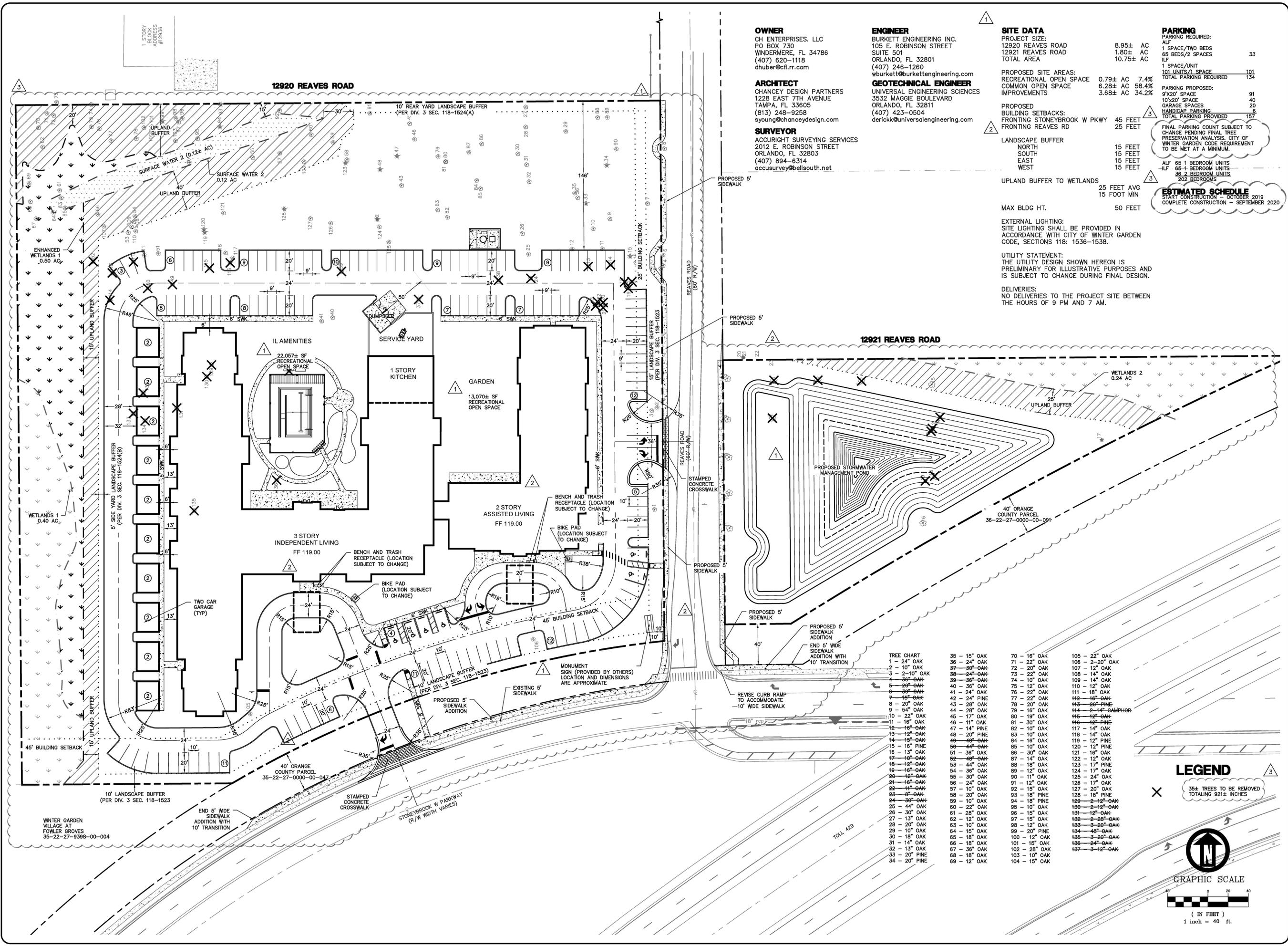
WATER

6" PVC WATER MAIN	
11 1/4" BEND	
22 1/2" BEND	
45" BEND	
90" BEND	
TEE	
CROSS	
FIRE DEPT. CONNECTION	
BACKFLOW PREVENTER	
DOUBLE WATER SERVICE	
SINGLE WATER SERVICE	
GATE VALVE	
FIRE HYDRANT	
METER	
REDUCER	
BLOWOFF	

HIGHWAY, UTILITIES & PROFILES

BOUNDARY CORNER	
CONCRETE	
INTEGRAL CURB w/SWK	
LIGHT POLE	
MISC ROAD SIGN	
EDGE OF PAVEMENT W/O CURB	
CURB & PAVEMENT	
DETAIL REFERENCE	
FF ELEVATION & FHA LOT GRADING TYPE	
HANDICAP PARKING	
PAVEMENT MARKINGS	





OWNER
 CH ENTERPRISES, LLC
 PO BOX 730
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 dhuber@cfi.rr.com

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 TAMPA, FL 33605
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 wburkett@burkettengineering.com

GEOTECHNICAL ENGINEER
 UNIVERSAL ENGINEERING SCIENCES
 3532 MAGGIE BOULEVARD
 ORLANDO, FL 32811
 (407) 423-0504
 derickk@universalengineering.com

SITE DATA
 PROJECT SIZE:
 12920 REAVES ROAD 8.95± AC
 12921 REAVES ROAD 1.80± AC
 TOTAL AREA 10.75± AC

PROPOSED SITE AREAS:
 RECREATIONAL OPEN SPACE 0.79± AC 7.4%
 COMMON OPEN SPACE 6.28± AC 58.4%
 IMPROVEMENTS 3.68± AC 34.2%

PROPOSED BUILDING SETBACKS:
 FRONTING STONEYBROOK W PKWY 45 FEET
 FRONTING REAVES RD 25 FEET

LANDSCAPE BUFFER
 NORTH 15 FEET
 SOUTH 15 FEET
 EAST 15 FEET
 WEST 15 FEET

UPLAND BUFFER TO WETLANDS 25 FEET AVG 15 FOOT MIN

MAX BLDG HT. 50 FEET

EXTERNAL LIGHTING:
 SITE LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF WINTER GARDEN CODE, SECTIONS 118: 1536-1538.

UTILITY STATEMENT:
 THE UTILITY DESIGN SHOWN HEREON IS PRELIMINARY FOR ILLUSTRATIVE PURPOSES AND IS SUBJECT TO CHANGE DURING FINAL DESIGN.

DELIVERIES:
 NO DELIVERIES TO THE PROJECT SITE BETWEEN THE HOURS OF 9 PM AND 7 AM.

PARKING
 PARKING REQUIRED:
 ALF 1 SPACE/TWO BEDS 33
 65 BEDS/2 SPACES 101
 ILF 1 SPACE/UNIT 101
 TOTAL PARKING REQUIRED 134

PARKING PROVIDED:
 9'X20' SPACE 91
 10'X20' SPACE 40
 GARAGE SPACES 20
 HANDICAP PARKING 6
 TOTAL PARKING PROVIDED 167

FINAL PARKING COUNT SUBJECT TO CHANGE PENDING FINAL TREE PRESERVATION ANALYSIS. CITY OF WINTER GARDEN CODE REQUIREMENT TO BE MET AT A MINIMUM.

ALF 65 1 BEDROOM UNITS
 ILF 36 2 BEDROOM UNITS
 202 BEDROOMS

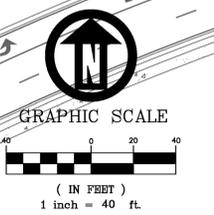
ESTIMATED SCHEDULE
 START CONSTRUCTION - OCTOBER 2019
 COMPLETE CONSTRUCTION - SEPTEMBER 2020

TREE CHART

1 - 24" OAK	35 - 15" OAK	70 - 16" OAK	105 - 22" OAK
2 - 10" OAK	36 - 24" OAK	71 - 22" OAK	106 - 2-20" OAK
3 - 2-10" OAK	37 - 30" OAK	72 - 20" OAK	107 - 12" OAK
4 - 36" OAK	38 - 24" OAK	73 - 22" OAK	108 - 14" OAK
5 - 20" OAK	39 - 36" OAK	74 - 10" OAK	109 - 14" OAK
6 - 30" OAK	40 - 36" OAK	75 - 12" OAK	110 - 12" OAK
7 - 15" OAK	41 - 24" OAK	76 - 22" OAK	111 - 18" OAK
8 - 20" OAK	42 - 24" PINE	77 - 22" OAK	112 - 16" OAK
9 - 54" OAK	43 - 28" OAK	78 - 20" OAK	113 - 20" PINE
10 - 22" OAK	44 - 28" OAK	79 - 16" OAK	114 - 2-14" CAMPHOR
11 - 16" OAK	45 - 17" OAK	80 - 10" OAK	115 - 12" OAK
12 - 16" OAK	46 - 11" OAK	81 - 30" OAK	116 - 12" PINE
13 - 12" OAK	47 - 14" PINE	82 - 10" OAK	117 - 14" OAK
14 - 16" OAK	48 - 20" PINE	83 - 10" OAK	118 - 14" OAK
15 - 16" PINE	49 - 16" OAK	84 - 10" OAK	119 - 12" PINE
16 - 13" OAK	50 - 44" OAK	85 - 10" OAK	120 - 12" PINE
17 - 16" OAK	51 - 36" OAK	86 - 30" OAK	121 - 16" OAK
18 - 12" OAK	52 - 48" OAK	87 - 14" OAK	122 - 12" OAK
19 - 16" OAK	53 - 44" OAK	88 - 18" OAK	123 - 17" PINE
20 - 16" OAK	54 - 36" OAK	89 - 12" OAK	124 - 17" OAK
21 - 16" OAK	55 - 30" OAK	90 - 11" OAK	125 - 24" OAK
22 - 11" OAK	56 - 24" OAK	91 - 12" OAK	126 - 17" OAK
23 - 6" OAK	57 - 10" OAK	92 - 15" OAK	127 - 20" OAK
24 - 30" OAK	58 - 20" OAK	93 - 18" PINE	128 - 18" PINE
25 - 44" OAK	59 - 10" OAK	94 - 18" PINE	129 - 2-12" OAK
26 - 30" OAK	60 - 22" OAK	95 - 10" OAK	130 - 2-12" OAK
27 - 13" OAK	61 - 28" OAK	96 - 15" OAK	131 - 12" OAK
28 - 20" OAK	62 - 12" OAK	97 - 15" OAK	132 - 2-20" OAK
29 - 10" OAK	63 - 10" OAK	98 - 12" OAK	133 - 2-20" OAK
30 - 18" OAK	64 - 10" OAK	99 - 20" PINE	134 - 48" OAK
31 - 14" OAK	65 - 18" OAK	100 - 12" OAK	135 - 2-20" OAK
32 - 13" OAK	66 - 18" OAK	101 - 15" OAK	136 - 24" OAK
33 - 20" PINE	67 - 36" OAK	102 - 28" OAK	137 - 3-12" OAK
34 - 20" PINE	68 - 18" OAK	103 - 10" OAK	
	69 - 12" OAK	104 - 15" OAK	

LEGEND

X 35± TREES TO BE REMOVED TOTALING 921± INCHES



Burkett
 engineering
 CONSULTANTS
 CIVIL ENGINEERING
 105 E. Robinson Street, Suite 501 Orlando, Florida 32801
 (407) 246-1260 Fax (407) 246-0423
 www.burkettengineering.com

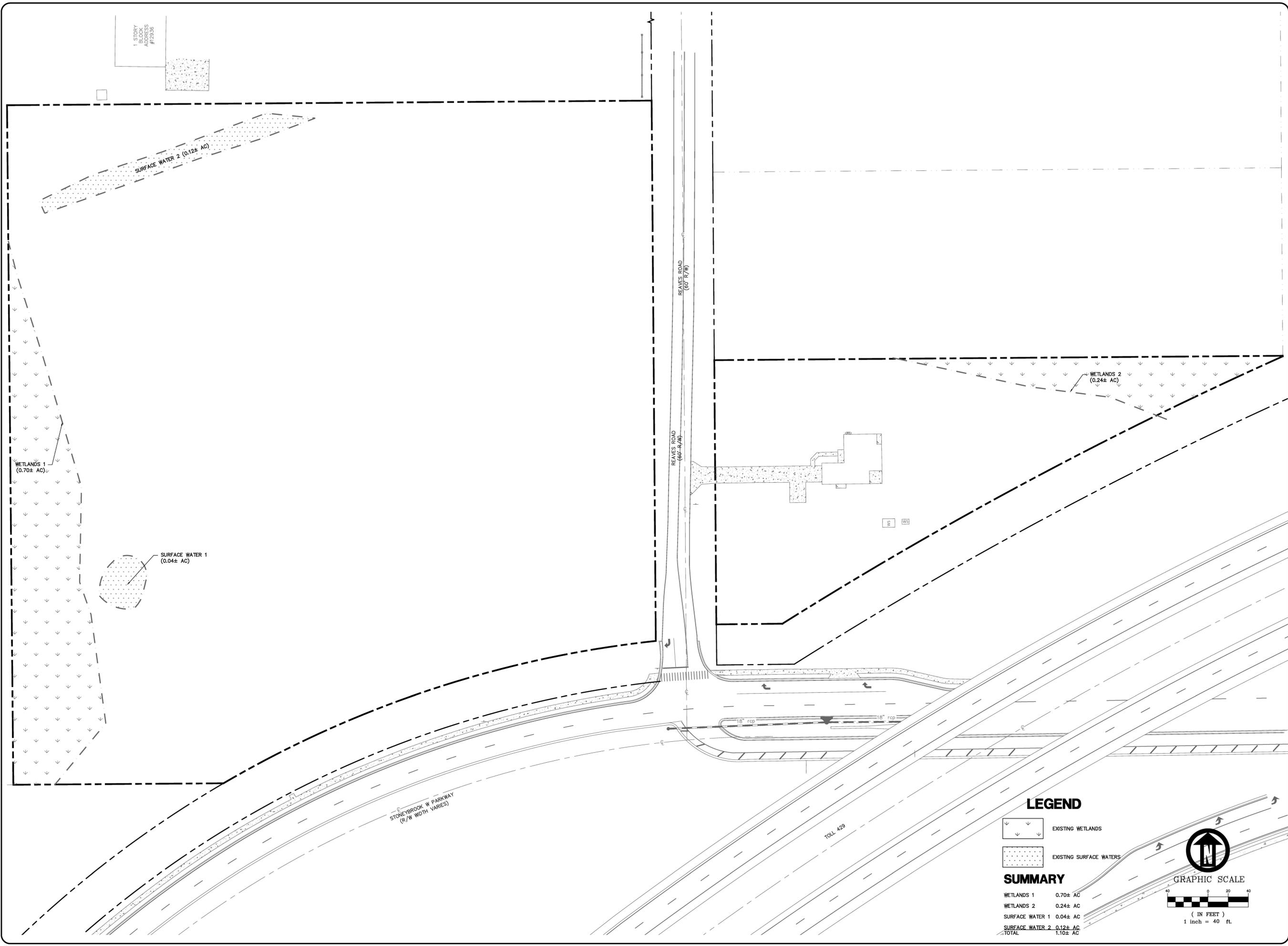
DATE	DESCRIPTION	BY	CHK	APP
06/13/19	REVISED PER CITY OF WINTER GARDEN COMMENTS	JCM	WEB	WEP
07/17/19	REVISED PER CITY OF WINTER GARDEN COMMENTS	JCM	WEB	WEP
07/19/19	REVISED PER CITY OF WINTER GARDEN COMMENTS	JCM	WEB	WEP

STONEYBROOK SENIOR LIVING PUD
 FOR
CH ENTERPRISES, LLC
SITE PLAN

DATE: 2/14/19
 PROJECT NO.: 1809.10
 DRAWN BY: JCM
 DESIGNED BY: WEB
 CHECKED BY: WEB
 ENGINEER IN CHARGE: WILLIAM E. BURKETT, PE

REG. # 36043
 BURKETT ENGINEERING, INC.
 CERT. OF AUTH. NO. 7105

SHEET NO. **3**
 OF 6



1 STORY
ADDRESS
#12936

SURFACE WATER 2 (0.12± AC)

WETLANDS 1
(0.70± AC)

SURFACE WATER 1
(0.04± AC)

WETLANDS 2
(0.24± AC)

REAVES ROAD
(60' R/W)

REAVES ROAD
(60'-R/W)

STONEBROOK W PARKWAY
(R/W WIDTH VARIES)

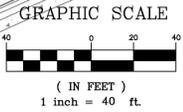
TOLL 429

LEGEND

-  EXISTING WETLANDS
-  EXISTING SURFACE WATERS

SUMMARY

WETLANDS 1	0.70± AC
WETLANDS 2	0.24± AC
SURFACE WATER 1	0.04± AC
SURFACE WATER 2	0.12± AC
TOTAL	1.10± AC



DATE	DESCRIPTION	REV	BY	CHK	DATE
05/15/19	REVISED PER CITY OF WINTER GARDEN COMMENTS	1	WEB	JCM	05/15/19
05/15/19	REVISED PER CITY OF WINTER GARDEN COMMENTS	2	WEB	JCM	05/15/19

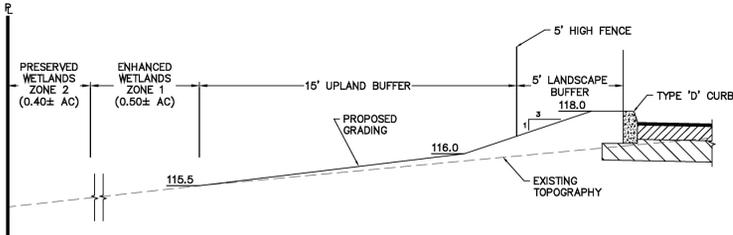
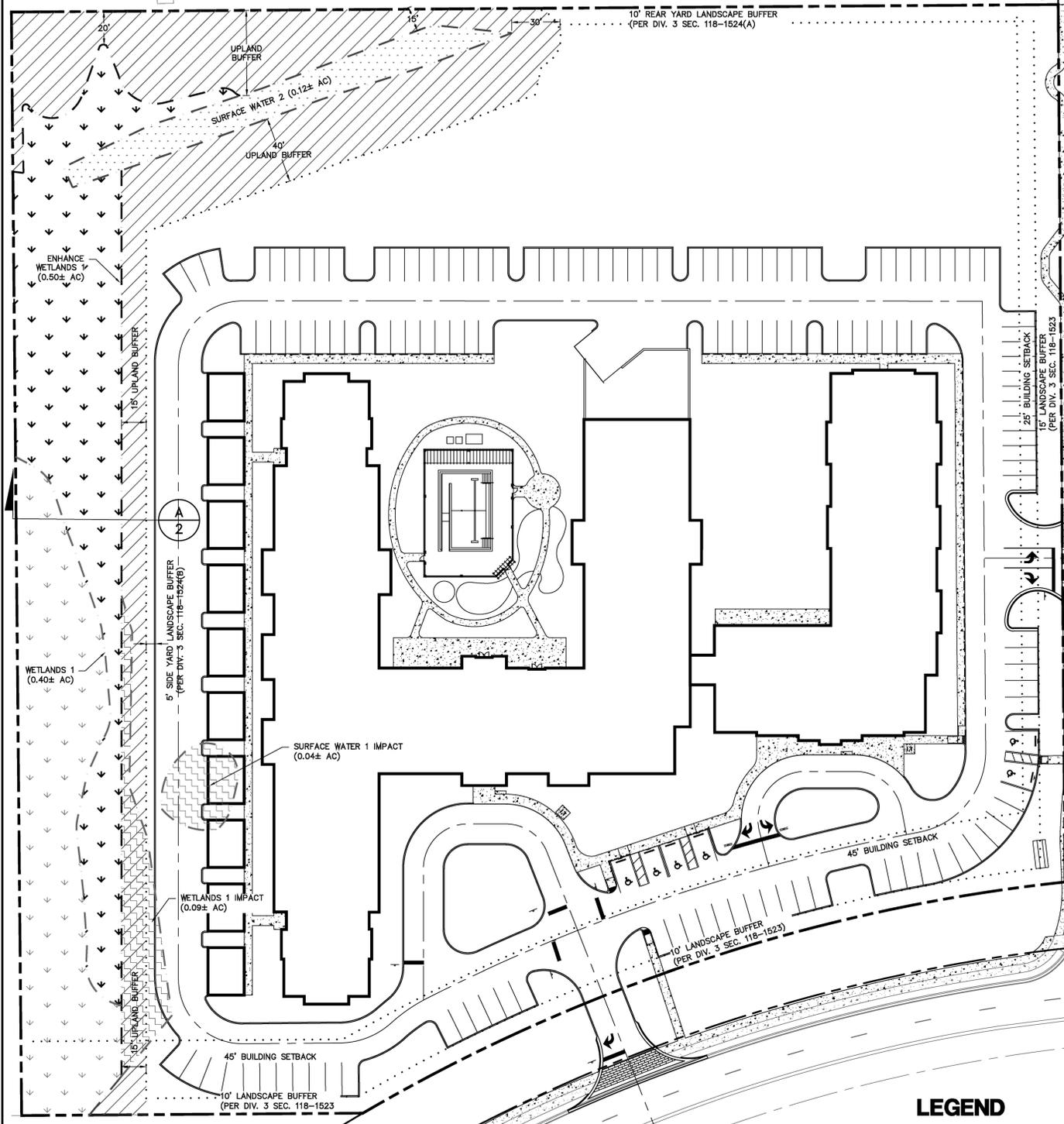
**STONEBROOK SENIOR LIVING PUD
FOR
CH ENTERPRISES, LLC
PRE-DEVELOPMENT CONDITIONS**

DATE: 2/14/19
PROJECT NO.: 1809.10
DRAWN BY: JCM
DESIGNED BY: WEB
CHECKED BY: WEB
ENGINEER IN CHARGE: WILLIAM E. BURKETT, PE

REG. # 36043
BURKETT ENGINEERING, INC.
CERT. OF AUTH. NO. 7105

SHEET NO.
3A
OF 6

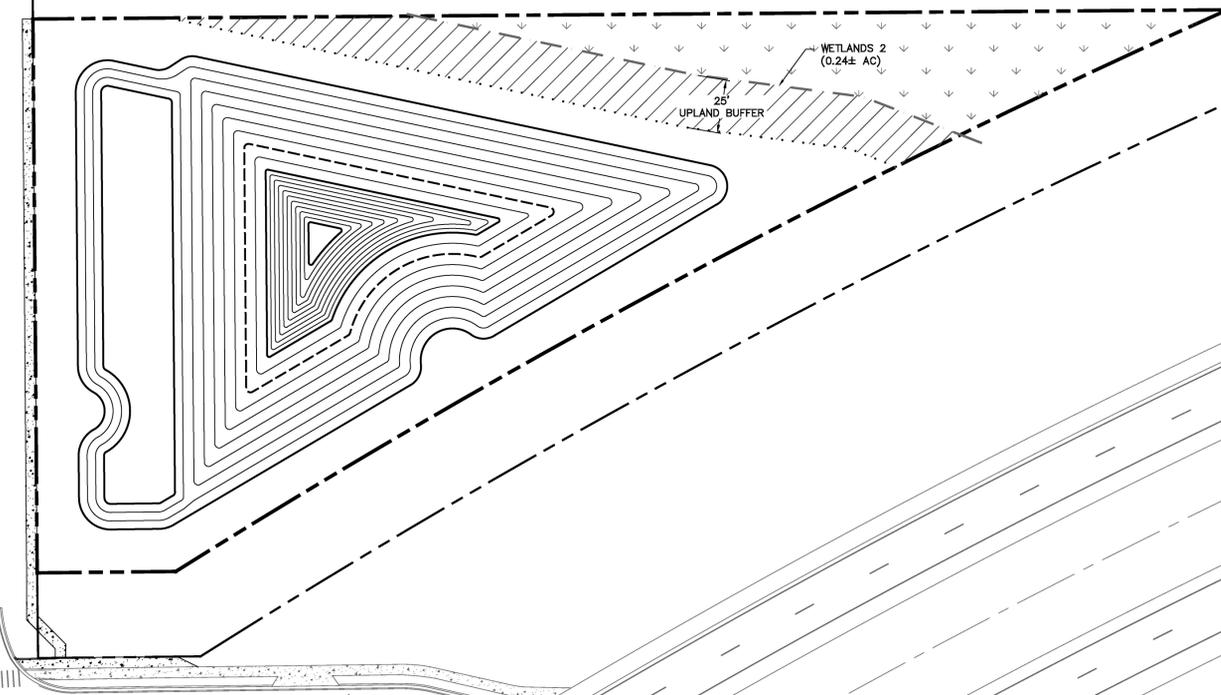
1 STORY ADDRESS #12936



A TYPICAL PLANTING SECTION
NOT TO SCALE

Species	Common Name	Size	Spacing
<i>Juncus effusus</i>	Soft rush	Bareroot	3' on center
<i>Spartina bakeri</i>	Sand cordgrass	Bareroot	3' on center
<i>Pontederia cordata</i>	Pickerelweed	Bareroot	3' on center
<i>Sagittaria latifolia</i>	Duck potato	Bareroot	3' on center
<i>Acer rubrum</i>	Red maple	3 gallon	10' on center
<i>Liquidambar styraciflua</i>	Sweetgum	3 gallon	10' on center
<i>Myrica cerifera</i>	Wax myrtle	3 gallon	10' on center
<i>Eriarostis elliottii</i>	Elliott's lovegrass	1 gallon	3' on center
<i>Callicarpa americana</i>	American beautyberry	3 gallon	3' on center
<i>Hamelia patens</i>	Firebush	3 gallon	3' n center
<i>Quercus virginiana</i>	Live oak	3 gallon	10' on center
<i>Quercus laurifolia</i>	Laurel oak	3 gallon	10' on center
<i>Pinus elliottii</i>	Slash pine	3 gallon	10' on center

The species listed are an anticipated species list. If the plants listed are not available, a similar species will be used.



LEGEND

- EXISTING WETLANDS
- EXISTING SURFACE WATERS
- ENHANCED WETLANDS
- IMPACTED WETLAND & SURFACE WATER
- UPLAND BUFFER

SUMMARY

IMPACT TO WETLANDS 1	0.09± AC
IMPACT TO SURFACE WATER 1	0.04± AC
TOTAL IMPACT	0.13± AC
WETLANDS 1	0.40± AC
ENHANCED WETLANDS 1	0.50± AC
WETLANDS 2	0.24± AC
SURFACE WATER 2	0.12± AC
TOTAL	1.26± AC

UPLAND BUFFER REQUIRED

25' AVERAGE & 15' MINIMUM
LENGTH OF WETLAND 1238 LF
1238 LF X 25' AVERAGE = 30,950 SF UPLAND BUFFER AREA REQUIRED
UPLAND BUFFER AREA PROVIDED = 31,173 SF

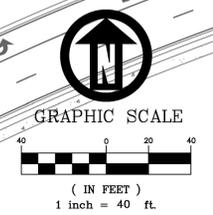
NO.	DESCRIPTION	DATE

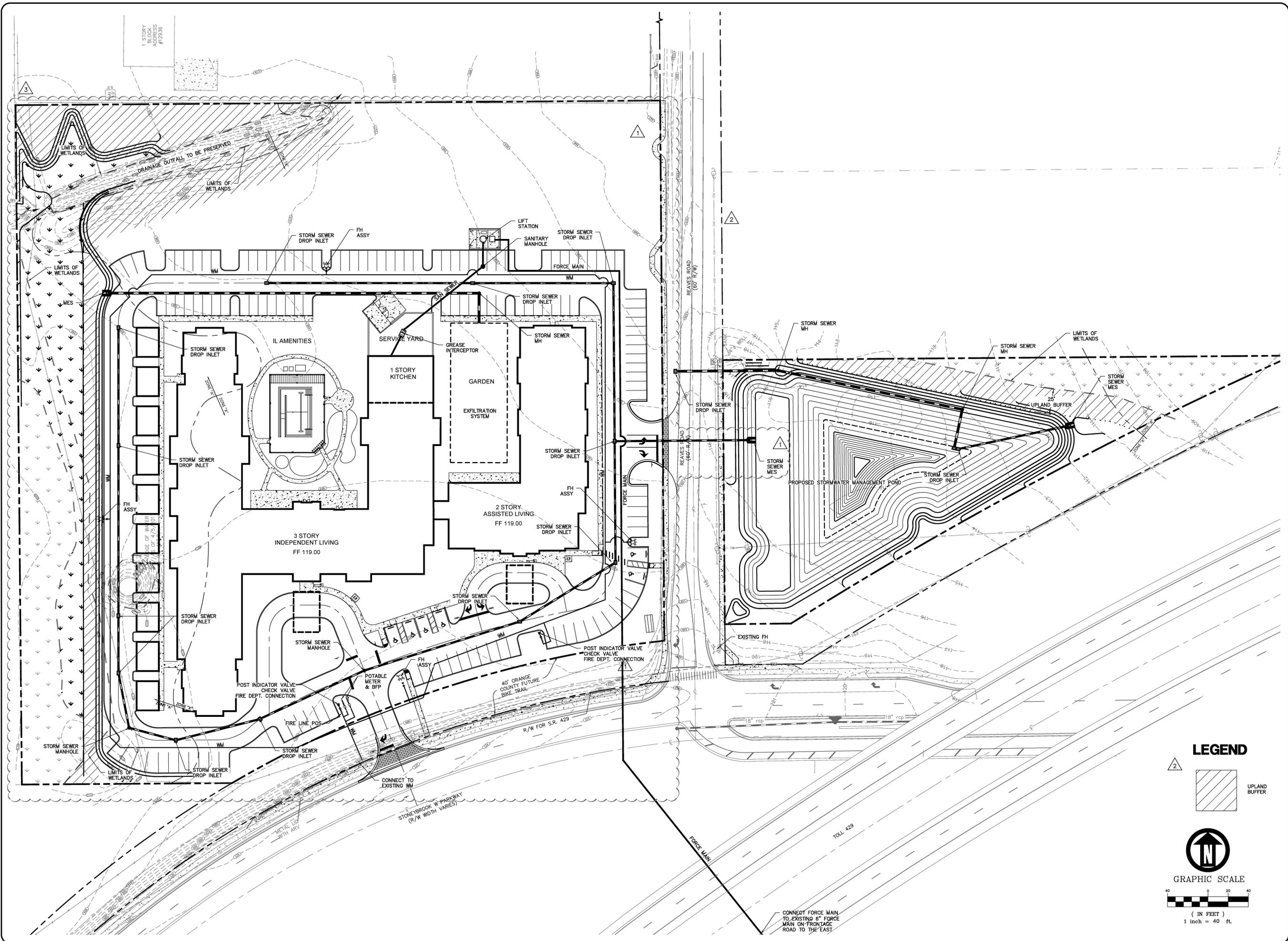
STONEBROOK SENIOR LIVING PUD
FOR
CH ENTERPRISES, LLC
POST-DEVELOPMENT CONDITIONS

DATE: 2/14/19
PROJECT NO.: 1809.10
DRAWN BY: JCM
DESIGNED BY: WEB
CHECKED BY: WEB
ENGINEER IN CHARGE: WILLIAM E. BURKETT, PE

REG. # 36043
BURKETT ENGINEERING, INC.
CERT. OF AUTH. NO. 7105

SHEET NO.
3B
OF 6





DATE	DESCRIPTION	BY	CHK	APP
05/13/19	REVISED PER CITY OF WINTER GARDEN COMMENTS	JCM	WCB	WCB
05/13/19	REVISED PER CITY OF WINTER GARDEN COMMENTS	JCM	WCB	WCB
05/13/19	REVISED PER CITY OF WINTER GARDEN COMMENTS	JCM	WCB	WCB

STONEBROOK SENIOR LIVING PUD
FOR
CH ENTERPRISES, LLC
PRELIMINARY UTILITY AND DRAINAGE PLAN

DATE: 2/14/19
PROJECT NO.: 1809.10
DRAWN BY: JCM
DESIGNED BY: WCB
CHECKED BY: WCB
ENGINEER IN CHARGE: WILLIAM E. BURKETT, PE

REG. # 36043
BURKETT ENGINEERING, INC.
CERT. OF AUTH. NO. 7105

SHEET NO. **4**
OF 6

LEGEND

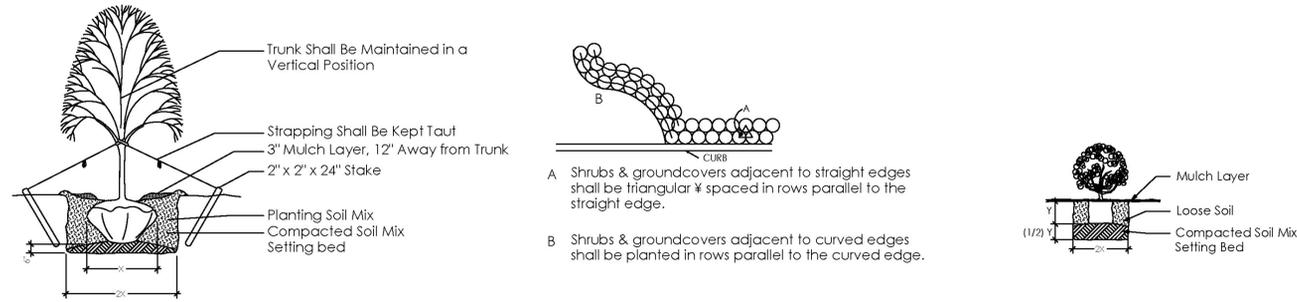
2 UPLAND BUFFER

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIZER BOJACK LANDSCAPE ARCHITECTURE LLC and were created, evolved and developed for the use on and connection with this specific project.

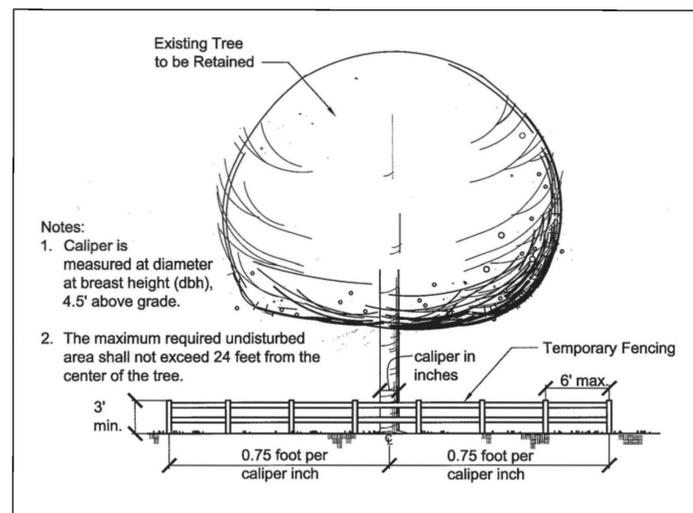
LANDSCAPE PLANTING DETAILS



LANDSCAPE GENERAL NOTES

1. The Landscape Contractor shall insure that this work does not interrupt established or projected drainage patterns. The Landscape Contractor shall insure adequate vertical drainage in all plant beds and planters. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage.
2. The Landscape Contractor shall be responsible for all materials and all work as called for on the landscape plans and in the landscape specifications. The list of plant quantities accompanying the plans shall be used as a guide only. Contractor shall verify all quantities and report any discrepancies at the time of bidding.
3. All plant materials shall be graded Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida, unless otherwise noted.
4. All plant beds and tree rings shall be top dressed with a 3" minimum depth of pine bark nuggets.
5. The Landscape Contractor shall be wholly responsible for stability and plumb condition of all trees and shrubs. Staking of trees or shrubs, if desired or requested by the Landscape Architect or owner, shall be done utilizing a method agreed upon by the Landscape Architect.
6. No fill material or use of heavy equipment around existing trees is allowed. Existing trees are to be protected by a wood barricade erected in compliance with local codes.
7. All grades, dimensions and existing conditions shall be verified by the Contractor on site before construction begins. Any discrepancies shall be brought to the attention of the Landscape Architect.
8. The Landscape Contractor shall review architectural/engineering plans to become thoroughly familiar with surface and subsurface utilities.
9. The Landscape Contractor shall coordinate with the lighting and irrigation contractors regarding the timing of the installation of plant material.
10. Every possible safeguard shall be taken to protect building surfaces, equipment and furnishings. Landscape Contractor shall be responsible for any damage or injury to person or property which may occur as a result of his negligence in the execution of work.

TREE PROTECTION DETAILS



TREE PROTECTION NOTES

- All protected tree shall have the trunk and roots protected by protective barriers erected prior to development activity in accordance with the following:
1. Protective barriers constructed of wood rails, chain link fabric or orange plastic safety netting shall be placed around the tree or trees to form a continuous barricade at least three feet high. Ideally such barriers will form a protection zone described by the drip line.
 2. Signs or other markings shall be placed on all sides of the protective barrier to designate the protected area.
 3. Protective barriers shall remain in place until landscape operations begin or until construction in the immediate area has been completed.
 4. Existing street trees located within rights-of-way interior to, or adjacent to, the development shall have protective barriers before site work begins.
 5. Trenching for underground utilities shall be prohibited inside the protective barriers. If underground utilities must be routed through the protected area, tunneling shall be required. All landscape preparation in these areas shall be conducted by hand, except for mechanical tunneling as needed.
 6. No vehicles, equipment, materials or fill shall be placed or stored within the protected area.

PLANT MATERIALS LEGEND

SYMBOL	KEY	COMMON/BOTANICAL NAME	SPECIFICATIONS/DESCRIPTION
	PS	Sylvester 'Robusta' Palm <i>Phoenix sylvestris 'Robusta'</i>	16' C.T., B&B, Specimens with Diamond Cut Trunks
	SP	Sabal Palm <i>Sabal palmetto</i>	8' C.T., 12' C.T. & 16' C.T., B&B, FL #1
	QV	Live Oak <i>Quercus virginiana</i>	4" Cal., 16' - 18' Ht., FL #1, B&B or 100 Gal.
	MG	D.D. Blanchard Magnolias <i>Magnolia grandiflora 'D.D. Blanchard'</i>	3" Min. Cal., 13' Min. Ht., FL #1, B&B or 100 Gal.
	TD	Bald Cypress <i>Taxodium distichum</i>	3" Min. Cal., 12' Min. Ht., FL #1, B&B or 65 Gal.
	LJ	Ligustrum Tree <i>Ligustrum japonicum</i>	3"-3 1/2" Total Cal., Multi Trunk, 8' O.A., FL #1, B&B
	IV	Pride of Houston Yaupon Holly Tree <i>Ilex vomitoria 'Pride of Houston'</i>	3"-3 1/2" Total Cal., Multi Trunk, 8' O.A., FL #1, B&B
	LI	Standard Crape Myrtle <i>Lagerstroemia indica</i>	2" Min. Cal., 11' Min. Ht., Standard Trunk, 65 Gal.
	AR	Red Maple Tree <i>Acer rubrum</i>	2" Cal., 11' Min. Ht., 30 - 45 Gal.
	IC	Oak Leaf Holly <i>Ilex x 'Conaf'</i>	2" Cal., 6' Ht., 30 Gal.
	PR	Pygmy Date Palm <i>Phoenix roebellennii</i>	4' - 6' Ht., Triple Stem, Matching Specimens
	CA	Purple Crinum Lily <i>Crinum augustum 'Queen Emma'</i>	3' O.A., 15 Gal., Matching Specimens
	PM	Podocarpus <i>Podocarpus macrophyllus</i>	36" Min. Ht., 7 Gal., 24" O.C.
	VO	Walter's Viburnum <i>Viburnum obovatum</i>	36" Min. Ht., 7 Gal., 24" O.C.
	MC	Pink Muhly Grass <i>Muhlenbergia capillaris</i>	18" - 24" Ht., 3 Gal., 30" O.C.
	SA	Dwarf Variegated Schefflera <i>Schefflera arboricola</i>	16" - 18" Ht., 3 Gal., 24" O.C.
	PX	Xanadu Philodendron <i>Philodendron 'Xanadu'</i>	Full, 3 Gal., 24" O.C.
	IVN	Dwarf Yaupon Holly <i>Ilex vomitoria 'Nana'</i>	8" - 12" Ht., 3 Gal., 24" O.C.
	RD	Drift Rose <i>Rosa 'Drift'</i>	15" - 18" Ht., 3 Gal., 24" O.C.
	DE	Gold Mound <i>Duranta erecta 'Goldmound'</i>	Full, 3 Gal., 24" O.C.
	RIA	White Indian Hawthorne <i>Raphiolepis indica 'Alba'</i>	Full, 3 Gal., 24" O.C.
	LEG	Emerald Goddess Liriope <i>Liriope 'Emerald Goddess'</i>	Full, 1 Gal., 18" O.C.
	TAM	Dwarf Asiatic Jasmine <i>Trachelospermum asiatica 'Minima'</i>	Full, 1 Gal., 18" O.C.
	SOD	St. Augustine 'Floratum' Sod <i>Stenotaphrum secundatum 'Floratum'</i>	Solid Sod, Free of Noxious Weeds
	MULCH	Pine Bark Mulch	3" Min. Depth, All Planting Areas



PRELIMINARY LANDSCAPE LEGEND, NOTES & PLANTING DETAILS



SCHWEIZER
BOJACK
LANDSCAPE
ARCHITECTURE

LANDSCAPE & IRRIGATION DESIGN
PO BOX 94883 • MIAMI, FLORIDA 33174 • PH. (407) 376-1423
LICENSE NO. LC2600487 • DESIGN@SCHWEIZERBOJACK.COM

STONEBROOK SENIOR LIVING
12920 REAVES ROAD - CITY OF WINTER GARDEN, FL 34787

6/11/19
5/15/19
3/08/19

SHEET NUMBER

L-2

Exhibit "C"

COVER PAGE

STONEBROOK SENIOR LIVING Architectural Renderings

(2 PAGES - ATTACHED)



ENTRY TO INDEPENDENT LIVING BUILDING



NORTH SIDE - INDEPENDENT LIVING BUILDING



INDEPENDENT LIVING BUILDING - POOL AND AMENITY

WINTER GARDEN SENIOR HOUSING

Senior Resort Lifestyle Community

APPROXIMATE ADDRESS
 12900 - 12909 REAVES ROAD
 WINTER GARDEN, FLORIDA 34787

No.	Date	Description
PROJECT NO	17160	
DATE ISSUED	10/11/2018 1:48:13 PM	
SCALE		

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SHEET TITLE

EXTERIOR RENDERINGS

A-901



ENTRY TO ASSISTED LIVING BUILDING



ASSISTED LIVING EASTERN FACADE

WINTER GARDEN SENIOR
HOUSING

Senior Resort Lifestyle
Community

APPROXIMATE ADDRESS
12900-12909 REAVES ROAD
WINTER GARDEN, FLORIDA 34797

No.	Date	Description
PROJECT NO	17160	
DATE ISSUED	10/11/2018 1:48:18 PM	
SCALE		
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SHEET TITLE		
EXTERIOR RENDERINGS		
A-902		

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SHEET TITLE

EXTERIOR RENDERINGS

A-902

Exhibit "D"

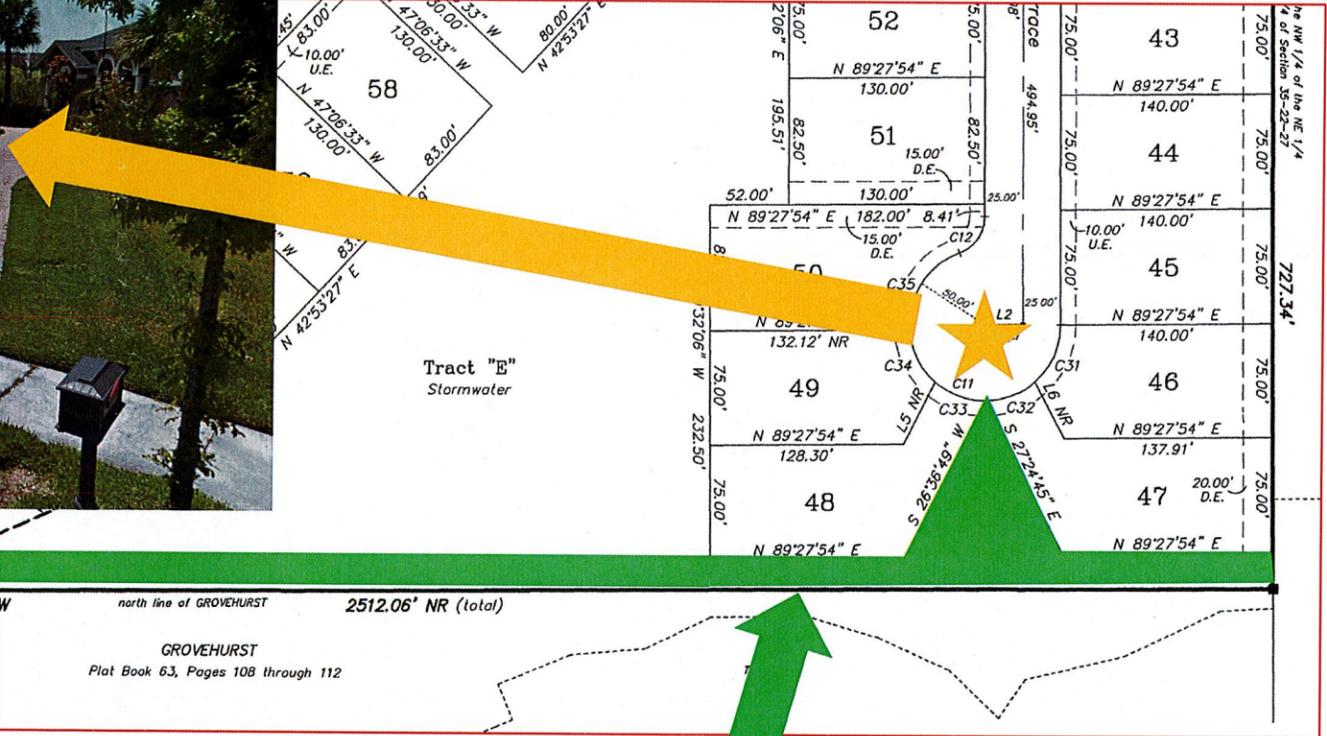
COVER PAGE

STONEYBROOK SENIOR LIVING Additional Foxcrest Subdivision Plantings

(1 PAGE - ATTACHED)

12721 Dallington Terrace
Winter Garden, Florida
Google
Street View - Apr 2011

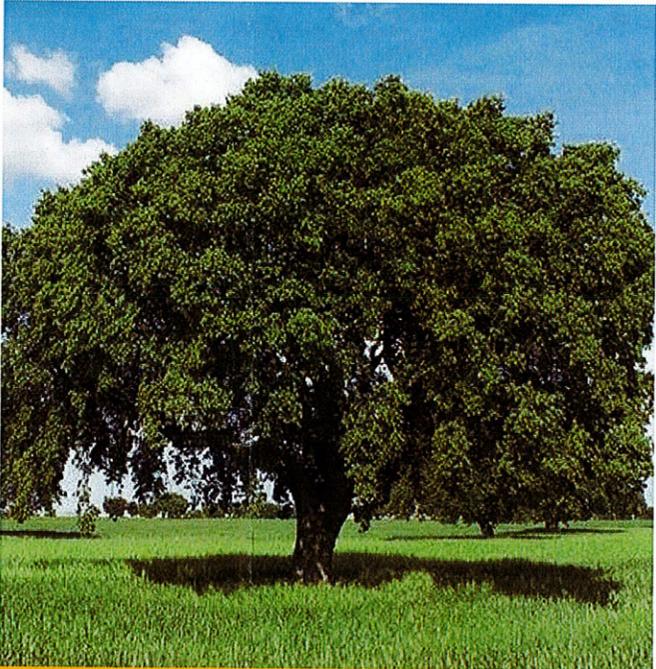
Current View
to the South



Combo of tree types 50' on center would create a fast growing, evergreen backdrop that is low maintenance to hide all adjacent development.



Magnolia / grows to 40 – 60' Tall



Live Oak / grows to 60 – 80' Tall

Possible
Planting Area



Wax Myrtle / grows to 6 – 12' Tall

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

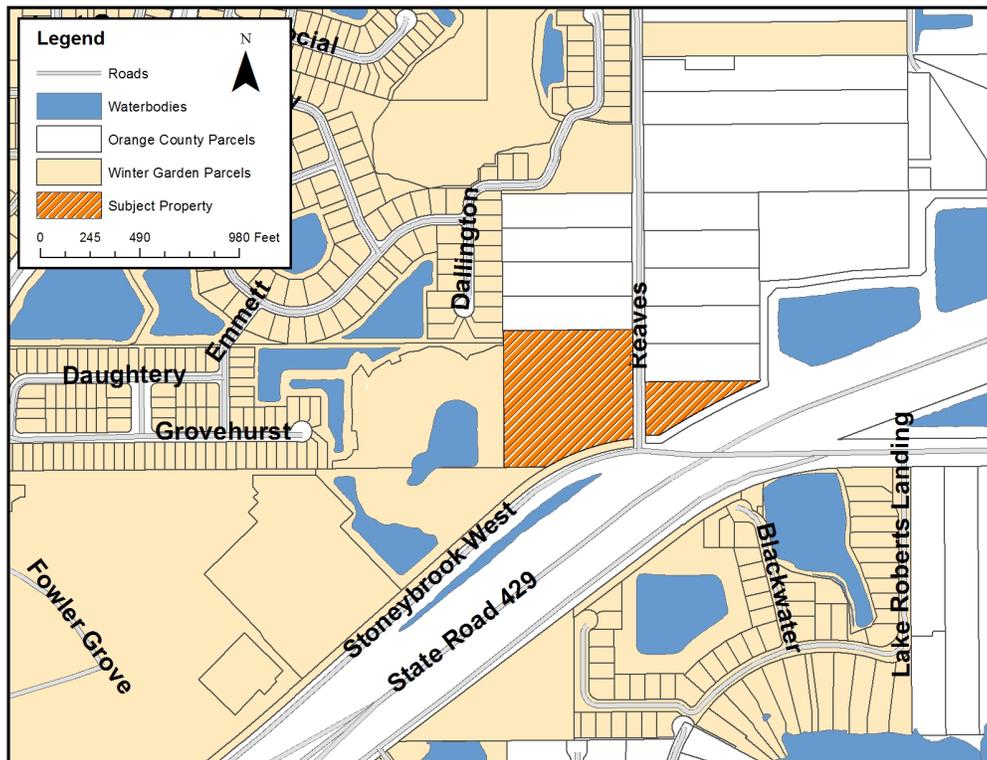
TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: MARCH 4, 2020
SUBJECT: ANNEXATION, FUTURE LAND USE, PUD ZONING
12920 & 12921 Reaves Road (10.75+/- ACRES)
PARCEL ID # 35-22-27-0000-00-023 (12920 REAVES ROAD: ORDS 19-26, -27, -30)
36-22-27-1773-00-060 (12921 REAVES ROAD: ORDS 19-28, -29, -30)

APPLICANT: CH Enterprises, LLC // Burkett Engineering, Inc.

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located on the northwest and northeast corners of Reaves Road and Stonybrook West Parkway and is approximately 10.75 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to annex two individual parcels from Orange County and assign a City Future Land Use Designation to each of them. One is a 1.80 +/- acre property located on the northeast corner of Reaves Road and Stoneybrook West Parkway and one is a 8.95 +/- acre property located on the northwest corner of Reaves Road and Stoneybrook West Parkway. The applicant is also requesting to rezone both properties – a combined 10.75 acres of land - to Planned Unit Development and amend the future land use designation to Medium Density Residential.

The subject property is located in Orange County and carries the zoning designations A-1 (Agricultural) and R-CE-2 (Rural Residential) in Orange County. The subject property has an Orange County Future Land Use Designation of Rural.

EXISTING USE

The western portion of the subject property is currently undeveloped, with a dense stand of trees and other vegetation to the north and a small portion of a larger wetland to the west. The eastern portion of the subject property is currently developed with a +/- 2,000 square foot one-story single family residence built in 1994.

ADJACENT LAND USE AND ZONING

The properties to the north are developed with single family residences, are zoned R-CE-2, and are located in Unincorporated Orange County. The properties to the west of the subject property include a lot that features a large wetland area that is part of the Grovehurst Subdivision, an HOA tract that is owned by the Foxcrest Subdivision's HOA, and a lot developed with a single-family residence that is in the Foxcrest Subdivision. All of these parcels are zoned PUD and are located within Winter Garden's municipal limits. To the south of the subject property is a large right-of-way area that includes Stoneybrook West Parkway and a segment of the 429 Western Beltway. The land to the east of the subject property is also HOA property, including a parcel owned by Orange County that is intended to be developed with a multi-use trail and a series of ponds that capture stormwater runoff from the 429 Western Beltway.

PROPOSED USE

On the western parcel, the applicant proposes to develop the 8.95 ± acre site with 3 story independent living building and a two story assisted living building as well as 10 detached 2-car garage buildings. The development would have a total of 166 units: 65 assisted living units and 101 independent living units. The project also includes common space and recreation areas with amenities such as a pool and garden. The proposal includes 155 total parking spaces, two drop-off areas, and other associated site elements such as drive aisles, and landscaping. A large segment of the existing vegetated area to the north will be maintained as a buffer between the proposed development and the adjacent residential properties. Impacts to the adjacent wetland are also proposed. All wetlands shall be shown and addressed at the time of site plan submittal and if approved for removal shall be mitigated with the City as the lead regulatory agency.

The 1.80 ± acre eastern parcel will feature the property's stormwater management pond. The proposed development will maintain many of this parcel's existing trees and preserve the on-site wetlands.

PREVIOUS BOARD HEARINGS

The proposed annexation, FLU amendment, and PUD rezoning ordinances were first presented to the Planning & Zoning Board on July 8, 2019. At that meeting, a number of adjacent residents, who had not attended a previously-held Community Meeting, expressed concerns about the impacts of the proposed project including traffic, noise, property values, building height, wetlands, stormwater management, and project intensity. The project was tabled by the Planning & Zoning Board to a date uncertain, allowing time for an additional community meeting to be held.

When the annexation, FLU amendment, and PUD rezoning ordinances came back to the Planning & Zoning Board on October 7, 2019, Staff changed their recommendation from approval to denial based on the inability of the applicant to sufficiently satisfy the concerns of the surrounding property owners before the meeting date. After a presentation by the applicants and hearing more concerns from surrounding property owners, the board voted to approve the ordinances, going against Staff's recommendation.

The annexation, FLU amendment, and PUD rezoning ordinances were then heard by the City Commission on October 10, 2019, with Staff again recommending denial. The applicants once again made a presentation and several surrounding property owners again spoke in opposition. The City Commission voted to table the item to further consider the new information presented by the applicant as well as give the applicant more time to continue to work with the surrounding property owners to see if any compromises could be agreed upon.

Since then, the applicant and the City have worked closely to try and come to a resolution to mitigate some of the surrounding property owners' concerns. To this end, several additional stipulations will be added to the PUD including installing new landscaping on a common area tract in the Foxcrest neighborhood, directly south of the Dallington Terrace cul-de-sac to further screen the proposed development. The finished floor elevation (FFE) will be required to be set at 119 to ensure no more of the building roofs will be visible to the surrounding community than what is proposed. All construction activities will be required to stop at sunset, and the heavily wooded conservation area to the north of the property will be put into a permanent conservation easement.

NEW FUTURE LAND USE REQUEST

The City initiated a request to assign a different Future Land Use (FLU) designation for the subject property than the one approved by the Planning & Zoning Board on October 7, 2019. Instead of the previously-approved request to amend the FLU from Orange County Rural to City Low Density Residential, the new request is to amend the FLU to City Medium Density Residential. The FLU change comes after further consideration of the "Independent Living" (IL) units, with the City drawing the conclusion that the IL units are definitionally more consistent with traditional dwelling units than the "Assisted Living" (AL) units, which function more as patient beds in a medical facility.

However, IL units typically generate fewer vehicular trips than traditional apartment units. So only permitting age-restricted IL units in the property's PUD zoning regulations will ensure the proposed development remains a reasonable and low intensity use of the land. It also ensures the

project would not generate a significant increase in traffic volume beyond that typically generated by single-family residential uses, and represents a use that is compatible with the area.

***Policy 1-1.2.4: Medium Density Residential.** Properties designated with the Medium Density Residential land use category are required to be developed at a gross residential density between 3 to 10 dwelling units per gross acre. Medium Density Residential areas shall have access to a major collector, or higher functional classification, street. Development should provide amenities including recreation, open space, and buffering to provide additional protection if there are adjacent low density residential areas. The zoning classifications that are consistent with the Medium Density Residential Classification are PUD, R-2, R-3, and INT. Churches and schools are allowable uses in the Medium Density areas that are zoned R-2 and R-3.*

The Medium Density Residential FLU designation permits a maximum residential density of 10 dwelling units per acre (du/ac). The proposed development would have 101 IL units on 10.75 acres, which would mean the residential density would be 9.4 du/ac. Furthermore, several of the zoning districts that are listed in the Comprehensive Plan as consistent with Medium Density Residential include “Hospitals, restoriums, convalescent homes, nursing homes” as special exception uses.

PUBLIC FACILITY ANALYSIS

If the property is developed as proposed by the applicant, vehicular access will be provided in the form of a right-out driveway on Stoneybrook West Parkway and a full-access driveway on Reaves Road. The property will also have pedestrian connectivity from the adjacent sidewalks along Stoneybrook West Parkway and Reaves Road. The applicant will also expand the existing sidewalk along Stoneybrook West Parkway from 5’ to 10’ to establish a segment of the proposed mixed-use trail.

Water, sewer, and reclaimed utilities by the City of Winter Garden will be required for any new development of the property. At such time that the property is developed, all necessary utility lines will be extended and connections made, all extension and connection costs shall be borne by the property owner.

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

All concurrency requirements identified by the City of Winter Garden Code of Ordinances and Comprehensive Plan will be met by the proposed development.

SUMMARY

The proposed development is a reasonable and low intensity use of the land and would not generate a significant increase in traffic volume beyond that typically generated by single-family residential uses, and represents a use that is compatible with the area. The applicant has worked diligently to address the concerns of adjacent property owners, which included adding additional requirements to the PUD regarding landscaping and buffering, construction hours, and a set

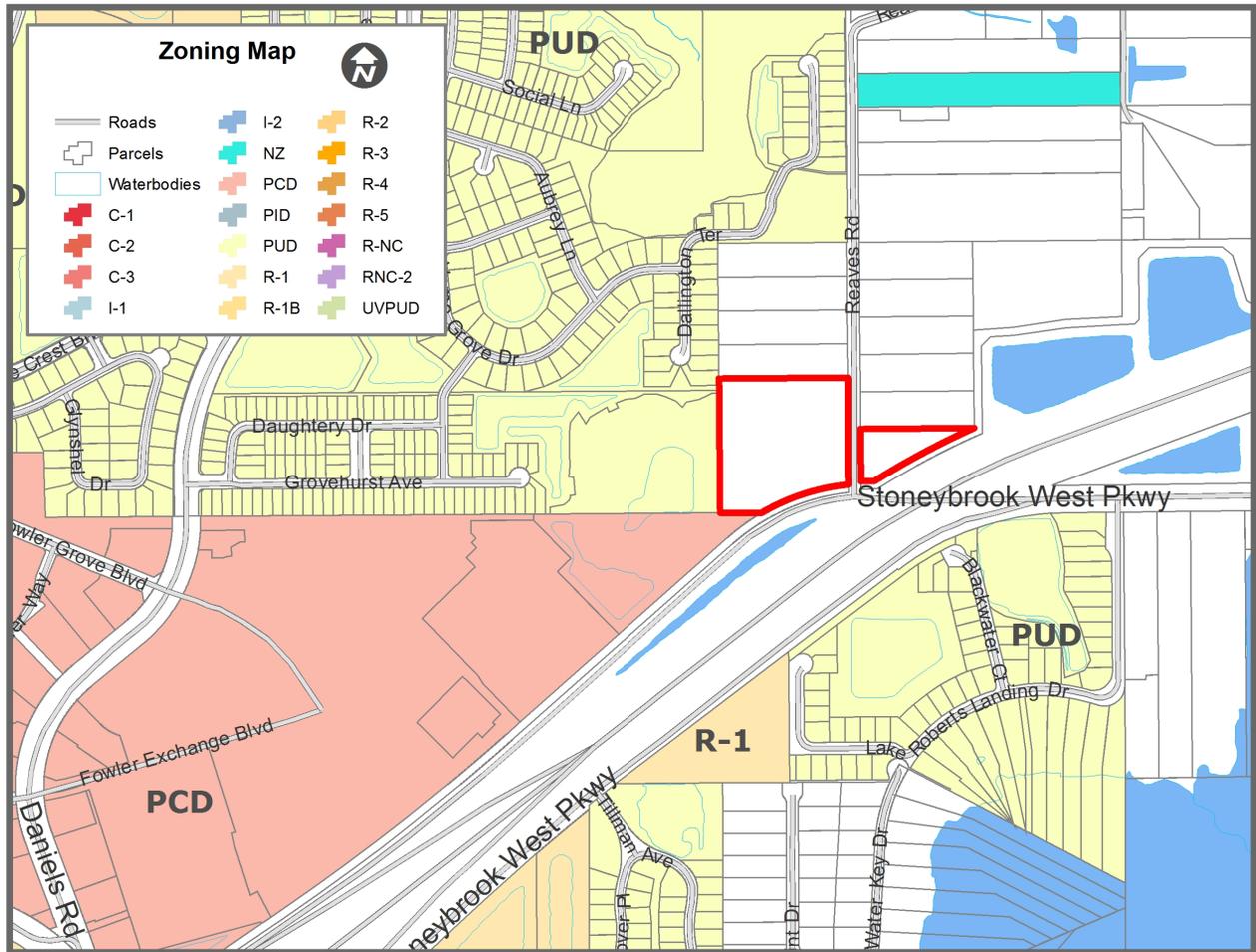
finish floor elevation.

The proposed annexations, future land use designations of Medium Density Residential, and PUD zoning is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances. Staff recommends approval of the proposed Ordinances 19-26, 19-27, 19-28, 19-29, and 19-30 subject to the conditions outlined therein.

AERIAL PHOTO
12920 & 12921 Reaves Road

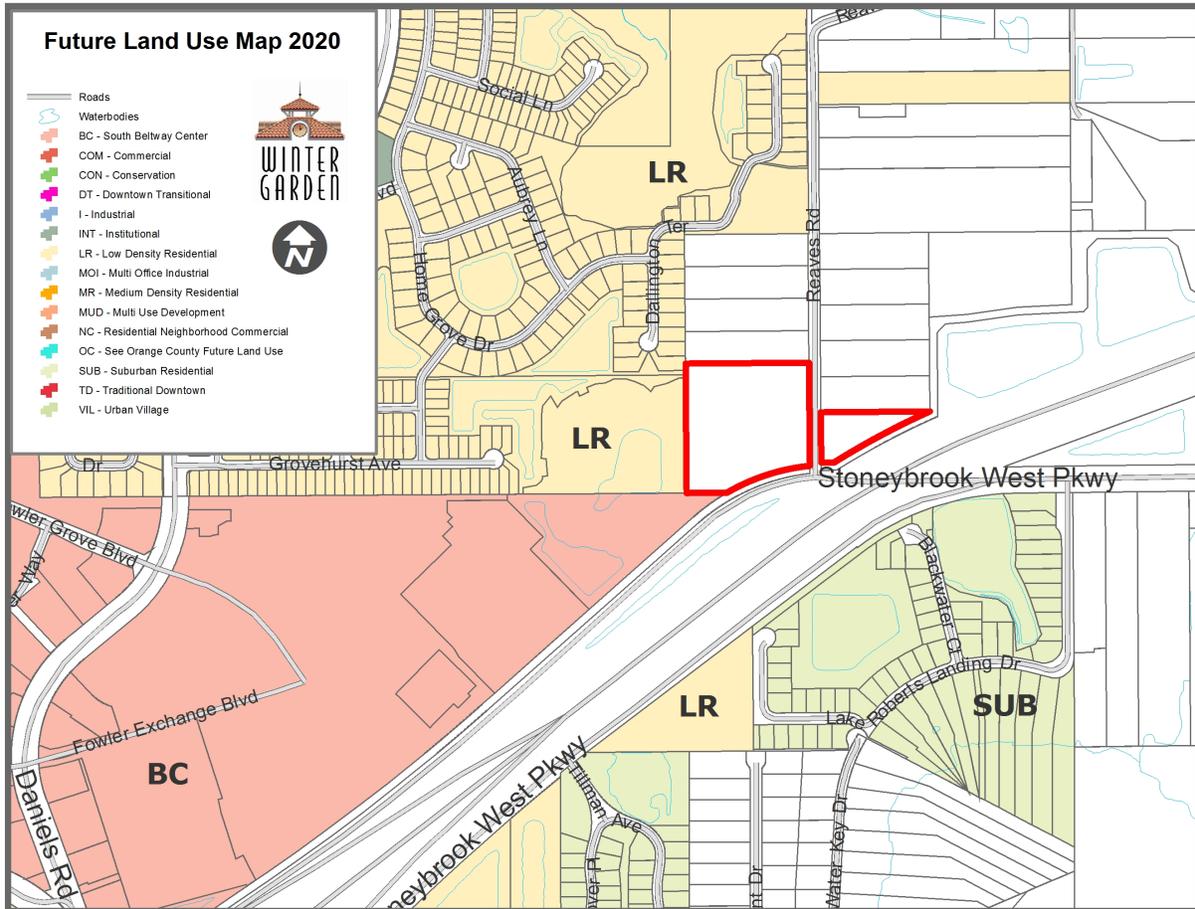


ZONING MAP
12920 & 12921 Reaves Road



Subject Property
 Rezoned from
 Orange County A-1
 & R-CE-2 to City
 PUD

FUTURE LAND USE MAP
12920 & 12921 Reaves Road



Subject Property
Future Land Use Changed
From Orange County Rural to
City MR- Medium Density
Residential

END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: June 2, 2020

Meeting Date: June 11, 2020

Subject: 199 S Main St & 158 S Woodland St
Smith Street Luxury Studios
Ordinance 20-19

PARCEL ID # 23-22-27-2888-09-064; 23-22-27-7968-00-021

Issue: For property located at 199 S Main St & 158 S Woodland St, the applicant is requesting to rezone the property from C-1 (Central Commercial District) to PUD (Planned Unit Development).

Discussion:

The applicant is requesting to rezone the +/- 1.07 acre property located on the northeast corner of S Main Street and E Smith Street to PUD to permit the development of a new two/three-story building, which will feature 38 apartment dwelling units and a small café on the first floor corner unit. The building will be situated along the adjacent road frontages to almost completely obscure the 54 parking spaces located within the site's interior areas. Access to the parking lot will be off of S Woodland St (See Staff Report). The proposed rezoning is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances. (See attached Staff Report).

Recommended Action:

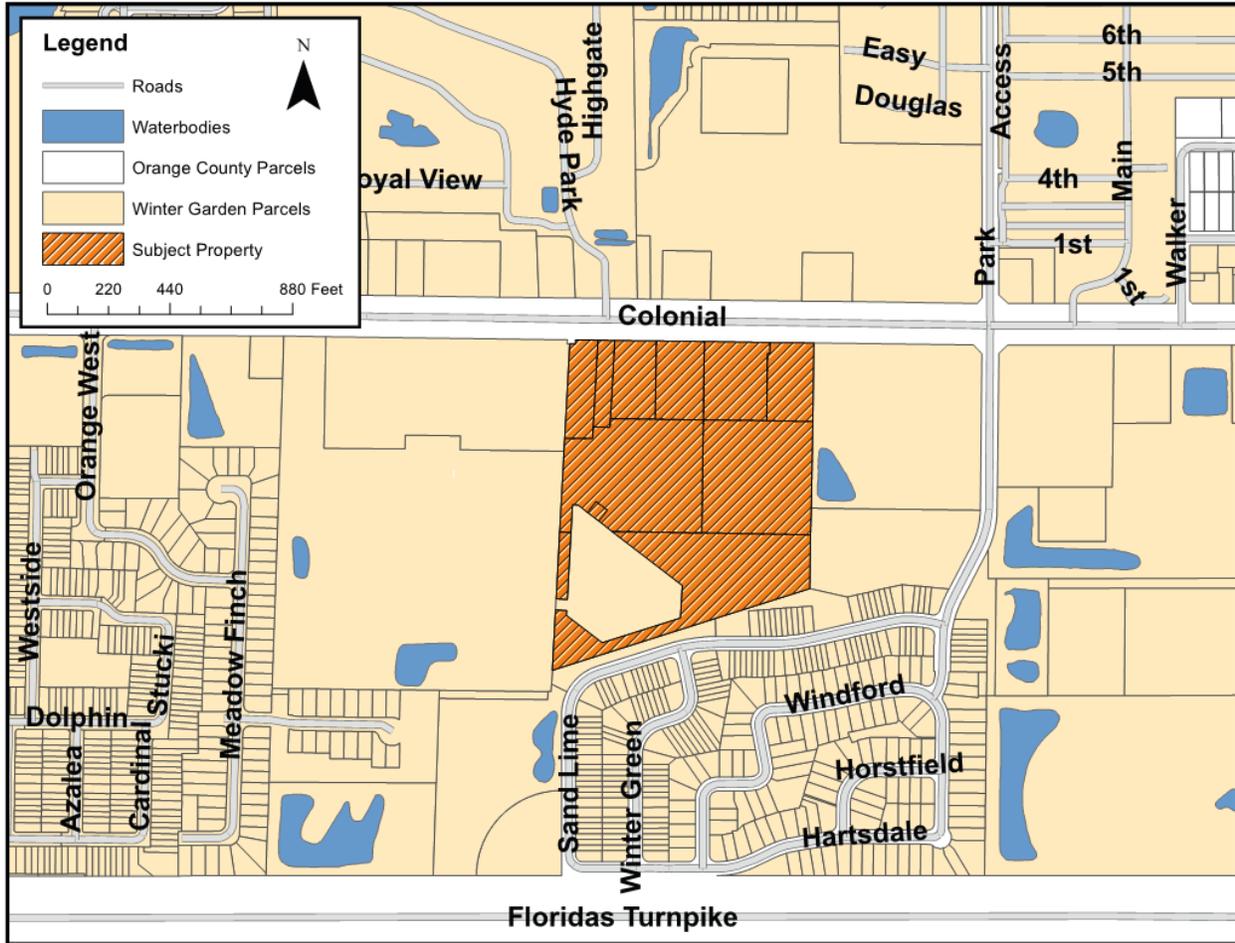
Staff recommends this item be tabled until a date uncertain.

Attachment(s)/References:

Location Map
Ordinance 20-19
Staff Report

LOCATION MAP

14180 thru 14234 W. Colonial Drive
PCD Amendment



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

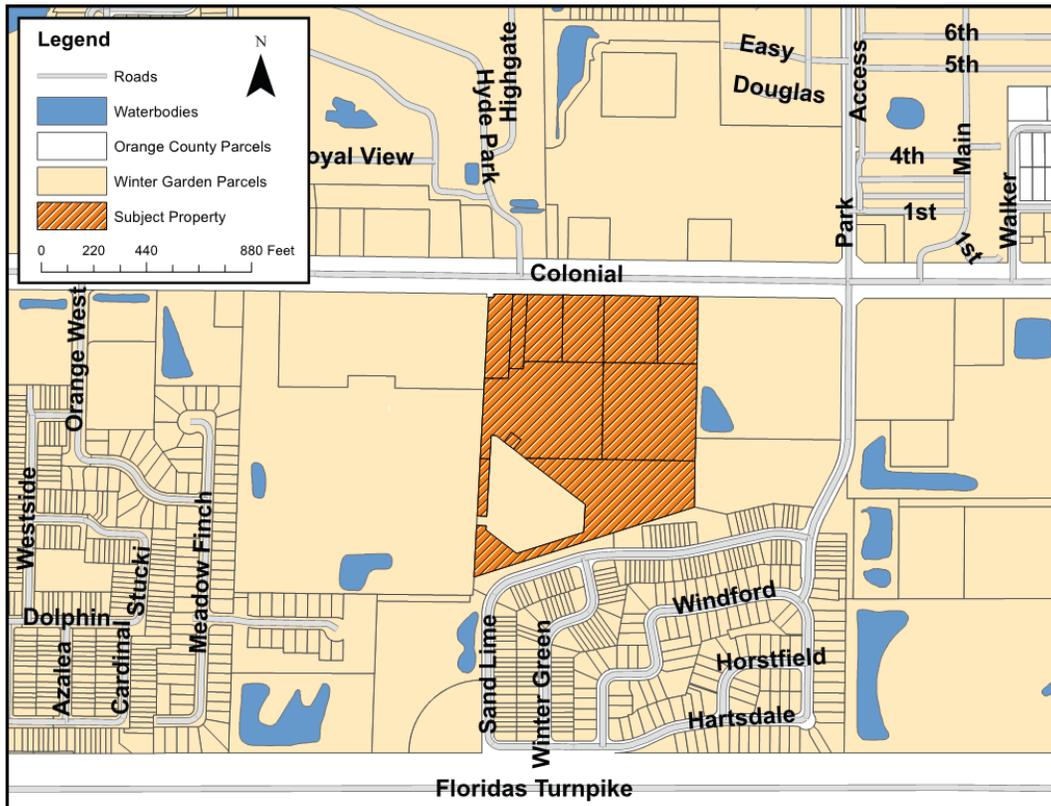
TO: PLANNING AND ZONING BOARD
PREPARED BY: Shane Friedman, Senior Planner
DATE: June 1, 2020
SUBJECT: PCD Amendment
14180 thru 14234 W. Colonial Drive (18.25 +/- ACRES)
PARCEL ID # 27-22-27-9140-00-005, 00-002, 01-000, 02-000, 03-000, 04-000, 05-000, 06-000, and 00-001

APPLICANT: Gardenia Plaza, LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed PCD amendment for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located on the south side of West State Road 50 (West Colonial Drive), west of South Park Avenue and is approximately 18.25 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to amend the West Market Planned Commercial Development (PCD). The West Market PCD was approved by Ordinance 18-09 on February 22, 2018. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation PCD (Planned Commercial Development) in the City of Winter Garden. The subject property is designated COM (Commercial) on the Future Land Use Map of the Comprehensive Plan.

EXISTING USE

The property has since been platted and the common infrastructure and landscaping has been installed. The only project within the PCD that is currently under construction is the Goodwill on Lot 6 in the rear of the development.

ADJACENT LAND USE AND ZONING

The properties located to the north are developed with a commercial shopping center with restaurants, a church, grocery store, bank, and retail shops, zoned C-2, and located in the City. The property located to the east is developed with an RV dealership, zoned C-2, and located in the City. The property to the west is developed with a campground, zoned C-2, and located in the City. The properties to the south are developed with a townhome and single family neighborhood, zoned R-3, and located in the City.

PROPOSED USE

The applicant is amending the PCD Ordinance in order to add an automotive service center and bank with drive-thru to the list of approved uses and an additional Lot 4b which will require a lot split or replat in the future.

SUMMARY

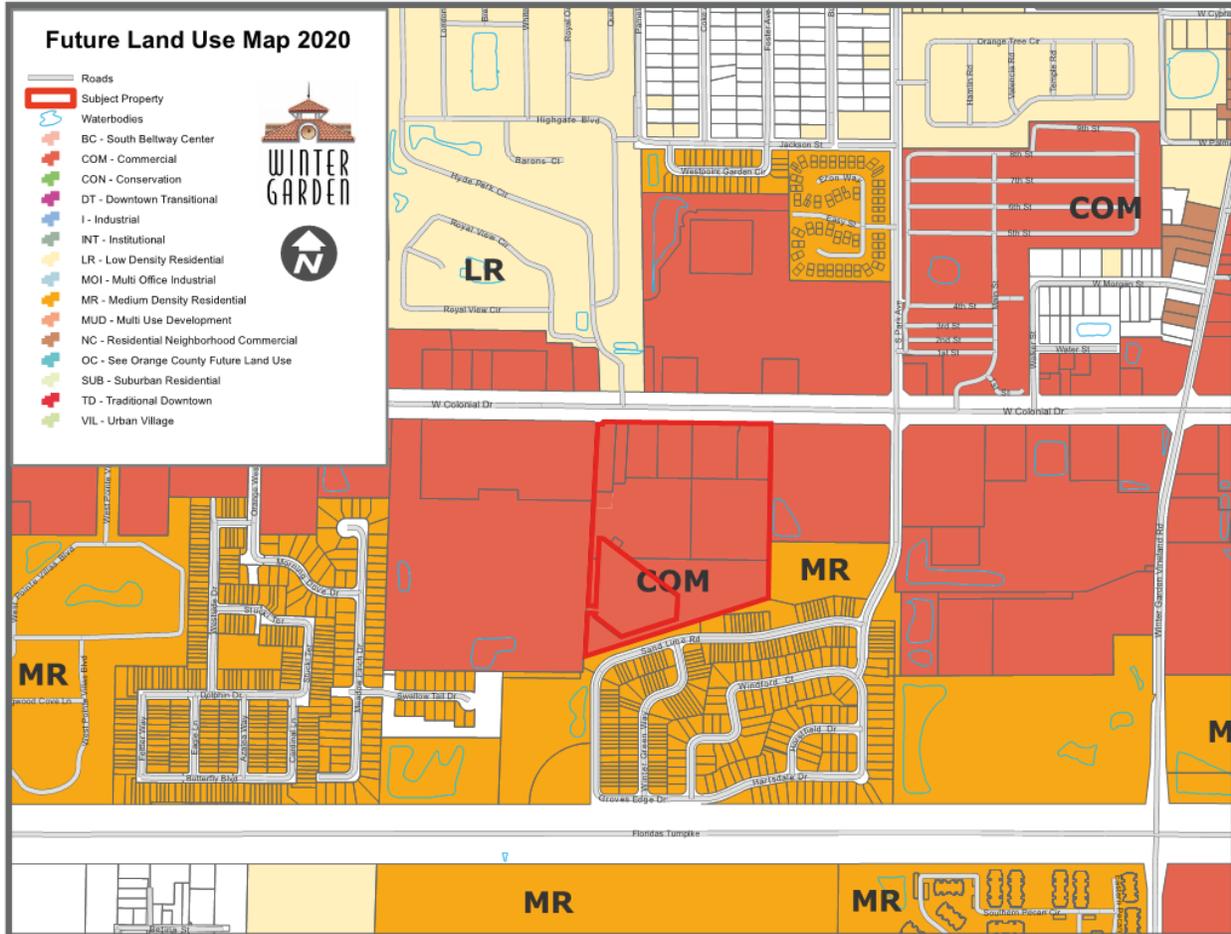
The proposed uses are consistent with the West State Road 50 commercial corridor. Furthermore, any future end users who wish to build an automotive service center or bank are still subject to the design criteria imposed by the West Market PCD. This will ensure that the proposed uses are not out of character with the rest of the West Market PCD development.

Because the uses are appropriate, and the request does not change the design or character of West Market PCD, staff recommends approval of Ordinance 20-23 subject to the conditions outlined in the ordinance.

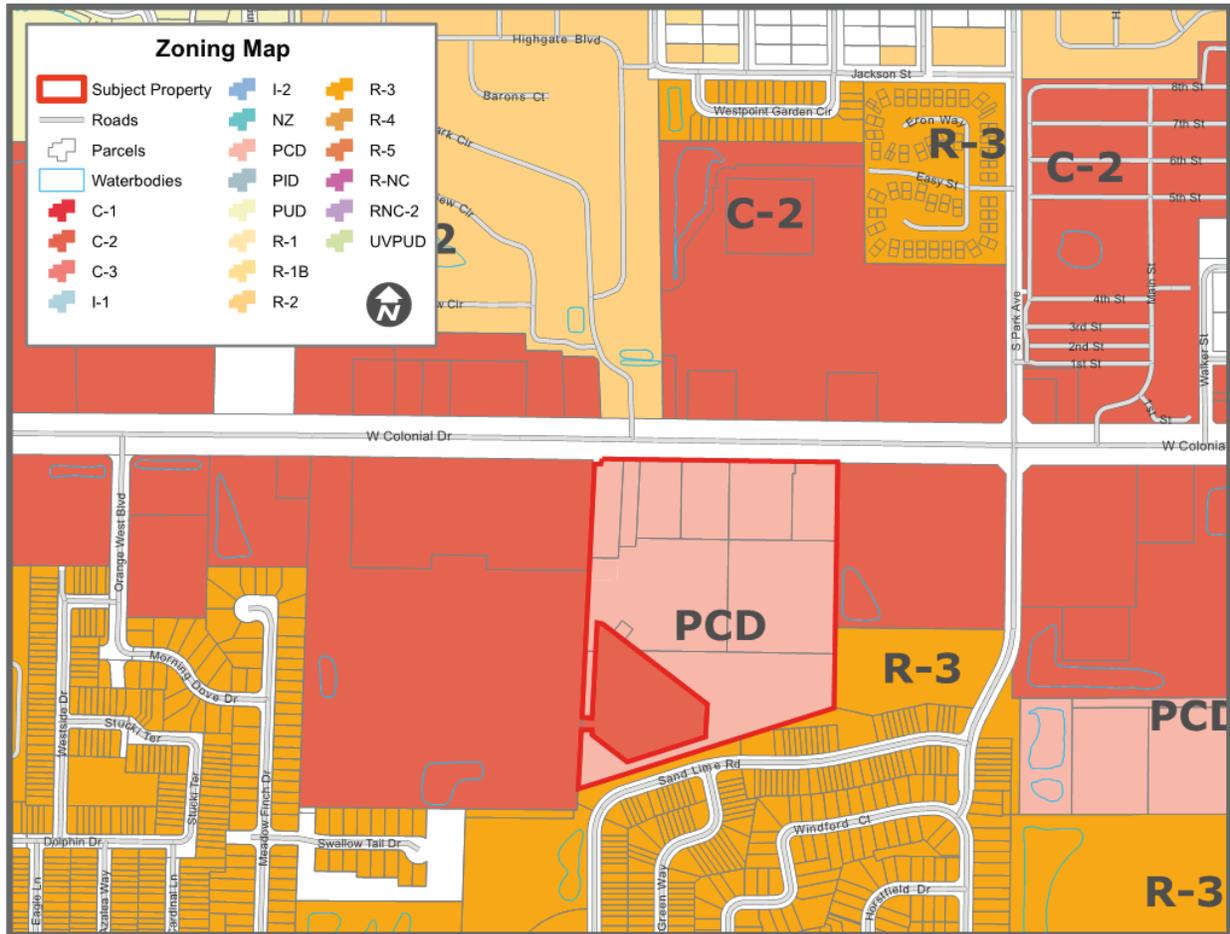
AERIAL PHOTO
West Market PCD



FUTURE LAND USE MAP West Market PCD



ZONING MAP West Market PCD



END OF STAFF REPORT

ORDINANCE 20-23

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING AND REPLACING ORDINANCE 18-09 GENERALLY KNOWN AS THE WEST MARKET PCD PERTAINING TO THE 18.25 +/- ACRE PROPERTY GENERALLY LOCATED SOUTH OF WEST COLONIAL DRIVE, WEST OF SOUTH PARK AVENUE, AND NORTH OF SAND LIME ROAD; AMENDING THE WEST MARKET PCD TO ALLOW AN AUTOMOTIVE SERVICE CENTER AND BANK WITH DRIVE-THRU AS PERMITTED USES, AMENDING THE DEVELOPMENT PLAN AND OTHER DEVELOPMENT RESTRICTIONS; PROVIDING FOR NON-SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on February 22, 2018 the City Commission of the City of Winter Garden approved Ordinance 18-09, which rezoned approximately 18.25 ± acres located at 14120 W. Colonial Drive generally located south of W. Colonial Drive, west of S. Park Avenue, and north of Sand Lime Road from C-2 (Arterial Commercial District) to PCD (Planned Commercial Development), therefore; and

WHEREAS, the owner(s) of the Property have requested to amend the approved PCD by repealing and replacing Ordinance 18-09 with this Ordinance, including the amended PCD requirements identified herein; and

WHEREAS, the permitted uses of a bank with drive-thru and automotive service center are being added to the PCD (Planned Commercial Development) along with a replacement development plan attached as Exhibit "B"; and

WHEREAS, for reference, the provisions underlined in Sections 1 and 2 of this Ordinance are showing additional language added that did not exist in Ordinance 18-09; and

WHEREAS, the Planning and Zoning Board has considered this Ordinance and made a recommendation to the City Commission concerning its adoption; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the City of Winter Garden Code of Ordinances, and

WHEREAS, the City Commission finds based on competent substantial evidence in the record that the PCD amendment approved by this Ordinance meets all applicable criteria for rezoning under the Comprehensive Plan and the Code of Ordinances, therefore

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Rezoning.* The above "Whereas" clauses constitute findings by the City Commission. After due notice and public hearing, PCD Ordinance 18-09 is hereby repealed and replaced with this Ordinance. The Property is zoned PCD (Planned Commercial Development) and development of the Property is subject to the following conditions, provisions, and restrictions:

- a) Applicability/Conflict. All development of or within the Property shall comply with and is subject to the requirements set forth in this Ordinance. Unless specifically identified in this Ordinance, all development on the Property identified in Exhibit "A" must comply with the general development standards of the C-2 (Arterial Commercial District) Zoning district and comply with the standards outlined in Chapter 118 Article IX and X regarding the West State Road 50 Overlay Commercial Development Standards. Notwithstanding anything to the contrary herein, all development of or within the Property shall comply with and is subject to all requirements in the City Code, and ordinances, resolutions, and policies of the City. To the extent of any express conflicts between the express provisions of this Ordinance pertaining to permitted uses, special exception uses, prohibited uses, floor area ratio, architectural design criteria, architectural review, and signage and the City Code and ordinances, resolutions, and policies of the City, the requirements set forth herein shall control to the extent of the conflict.
- b) Intent. This Ordinance is intended to provide flexibility in the development of the Property in order to provide for proper growth and to guide development and construction in an integrated approach in order to promote a dynamic commercial center for commerce and social activity while also providing an aesthetically pleasing and pedestrian oriented development. Due to constraints in traffic at the proposed location, permitted and special exception uses will be established to maintain a safe, well developed project that enhances and supports the City and its citizens without causing distress on the local businesses and roads.
- c) Development Plan. The Property shall be developed in substantial conformance with the Development Plan attached hereto as Exhibit "B". Should any conflict exist between this Ordinance and the Development Plan attached hereto as Exhibit "B", then the standards and conditions established by this Ordinance shall control to the extent of the conflict.
- d) Permitted Uses. The following uses and structures are permitted on the Property:
- i. Retail
 - ii. One (1) bank with drive-thru
 - iii. Office
 - iv. Hotels
 - v. Two (2) restaurants with drive-thru facility
 - vi. Sit-down Restaurants
 - vii. Veterinary/Grooming Services without overnight boarding services
 - viii. Personal Services
 - ix. Entertainment and Recreational uses
 - x. Specialty Grocery Store
 - i. Specialty is defined as a store with a niche in health, community, and majority of goods serviced by local distribution and sustainably sourced. Store must be predominately produce and cater to the local community.
 - xi. One (1) automotive service center use with bay doors facing internally and not towards State Road 50.
- e) Special Exceptions:
- i. Preschools and Day Care
 - ii. Public Facilities

- f) Prohibited Uses: Any use not specifically set forth in this Ordinance as a Permitted or Special Exception Use is prohibited. Without limiting the foregoing, the following are expressly prohibited:
- i. Any use prohibited in the C-2 Zoning Districts not specifically outlined under the Permitted or Special Exception Uses.
 - ii. 24-hour businesses or businesses that extend past the hours between 2am and 5am.
 - iii. Industrial Activities
 - iv. Churches
 - v. Crematories/Funeral Homes
 - vi. Automobile, motorcycle, recreational vehicle or boat sales, rental, storage, painting, service or repair or any combination thereof, except as permitted in Section 1(d)(x) Permitted Uses.
 - vii. Outdoor Displays, Sale and/or Storage not specifically outlined under Permitted or Special Exceptions Uses.
 - viii. Billboard
 - ix. Adult entertainment
 - x. Adult or pornographic book, magazine, video and novelty stores or sales.
 - xi. Pawn shop
 - xii. Tattoo or body art establishments

SECTION 2: Staff Conditions

- a. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
- b. All work shall conform to City of Winter Garden standards and specifications.
- c. Fencing, if proposed, shall meet all City requirements for height, type, etc. Chain link fencing shall be vinyl coated per Code. All construction shall conform to City of Winter Garden Standards, Specifications and Ordinances.
- d. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
- e. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
- f. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility.

Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

- g. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit (minimum site inspection fee is \$500.00).

SECTION 3: *General Requirements*

- a. **Land Development Approvals and Permits** – This Ordinance does not require the City to issue any permits or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- b. **Amendments**- Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- c. **Expiration/Extension** – Expiration of this PCD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.
- d. **Violation** - A violation of this Ordinance is considered a violation of the City of Winter Garden Code of Ordinances and of zoning of the Property.

SECTION 4: *Zoning Map.* The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this Ordinance.

SECTION 5: *Non-Severability.* Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 6: *Repeal and Replace.* This Ordinance repeals and replaces Ordinance 18-09.

SECTION 7: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____ , 2020.

SECOND READING AND PUBLIC HEARING: _____ , 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

Exhibit "A"

LEGAL DESCRIPTION

PARCEL ID's#: 27-22-27-9140-00-005, 27-22-27-9140-00-002, 27-22-27-9140-01-000, 27-22-27-9140-02-000, 27-22-27-9140-03-000, 27-22-27-9140-04-000, 27-22-27-9140-05-000, 27-22-27-9140-06-000, and 27-22-27-9140-00-001

DESCRIPTION:

PARCEL 1:

A PORTION OF THE NORTHEAST ¼ OF SECTION 27, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 27, THENCE NORTH 89 DEGREES 21' 38" WEST ALONG THE NORTH LINE OF THE NORTHEAST ¼ OF SAID SECTION 27, A DISTANCE OF 635.74 FEET; THENCE DEPARTING SAID NORTH LINE, SOUTH 00 DEGREES 49' 03" WEST A DISTANCE OF 75.00 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF STATE ROAD 50, THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE SOUTH 00 DEGREES 49'03" WEST A DISTANCE OF 881.73 FEET TO A POINT OF THE NORTHERLY BOUNDARY OF VILLAGE GROVE PHASE ONE, ACCORDING TO THE PLANT RECORDED IN PLAT BOOK 12, PAGE 113, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE ALONG SAID NORTHERLY BOUNDARY AND NORTHERLY LINE OF VILLAGE GROVE PHASE TWO, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 14, PAGES 15 AND 16, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; A DISTANCE OF 964.46 FEET; THENCE NORTH 02 DEGREES 41'16" EAST A DISTANCE OF 1187.41 FEET TO THE SOUTHERLY RIGHT OF WAY OF STATE ROAD 50; THENCE SOUTH 89 DEGREES 21' 38" EAST ALONG SAID SOUTHERLY RIGHT OF WAY A DISTANCE OF 875.28 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION BY VIRTUE OF WARRANTY DEED RECORDED AUGUST 8, 2006 IN OFFICIAL RECORDS BOOK 8794, PAGE 4314, DESCRIBED AS FOLLOWS:

COMMENCE AT A 6-INCH CONCRETE MONUMENT WITHOUT IDENTIFICATION AS SHOWN ON FLORIDA DEPARTMENT OF NATURAL RESOURCES CERTIFIED CORNER RECORD DOCUMENT NO.070974 MARKING THE SOUTHEAST CORNER OF THE NORTHEAST ¼ OF SECTION 27, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN NORTH 00 DEGREES 33'36" EAST ALONG THE EAST LINE OF SAID NORTHEAST ¼ OF SECTION 27 A DISTANCE OF 2666.28 FEET TO THE NORTHEAST CORNER OF SAID NORTHEAST ¼ OF SECTION 27; THENCE DEPARTING SAID EAST LINE OF THE NORTHEAST ¼ OF SECTION 27, RUN NORTH 00 DEGREES 07' 46" WEST ALONG THE EAST LINE OF THE SOUTHEAST ¼ OF SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA A DISTANCE OF 1.71 FEET TO A

POINT ON THE CENTERLINE OF SURVEY OF STATE ROAD 50 AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP SECTION 75050, FINANCIAL PROJECT NO. 410983 1, SAID POINT ALSO BEING A POINT ON A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 68,754.94 FEET AND A CHORD BEARING OF NORTH 89 DEGREES 25' 27" WEST; THENCE FROM A TANGENT BEARING OF NORTH 89 DEGREES 37' 36" WEST, RUN WESTERLY ALONG SAID CENTERLINE OF SURVEY AND ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 00 DEGREES 24' 16" A DISTANCE OF 485.45 FEET TO THE POINT OF TANGENCY, SAID POINT ALSO BEING A POINT ON THE NORTH LINE OF THE AFORESAID NORTHEAST ¼ OF SECTION 27; THENCE RUN NORTH 89 DEGREES 13' 19" WEST ALONG SAID CENTERLINE OF SURVEY AND ALONG SAID NORTH LINE A DISTANCE OF 780.34 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST ¼ OF SAID NORTHEAST ¼ OF SECTION 27; THENCE DEPARTING SAID CENTERLINE OF SURVEY AND SAID NORTH LINE, RUN SOUTH 01 DEGREES 14' 52" WEST ALONG SAID EAST LINE A DISTANCE OF 75.00 FEET TO A POINT ON THE EXISTING SOUTH RIGHT OF WAY LINE OF AFORESAID STATE ROAD 50 AS SHOWN ON THE AFORESAID RIGHT OF WAY MAP; THENCE DEPARTING SAID EAST LINE, RUN NORTH 89 DEGREES 13' 19" WEST ALONG SAID EXISTING SOUTH RIGHT OF WAY LINE OF STATE ROAD 50 A DISTANCE OF 242.47 FEET; THENCE DEPARTING SAID SOUTH RIGHT OF WAY LINE OF STATE ROAD 50, RUN SOUTH 03 DEGREES 07' 51" WEST A DISTANCE OF 930.83 FEET FOR A POINT OF BEGINNING; THENCE RUN SOUTH 86 DEGREES 52' 09" EAST A DISTANCE OF 40.00 FEET; THENCE RUN NORTH 03 DEGREES 07' 51" EAST A DISTANCE OF 340.68 FEET; THENCE RUN SOUTH 86 DEGREES 52' 09" EAST A DISTANCE OF 20.00 FEET; THENCE RUN SOUTH 52 DEGREES 12' 58" EAST A DISTANCE OF 472.98 FEET; THENCE RUN SOUTH 03 DEGREES 07' 51" WEST A DISTANCE OF 116.01 FEET; THENCE RUN SOUTH 72 DEGREES 25' 21" WEST A DISTANCE OF 295.12 FEET; THENCE RUN NORTH 52 DEGREES 29' 11" WEST A DISTANCE OF 161.19 FEET; THENCE RUN NORTH 03 DEGREES 07' 51" EAST A DISTANCE OF 17.59 FEET; THENCE RUN NORTH 86 DEGREES 52' 09" WEST A DISTANCE OF 40.00 FEET; THENCE RUN NORTH 03 DEGREES 07' 51" EAST A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING.

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Containing 18.25 acres, more or less.

Exhibit "B"

Development Plan

West Market Planned Commercial Development

Design Standards

Winter Garden, Florida

December 7, 2017

Revised May 21, 2020

Prepared by:

**Cuhaci & Peterson, Architects
1925 Prospect Avenue
Orlando, Florida 32814
C-P Project # 2170391**

Prepared for:

**Gardenia Plaza, LLC
12200 West Colonial Dr
Suite 303
Winter Garden, Florida 34787**

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West Market

I. Purpose & Intent

The following development standards and design treatments are intended to establish aesthetic requirements for the Planned Commercial Development called "West Market". Located at 14120 W. Colonial Drive in Winter Garden, Florida. West Market is a mix of retail, restaurant, office, and grocery uses intended to attract customers from the City of Winter Garden as well as Orange County and surrounding areas.

The intent of the West Market Design Standards is to create and maintain a positive ambience and identity by providing for architectural and site design treatments that will enhance and improve upon the typical appearance of a retail shopping center.



Figure 1 - Vicinity Plan

II. Applicable Codes

In addition to the West Market Design Standards, all buildings must conform to the current Florida Building Code standards and comply with the Winter Garden, FL Code of Ordinances Article IX West State Road 50 Overlay Commercial Development Standards, unless otherwise noted herein or in PCD Ordinance 17-17.

III. Architectural Character Design Criteria

The overall commercial architectural design of the buildings in West Market will substantially comply with a Florida vernacular architectural style. Final elevations associated with specific site plans will be subject to change by the end user provided the architectural theme is consistent, the standard of quality is maintained, the architectural standards are achieved, and the design is approved by the City.

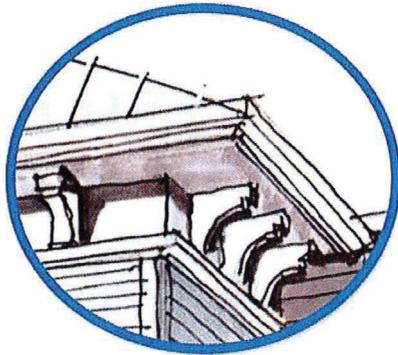
A consistent and compatible standard will be applied to the buildings in the PCD. The following outline of massing, finishes, treatments, colors and use of materials are representative of a theme and a level of quality to be maintained throughout the development. Distinctive and Unique designs are permissible provided the design is not conspicuous within the context of the overall development and helps achieve the overall cohesive style.

All architectural elevations are subject to review and approved by City staff prior to Plan Approval, and there should be consistency between all developments in terms of design style and quality.

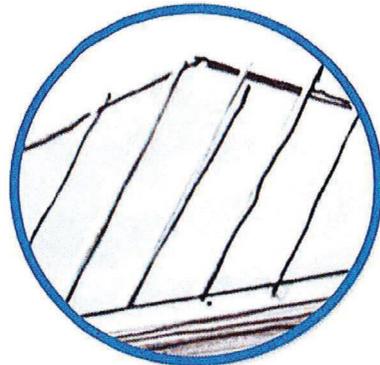


Figure 2 - Vernacular Example – Grocery

VERNACULAR EXAMPLES - ELEMENTS



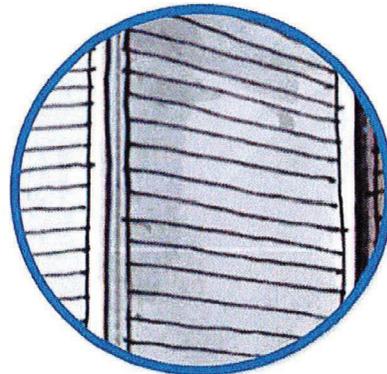
CORNICE WITH BRACKETS



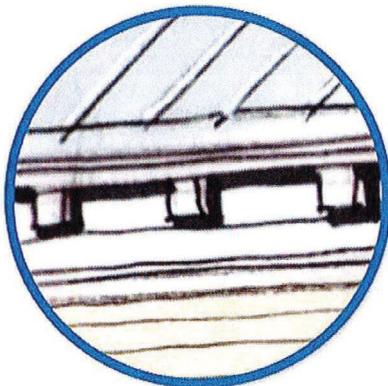
STANDING SEAM METAL ROOF



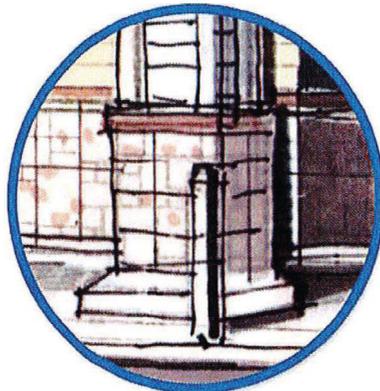
AWNINGS ABOVE GLAZING



SIDING AND TRIM



DECORATIVE TRIM



MASONRY WAINSCOT

III.A. Massing & Articulation

A. The building facades that are visible to pedestrians and/or vehicles along major internal and external circulation routes are required to have architectural variation that is consistent with the Florida Vernacular Style (similar to that depicted in Figure 2). Examples of Florida vernacular style elements include, but are not limited to the following:

- ❖ Cornices
- ❖ Brackets
- ❖ Awnings above glazing
- ❖ Colonnades
- ❖ Contrasting Masonry Base
- ❖ Sloped Roofs
- ❖ Multi-pitched roofs
- ❖ Porticoes
- ❖ Pilasters
- ❖ Columns
- ❖ Gables
- ❖ Siding and Trim
- ❖ Metal Roofs
- ❖ Porches



Figure 4 - Example – Small Retail

B. All buildings should have elements to relieve the sense of a solid monolithic mass and that complement the scale of the surrounding structures and the proposed building. Buildings should be designed to have façade features on multiple planes.

- C. Building facades along major circulation routes shall not have a blank, uninterrupted length that exceeds 100 lineal feet without including at least two of the following:
- ❖ Pilasters
 - ❖ Canopies
 - ❖ Colonnades
 - ❖ Varying Rooflines
 - ❖ Trellis with vines
 - ❖ Columns
 - ❖ Arcades
 - ❖ Dormers
 - ❖ Balconies
 - ❖ Defined Entryways
- D. Architectural design details and window treatments will be utilized to unify all sides of the buildings. Integration of canopies is required to promote a human scale at the entrance and to create visually appealing points of entry that shield visitors from the sun and rain.

III.B. Building Materials and Theming

- A. A consistent architectural theme (as depicted in Figure 3) will be utilized to unify the development, including complimentary colors, finished materials and textures.
- B. Predominant exterior building materials shall be of high quality materials including, but not limited to the following:
- ❖ Stucco
 - ❖ Fiber-cement board siding
 - ❖ Veneer brick or thin brick
- C. Predominant roofing style shall be comprised of the following:
- ❖ Parapets with cornices
 - ❖ Standing seam metal
 - ❖ Standing seam metal shake
 - ❖ Architectural shingles
- D. Prohibited exterior building materials include the following:
- ❖ Smooth faced concrete block
 - ❖ Unfinished tilt-up concrete panels
 - ❖ Prefabricated steel panels
- E. Prohibited roofing materials include the following:
- ❖ Barrel tile
 - ❖ 3-Tab shingles
- F. Rear and side façade materials shall be of materials consistent with that of the primary façade; use of inferior or lesser quality materials shall be prohibited.
- G. Store fronts: False window and door openings defined by frames, sills and lintels, are permitted only when actual doors and windows are not feasible because of the interior use of the building.

- H. Building colors shall be drawn from a light color palette; the color chip shall be submitted to the City for approval. No fluorescent colors are permitted. The use of black, grey, primary and/or secondary colors are prohibited as the predominant exterior building color.
- I. Flat roofs must be screened by a parapet wall finished by a cornice or other architectural detail.



Figure 5 – Example - Outparcel



Figure 6 – Example - Outparcel

III.C. Roof Treatments

- A. Rooftop equipment shall be concealed from public view or located such that the equipment is not visible from public streets or from the parking lot.
- B. In grocery applications only, where the height of the refrigeration equipment, and compressors is such that it becomes impractical to screen the equipment with parapets, equipment screening may be used in lieu of parapets. Mechanical screening may be achieved with materials that do not comprise a parapet provided the height of the screening is equivalent to the height of the equipment and the materials are compatible with the architectural vernacular of the complex. Acceptable screening materials include those noted in section III.B.B. and shall have a cornice similar to that of the parapet walls of the building.
- C. Rooftop parapets shall feature three-dimensional cornice or stylistically appropriate bracketry. Bracketry not incorporated as part of a cornice or frieze will only be permitted in conjunction with a soffit overhang at pitched roof conditions.

III.C. Building Projections & Entryways

- A. Building exteriors will provide shelter from sun and rain. Awnings and overhangs will be provided for pedestrian walkways.
- B. Primary pedestrian entrances will be clearly expressed and be recessed by a sheltering element. This element will preferably be a porch with columns, but elements such as awnings, arcades, and/or porticos may be considered if they achieve the overall intent of these architectural design standards. The minimum height and the maximum depth of these elements shall be 8'.

III.D. Building Orientation & Site Design

- A. Buildings shall be oriented in a manner that will promote and strengthen pedestrian activity. All buildings shall provide sidewalks, with all buildings oriented towards W. Colonial Drive, with pedestrian connectivity throughout the development.
- B. Parking areas shall not visually and physically dominate the road frontages. Parallel to the front face of the building, there shall be no more than two rows (one on either side of an access drive) of angled or 90 degree parking between the front building façade and the adjacent right-of-way.
- C. Parking areas shall provide dedicated pedestrian pathways to primary and secondary building entrances. Pedestrians must also be provided dedicated pathways to adjacent properties.
- D. Site furnishings such as benches, trash receptacles, and bicycle parking facilities shall also be provided on site.

IV. Utilities and Equipment

- A. All utility equipment must be properly screened with walls and/or landscaping. All loading docks and loading areas must be screened from public view with appropriate screen walls, which are architecturally integrated with the main structure.

V. Lighting

- A. Lighting shall be placed or shielded so as not to cause glare, and the placement, intensity, style and direction of lighting shall not create a hazard to vehicular traffic.
- B. Lighting will comply with the design standards, requirements, and regulations pertaining to specified commercial corridors within City of Winter Garden in accordance with Chapter 118, Article X, Division 4.
- C. Poles, globes, and other light fixtures that are of a high design quality are required and shall be consistent with the overall building architecture. Lighting shall not be directly attached to a canopy, or awning without staff review and approval.

Project No.

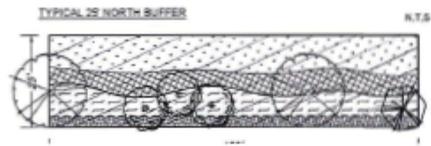
Sheet

A 25' - NORTH BUFFER (SR 50 FRONTAGE BUFFER)

LENGTH 885.52 L.F.
 WIDTH 25 L.F.
 AREA 22,188.02 S.F.

PLANTING REQUIREMENTS
 CANOPY TREES 11 / 100 L.F. 15 Required, 13 Provided
 UNDERSTORY TREES 3 / 100 L.F. 20 Required, 20 Provided
 HEDGE 22 / 100 L.F. 204 Required, 210 Provided

COVERAGE REQUIREMENTS
 SHRUBS AND GROUNDCOVERS 30% (11,000.25 S.F.) Required, 89% (13,241.52) Provided



SYM	ABV.	COMMON NAME
⊗	OV	LIVE OAK
⊙	U	GRAPE MYRTLE
⊚	J	TREE FORM LIQUIDTRUM
⊛	VO	SWEET VIBURNUM
▨	SB	CORD GRASS
▩	TA	ASIATIC JASMINE
▭	SOD	

PLANTS SUBJECT TO CHANGE DURING FINAL SUBMITTAL PROCESS.

SYM	ABV.	COMMON NAME
⊙	U	GRAPE MYRTLE
⊛	VO	SWEET VIBURNUM
▩	TA	ASIATIC JASMINE
▭	SOD	

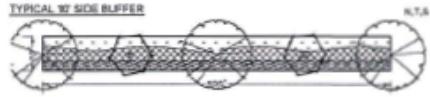
PLANTS SUBJECT TO CHANGE DURING FINAL SUBMITTAL PROCESS.

B 10' - SIDE YARD BUFFERS

EAST LENGTH 425.00 L.F.
 WIDTH 10 L.F.
 AREA 4,250.00 S.F.

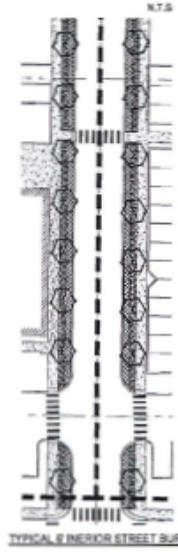
WEST LENGTH 1,151.05 L.F.
 WIDTH 10 L.F.
 AREA 11,491.89 S.F.

PLANTING REQUIREMENTS
 CANOPY TREES 11 / 100 L.F. 30 Required, 20 Provided
 HEDGE 33 / 100 L.F. 654 Required, 656 Provided



SYM	ABV.	COMMON NAME
⊗	OV	LIVE OAK
⊙	UA	WINGED ELM
⊛	VO	SWEET VIBURNUM
▩	TA	ASIATIC JASMINE
▭	SOD	

PLANTS SUBJECT TO CHANGE DURING FINAL SUBMITTAL PROCESS.

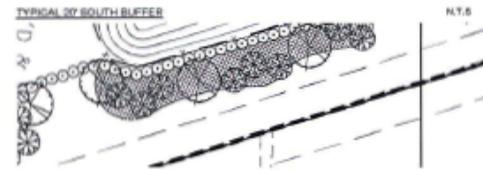


C 20' - SOUTH YARD / POND BUFFER

LENGTH 264.46 L.F.
 WIDTH 20 L.F.
 AREA 5,289.24 S.F.

PLANTING REQUIREMENTS
 CANOPY TREES 21 / 100 L.F. 15 Required, 15 Provided
 UNDERSTORY TREES 3 / 100 L.F. 20 Required, 20 Provided
 HEDGE 33 / 100 L.F. 318 Required, 318 Provided

COVERAGE REQUIREMENTS
 SHRUBS AND GROUNDCOVERS 50% (1,640.52 S.F.) Required, 60% (1,651.36) Provided



SYM	ABV.	COMMON NAME
⊗	OV	LIVE OAK
⊙	PE	SLASH PINE
⊛	MC	WAX MYRTLE
▨	SB	CORD GRASS
▭	SOD	

PLANTS SUBJECT TO CHANGE DURING FINAL SUBMITTAL PROCESS.

D 6' - INTERIOR STREET BUFFER

LENGTH 200 L.F.
 WIDTH 6 FT. WIDE X 2 = 12 L.F.
 AREA 2,704 S.F.

PLANTING REQUIREMENTS
 UNDERSTORY TREES 3 / 100 L.F. 14 Required, 11 Provided
 HEDGE 33 / 100 L.F. 190 Required, 191 Provided

COVERAGE REQUIREMENTS
 SHRUBS AND GROUNDCOVERS 100% (2,704 S.F.) Required

NOTE: ALL BUFFER CANOPY TREES SHALL BE A MINIMUM OF 3 INCHES IN CALIPER AND 12 - 15 FEET IN HEIGHT. ALL HEDGES SHALL BE 36 INCHES IN HEIGHT AT INSTALLATION AND BE FULLY OPAQUE WITHIN ONE YEARS AFTER INSTALLATION.

OW Connelly & Wicker Inc.
 Planning - Engineering - Landscape Architecture
 1500 HEDDEN DRIVE, SUITE 210 HEDDEN PARK, HEDDEN, NJ 07033
 TEL: 908.426.1000 FAX: 908.426.1001
 P.O. BOX 3450 L.A. PARISH, LA 70002-3450

WEST MARKET PCD WINTER GARDEN, FL PREPARED FOR GARDENIA PLAZA, LLC

LANDSCAPE BUFFER DETAILS

Project No. 17-000007
 Date: 12/01/2017
 Sheet: L101

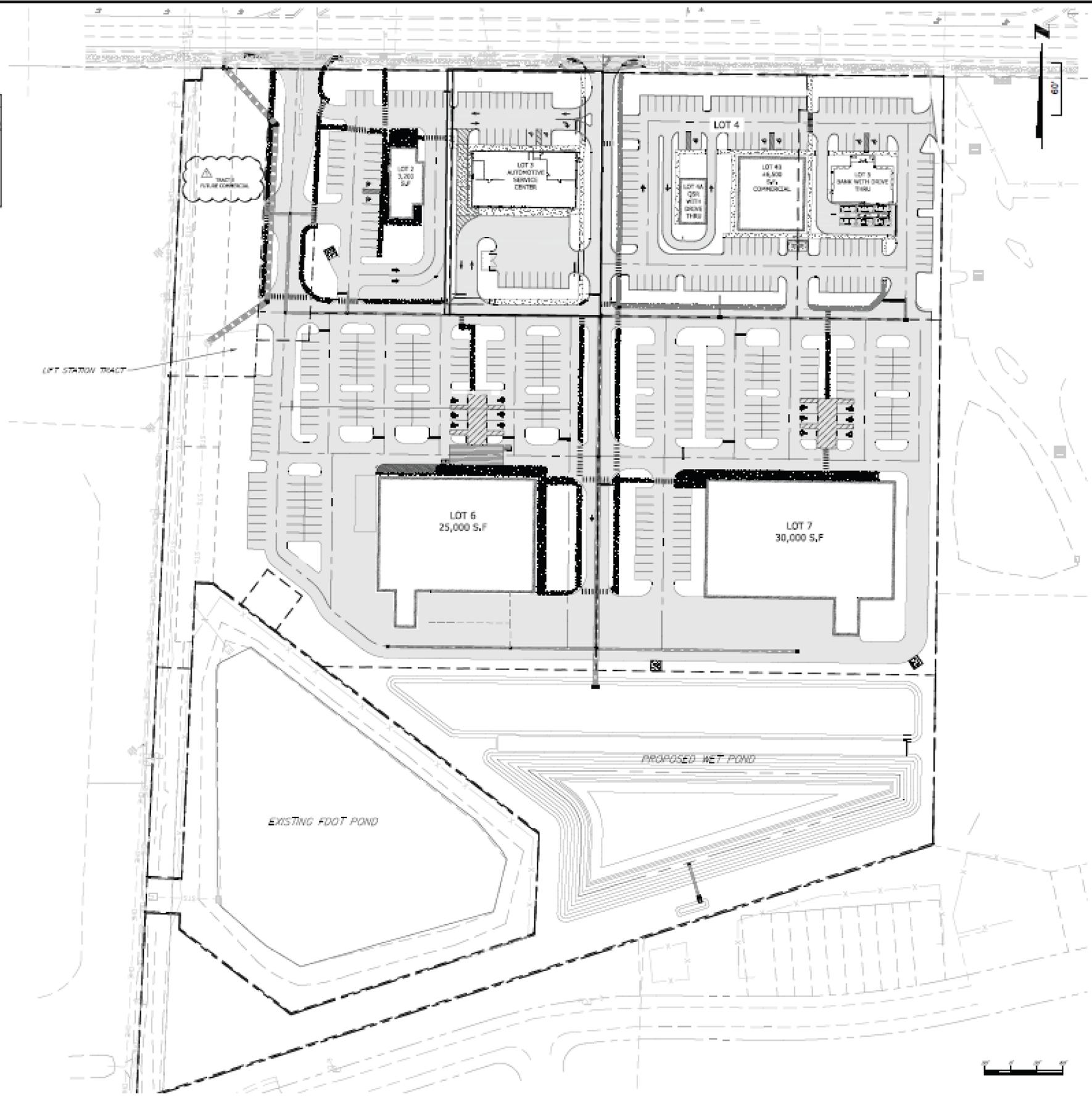
Parking Calculations

Lot	Tenant	Building Area SF	# of Seats	# of Employees	Patron Spaces Required	Employee Spaces Required	Total Parking Required	Total Parking Provided	Parking Provs/1,000
2	Restaurant - Grill & Chill	3,200	90	10	23	3	26	30	5.4
3	Retail	6,000			18		18	29	4.8
4a	Quick Service Restaurant	1,700	48	6	12	2	14	41	24.1
4b	Retail	6,500			20		20	38	5.8
5	Bank with Drive Thru	3,400			11		11	39	11.5
6	Retail	25,000			75		75	122	4.9
7	Retail	30,000			90		90	112	3.7
TOTAL		75,800					254	411	

Restaurants: 1 space per 4 seats, plus 1 space per 3 employees
 Retail or Office: 3 spaces per 1,000 SF of gross floor area required

Building Setbacks Provided

Lot	North	West	East	South
Lot 2	89'	80'	32'	87'
Lot 3	97'	15'	90'	22'
Lot 4a	122'	90'	28'	100'
Lot 4b	90'	8'	8'	100'
Lot 5	93'	22'	50'	83'
Lot 6	245'	155'	140'	54'
Lot 7	162'	45'	46'	45'



OW Connelly & Wicker Inc.
 Planning • Engineering • Landscape Architect
 1500 NORTH ORANGE AVE., SUITE 210 WINTER PARK, FLORIDA 32789
 (407) 261-3100 FAX (407) 261-3099 www.oww.com
 C.A. NUMBER: 3650 L.A. NUMBER: LC2000011

MASTER SITE PLAN

WEST MARKET PCD
 PREPARED FOR
GARDENIA PLAZA, LLC

DATE: 12/28/2017
 SCALE: 1"=50'

Sheet **1**

THIS DRAWING IS THE PROPERTY OF CONNELLY & WICKER INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED ON REQUEST.

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: May 20, 2020

Meeting Date: June 11, 2020

Subject: 30 N Park Ave & S Park Ave (FLU Amendment & Rezone to PUD)
30 N Park - FLU Amendment & PUD
Ordinances 19-47 & 19-48
PARCEL ID # 22-22-27-0000-00-117 (a portion) (Ords 19-47 & 19-48)
22-22-27-0000-00-090 (Ord 19-48)

Issue:

For property located at 30 N Park Ave & S Park Ave, the applicant is requesting to change the Future Land Use Designation of an 0.58 acre portion located at S Park Ave from No Future Land Use to Medium Density Residential and rezone this and the adjacent 0.33 acre property (30 N Park Ave) to PUD (Planned Unit Development). This item was previously tabled at the October 10, 2019 City Commission meeting to a date uncertain.

Discussion:

The applicant is requesting to rezone the +/- 0.91 acre subject property located at 30 N Park Ave & S Park Ave to PUD and change the future land use designation of a portion of the subject property to Medium Density Residential in order to permit development of the property. The proposed development includes 9 new townhome units over two separate buildings: one townhome building will include 5 units and the other will include 4 units. The property will also include associated site development such as common recreation areas, a surface parking lot, sidewalks, and a stormwater retention area (see Staff Report). The proposed FLU amendment and rezoning is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances.

Recommended Action:

Staff recommends approval and adoption of Ordinances 19-47 & 19-48.

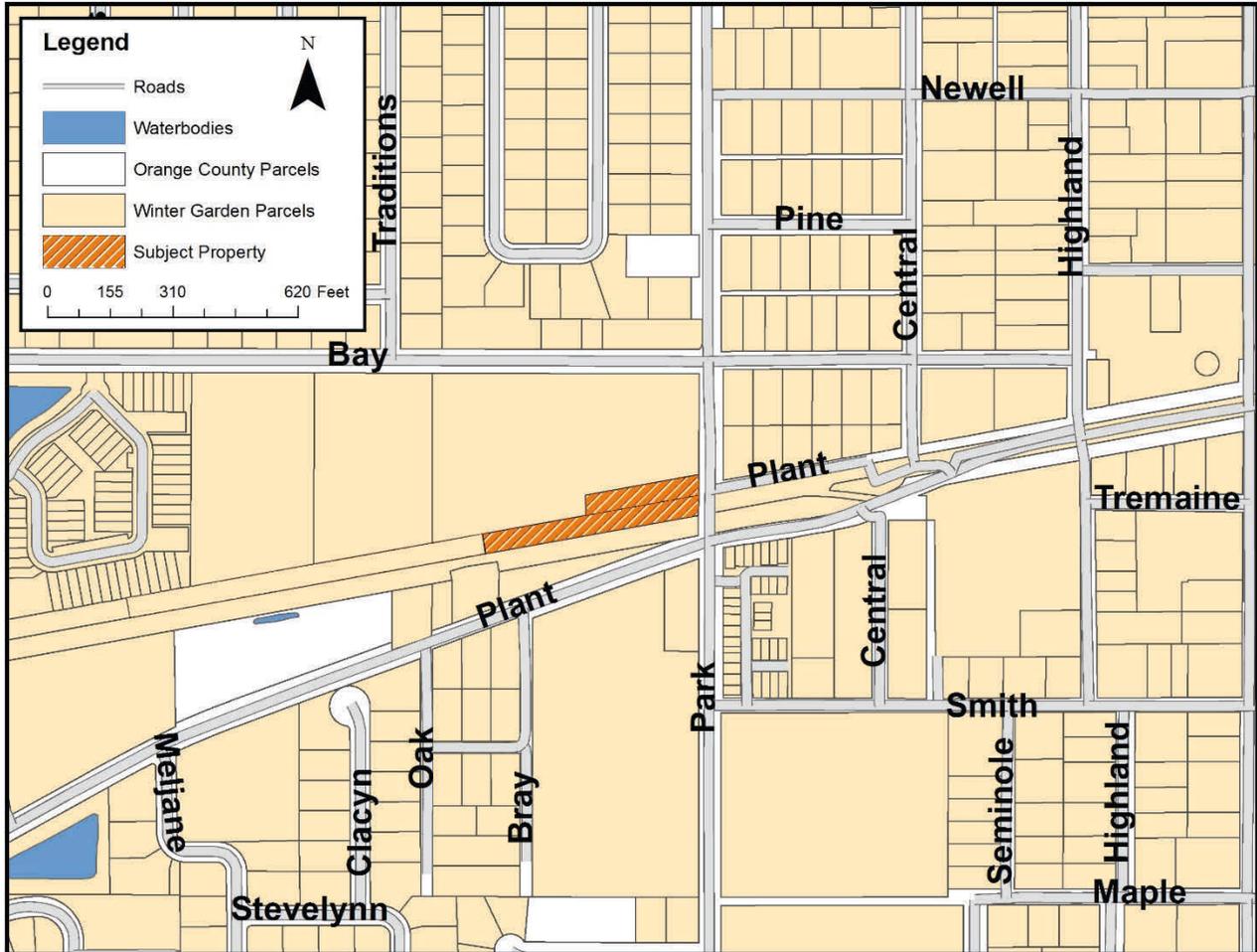
Attachment(s)/References:

Location Map
Staff Report
Ordinances 19-47 & 19-48

LOCATION MAP

30 N Park Ave & S Park Ave

FLU Amendment & PUD Rezoning



ORDINANCE 19-47

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.58 ± ACRES LOCATED AT S PARK AVENUE, NORTH OF W PLANT STREET, WEST OF S PARK AVENUE, AND SOUTH OF W BAY STREET, FROM NO FUTURE LAND USE TO MEDIUM DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on the 13th of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24th of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden;

WHEREAS, the owner of that certain real property generally described as approximately 0.58 ± acres located at S Park Avenue, north of W Plant Street, west of S Park Avenue, and south of W Bay Street, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from No Future Land Use to Medium Density Residential; and

WHEREAS, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by designating the aforesaid Property from No Future Land Use to Medium Density Residential as set forth in ATTACHMENT "B".

SECTION II. *Effective Date.* This Ordinance shall become effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order determining that the adopted Ordinance is in compliance.

SECTION III. Severability. Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2019.

SECOND READING AND PUBLIC HEARING: _____, 2019.

ADOPTED this _____ day of _____, 2019, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL ID#: 22-22-27-0000-00-117 (a portion)

DESCRIPTION:

A parcel of land lying in Section 22, Township 22 South, Range 27 East, Orange County, Florida, being a portion of the land described in Official Records Book 5017, Pages 3567 through 3586, Public Records of Orange County Florida

Being more particularly described as follows:

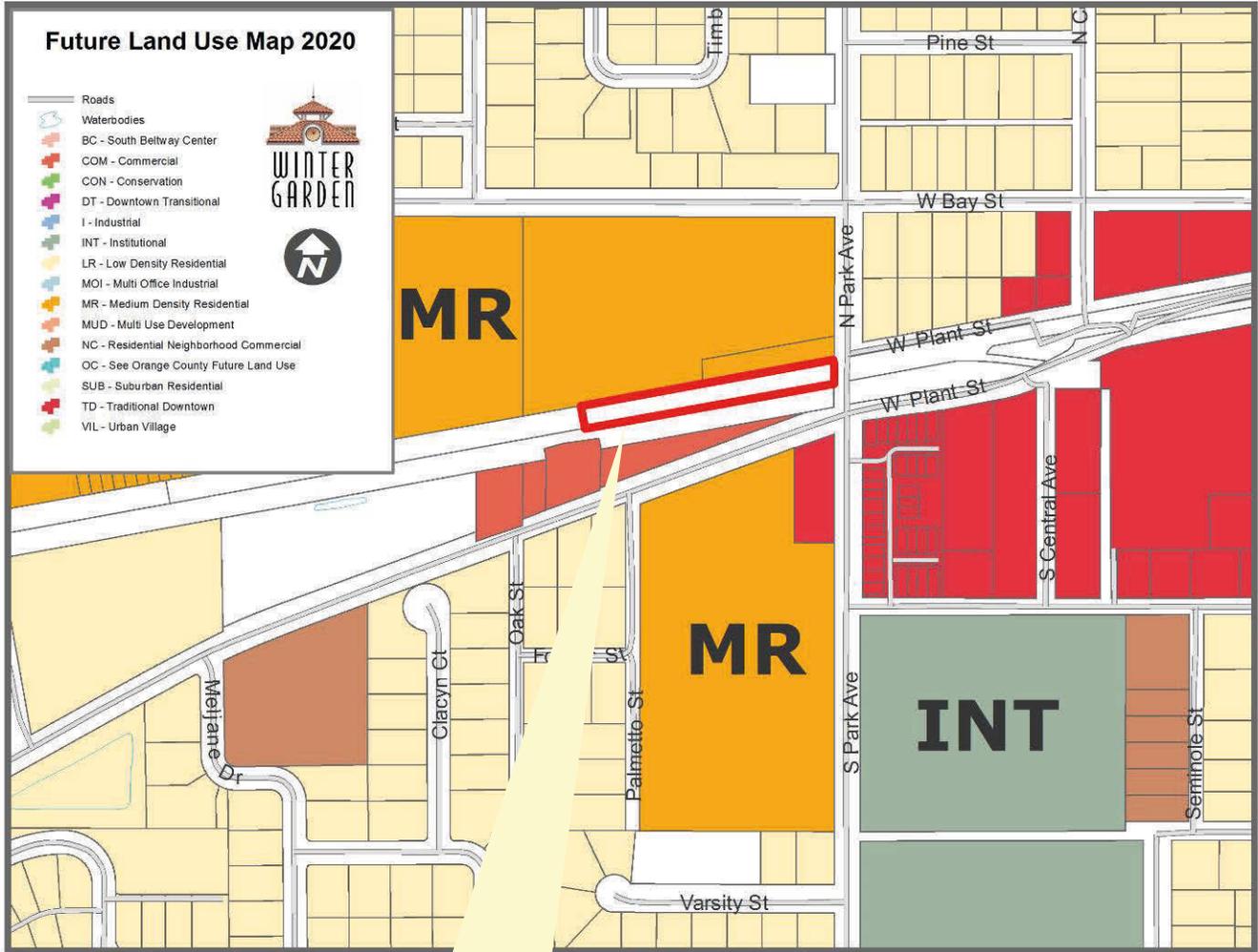
Commencing at the Southeast corner of the Northeast 1/4 of Section 22, Township 22 South, Range 27 East, Orange County, Florida, run North 00°02'23" East for a distance of 2,288.96 feet along the East boundary of said Northeast 1/4 to a point on the Northerly right-of-way line of the former Tavares and Gulf Railroad as described and recorded in Deed Book 104, Page 407, Public Records of Orange County, Florida for the said point also being on the Southerly right-of-way line of the former Orange Belt Railway Company Railroad as described and recorded in Deed Book 40, Page 275, Public Records of Orange County, thence departing aforesaid East boundary line of Section 22, run South 79°45'29" West along said Southerly right-of-way line for a distance of 40.49 feet to the POINT OF BEGINNING; thence continue South 79°45'29" West along aforesaid Southerly right of way for a distance of 411.94 feet to the point on a non-tangent curve, concave Northerly having a radius of 600.00 feet, with a chord bearing of South 89°01'39" West, and a chord distance of 38.99 feet, thence run Westerly through a central angle of 03°43'26" along the arc of said curve for a distance of 39.00 feet to a point of reverse curvature of a curve; concave Southerly having a radius of 600.00 feet and a central angle of 06°34'16" with a chord bearing of South 87°36'14" West, and a chord distance of 68.78 feet, thence run Westerly along the arc of said curve for a distance of 68.81 feet to a point on a non-tangent line; thence run North 10°14'31" West for a distance of 34.33 feet; thence run North 79°45'29" East for a distance of 527.63 feet to a point on the West right of way line of aforesaid North Park Avenue; thence run South 00°02'23" East for a distance of 50.82 feet to the POINT OF BEGINNING.

Containing 25,249 square feet or 0.58 acres, more or less.

ATTACHMENT "B"

FUTURE LAND USE MAP

S Park Avenue



Subject property changed from No Future Land Use to Medium Density Residential

ORDINANCE 19-48

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.91 +/- ACRES OF LAND GENERALLY LOCATED AT 30 N PARK AVENUE AND S PARK AVENUE, NORTH OF WEST PLANT STREET, WEST OF N/S PARK AVENUE, AND SOUTH OF W BAY STREET, FROM R-2 (RESIDENTIAL) AND NZ (NO ZONING) TO PUD (PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE 30 NORTH PARK PUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner(s) of real property generally described as approximately 0.91 ± acres of certain real property generally located at 30 N Park Avenue and S Park Avenue, north of West Plant Street, west of N/S Park Avenue, and south of W Bay Street in Winter Garden, Florida, being more particularly described in Exhibit “A” attached hereto and incorporated herein by this reference (the “Property”), desire to rezone their property from R-2 (Residential) and NZ (No Zoning) to PUD (Planned Unit Development”), and

WHEREAS, the Planning and Zoning Board has considered this Ordinance and made a recommendation to the City Commission concerning its adoption; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the land development regulations set forth in the City of Winter Garden Code of Ordinances; and

WHEREAS, based on competent substantial evidence in the record, the requested rezoning set forth in this Ordinance meets all applicable criteria specified in the City of Winter Garden Comprehensive Plan and the Code of Ordinances; Now therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. After due notice and public hearing, the zoning classification of the Property, as described in Exhibit “A” attached hereto, is hereby rezoned from City R-2 and NZ to City PUD in the City of Winter Garden, Florida subject to the following conditions, provisions and restrictions:

- a. **Conceptual Plan-** All development on the Property must substantially conform to the requirements identified in the 30 North Park Planned Unit

Development Plan attached hereto as Exhibit "B." Should any conflict be found between this Ordinance and the 30 North Park Planned Unit Development Plan attached hereto as Exhibit "B", then the standards and conditions established by this Ordinance shall control.

b. Zoning- Unless specifically noted elsewhere in Exhibit "B" attached hereto, or expressly provided for herein, all development on the Property must comply with the general zoning requirements of the Planned Unit Development zoning district as they pertain to properties that have primary residential uses. These requirements include any approval procedures of the Planned Unit Development zoning district.

c. Permitted Uses- The permitted uses for the subject property are as follows:

1. Permitted primary structures and uses:
 - a) Townhomes.
2. Permitted accessory structures and uses:
 - a) Customary accessory uses and structures clearly incidental and subordinate to a principal use.

d. Special Exception Uses- There are no special exception uses for the property.

e. Prohibited Uses- The prohibited uses for all areas of the subject property are as follows:

1. All uses prohibited by Sec. 118-858(5), City of Winter Garden Code of Ordinances.
2. All uses not specifically permitted in this Ordinance; any use not in keeping with a traditional downtown neighborhood character.

f. Design Criteria/Architectural Standards-

1. **Architectural Standards-** All development on the Property must maintain the same general design criteria and architectural characteristics as the Building Elevations attached hereto as Exhibit "C".
2. **Maximum Building Height-** The maximum building height shall not exceed 45 feet.
3. **Minimum Living Area-** Minimum living area for each residential unit shall be 1,000 square feet.
4. **Signage-** All signage shall be reviewed and permitted by the City of

Winter Garden.

5. Setbacks and Required Yards-

- a) Front (Park Ave): 10' min.
- b) Side (North): 30' min.
- c) Side (South): 14' min.
- d) Rear: 25' min.
- e) The distance between townhome buildings shall be no less than 20 feet.

6. Impervious Surface Area Ratio- The maximum impervious surface area ratio for the Property shall be consistent with the overall maximum impervious surface area ratio that the Planned Unit Development is permitted by Saint John's River Water Management District.

g. Staff Conditions- All development on the Property must comply with the following staff conditions:

- 1. Based on the preliminary layout, the project will be platted and shall follow all provisions of Chapter 110. Preliminary plat will be required, etc.
- 2. Based on the response the mechanical equipment will be located within the individual garages with a.c. units on the roof. Planning shall dictate screening requirements.
- 3. Preliminary Utility Plan:
 - a) Verify the size of the existing water main on Park Avenue. The City's GIS shows this as a 6" water main, not 8".
 - b) Fire & Building Departments will need to review for fire protection, fire hydrants, etc. Fire sprinklers may be required.
 - c) Water/sewer impact fees will be required. All costs associated with relocating the 18" force main and 12" reuse main shall be the responsibility of the developer.
- 4. Options for solid waste pick-up were discussed at the 7/03/19 DRC meeting. Final resolution shall be coordinated with Public Services, Solid Waste Division.
- 5. The Applicant shall submit plans and documentation showing adherence to Section 118-68, requirements for site plans, as required by the City Code.
- 6. General Requirements:
 - a) All gravity sanitary pipe and fittings shall be SDR 26.
 - b) All compaction shall be 98% of the modified proctor maximum

density (AASHTO T-180).

- c) As-built record drawings shall comply with City of Winter Garden requirements available on-line ([note on plan](#)).
 - d) All Storm (≥ 12 ") and Sanitary lines (≥ 6 ") shall be inspected by CCTV prior to completion.
- 7. All utilities shall conform to Chapter 78 of the City Code. Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all required water, irrigation and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.
- 8. Sanitary laterals shall be 6" minimum.
- 9. Final plans shall show drainage for the site, historical/adjacent drainage patterns, all to be supported by the soil report and calculations.
- 10. Minimum 5' wide concrete sidewalks shall be constructed along all street frontages pursuant to Code. Any damaged, broken or cracked sections (including existing curbs and pavement) shall be replaced prior to issuance of certificate of occupancy.
- 11. If specified, the use of thermoplastic pipe shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe, laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).
- 12. Landscaping shall not encroach on required sight lines at intersections or driveways. Design Engineer shall provide certification that sight distance requirements are being met. All irrigation on the site shall be designed to be supplied by reclaimed water when available and shall be served by a jumper to potable water until that time.
- 13. A separate tree removal permit is required to remove any trees. Coordinate with Building Department.
- 14. No trees may be planted over or within 5 feet of any utility lines. Only sod or shrubs may be planted over utility lines.
- 15. Permit from SJRWMD is required as well as permits or exemptions from FDEP for water, wastewater and NPDES.
- 16. Streetlighting, both internally and on all street frontages, is required pursuant to City Code – dark skies lighting is required. Provide a

photometric plan to be submitted for review by the Planning Department.

17. Use City Standard Detail Sheets for utilities and public works. All on-site utilities shall be privately owned and maintained.
18. Fire sprinkler systems will be required on all buildings over 6,000 s.f. with Point of Service (POS), backflow prevention, etc. shown. All work downstream of the POS shall be performed by a licensed fire sprinkler contractor.
19. Any screen walls or retaining walls shall require a separate permit from the Building Department.
20. All underdrain pipe shall be double wall HDPE pipe or PVC pipe.
21. Internal sidewalks shall connect to the public sidewalks in the right-of-way per ADA.
22. Recreation mitigation fees may be required for any required recreation areas that are not able to be located on site. This fee is based on the fair market price of the land that would otherwise be dedicated to recreation.
23. The final design of the entry columns / faux gates shall be determined during the Site Plan Approval review.
24. The trash cans shown on Park Ave shall be permitted to be in this location only during the designated trash pickup day and must otherwise be stored inside the buildings.
25. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
26. All work shall conform to City of Winter Garden standards and specifications.
27. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
28. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others, including by way of any development order or permit issued. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City shall not be responsible and any corrective measures required will be the responsibility of the Owner/Developer. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the

City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

29. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of **2.25%** of the cost of all site improvements shall be paid prior to issuance of the building permit.

SECTION 2: *General Requirements.*

- a. **Development Agreement-** If deemed necessary by City Staff, a Development Agreement shall be drafted, approval obtained and recorded prior to approval of any site or building permits for the Property.
- b. **Stand Alone Clause-** Each phase of development of the Property must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.
- c. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permits or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- d. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- e. **Expiration/Extension-** Expiration of this PUD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.
- f. **Violation -** A violation of this Ordinance is considered a violation of the City of Winter Garden Code of Ordinances and zoning of the Property

SECTION 3: *Zoning Map.* The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this

ordinance.

SECTION 4: *Non-Severability.* Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 5: *Effective Date.* This Ordinance shall become effective after its adoption at its second reading upon the occurrence of the effective date of Comprehensive Plan future land use map amendment Ordinance 19-47.

FIRST READING AND PUBLIC HEARING: _____, 2019.

SECOND READING AND PUBLIC HEARING: _____, 2019.

ADOPTED this _____ day of _____, 2019, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

Exhibit "A"

PARCEL ID(s): 22-22-27-0000-00-090; 22-22-27-0000-00-117 (portion)

LEGAL DESCRIPTION

A parcel of land lying in Section 22, Township 22 South, Range 27 East, Orange County, Florida, being a portion of the land described in Official Records Book 5017, Pages 3567 through 3586, Public Records of Orange County Florida Being more particularly described as follows:

Commencing at the Southeast corner of the Northeast 1/4 of Section 22, Township 22 South, Range 27 East, Orange County, Florida, run North 00°02'23" East for a distance of 2,288.96 feet along the East boundary of said Northeast 1/4 to a point on the Northerly right-of-way line of the former Tavares and Gulf Railroad as described and recorded in Deed Book 104, Page 407, Public Records of Orange County, Florida for the said point also being on the Southerly right-of-way line of the former Orange Belt Railway Company Railroad as described and recorded in Deed Book 40, Page 275, Public Records of Orange County, thence departing aforesaid East boundary line of Section 22, run South 79°45'29" West along said Southerly right-of-way line for a distance of 30.49 feet to a point on the West right of way line of North Park Avenue and the POINT OF BEGINNING; thence continue South 79°45'29" West along aforesaid Southerly right of way for a distance of 411.94 feet to the point on a non tangent curve, concave Northerly having a radius of 600.00 feet, with a chord bearing of South 89°01'39" West, and a chord distance of 38.99 feet, thence run Westerly through a central angle of 03°43'26" along the arc of said curve for a distance of 39.00 feet to a point of reverse curvature of a curve; concave Southerly having a radius of 600.00 feet and a central angle of 06°34'16" with a chord bearing of South 87°36'14" West, and a chord distance of 68.78 feet, thence run Westerly along the arc of said curve for a distance of 68.81 feet to a point on a non tangent line; thence run North 10°14'31" West for a distance of 34.33 feet; thence run North 79°45'29" East for a distance of 242.87 feet; thence run North 00°02'23" East for a distance of 50.82 feet; thence run North 79°45'29" East a distance of 284.76 feet to a point on the West right of way line of aforesaid North Park Avenue; thence run South 00°02'23" West along said West right of way line for a distance of 101.63 feet to the POINT OF BEGINNING.

Containing 39486.81 square feet or 0.91 acres, more or less.

Exhibit "B"

COVER PAGE

30 North Park PUD PLAN

(10 PAGES - ATTACHED)

30 North Park PD at Winter Garden

CITY OF WINTER GARDEN, FL

PID: 22-22-27-0000-00-090 and 22-22-27-0000-00-117

PREPARED FOR

Cynergreen Hospitality, Inc

525 W. Plant Street
Winter Garden, FL 34787

OWNER/DEVELOPER

Joe Hoffer, Partner
Cynergreen Hospitality, Inc.
525 West Plant Street
Winter Garden, FL 34787
407-605-3500

ENGINEER

GTC Engineering Corporation
98 S. Semoran Boulevard
Orlando, FL 32807
407-380-0402

ARCHITECT

Michael Morrissey
30 West Smith Street
Winter Garden, FL 34787
407-616-7770

SURVEYOR

Allen & Company
16 East Plant Street
Winter Garden, FL 34787
407-654-5355

LANDSCAPING

Foster-Conant & Asso., Inc.
120 West Robinson St.
Orlando, FL 32801
407-648-2225

GEOTECHNICAL

GEC Consultants, Inc.
919 Lake Baldwin Lane
Orlando, FL 32814
407-898-1818

ENVIRONMENTAL

Bio-Tech Consulting Inc.
3025 East South Street
Orlando, FL 32803
407-894-5969

SITE LOCATION



SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2-4	BOUNDARY AND TOPOGRAPHIC SURVEY
5	PRELIMINARY SITE PLAN
6	PRELIMINARY DRAINAGE PLAN
7	PRELIMINARY UTILITY PLAN
8	LOT LAYOUT PLAN
9-10	LANDSCAPE/TREE REMOVAL PLAN
11-12	BUILDING ELEVATIONS

July 29, 2019

GTC Engineering Corporation

Certificate of Authorization
Number 6758
Claude L. Cassagnol, P.E.
P.E. Number 35490

98 South Semoran Blvd, Orlando, FL 32807
407-380-0402



16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654-5355

BOUNDARY and TOPOGRAPHIC SURVEY
OF
NORTHWEST CORNER OF PARK AVE. & PLANT ST.
SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST
ORANGE COUNTY, FLORIDA

FOR:

DATE	REVISIONS
5/21/19	ADD NEW LEGAL
4/26/19	ADD TREES AND INSERTS

JOB # 20180751
 DATE: 2/15/2019
 SCALE: 1" = 20'
 CALC BY: DY/JLR
 FIELD BY: CD/JS/AH
 DRAWN BY: DY/JLR
 CHECKED BY: JJ/JLR

SHEET 1 OF 3

SHEET 2

LEGAL DESCRIPTION: (OVERALL PARCEL)

A parcel of land lying in Section 22, Township 22 South, Range 27 East, Orange County, Florida, being a portion of the land described in Official Records Book 5017, Pages 3567 through 3586, Public Records of Orange County Florida Being more particularly described as follows:

Commencing at the Southeast corner of the Northeast 1/4 of Section 22, Township 22 South, Range 27 East, Orange County, Florida, run North 00°02'23" East for a distance of 2,268.96 feet along the East boundary of said Northeast 1/4 to a point on the Northerly right-of-way line of the former Tavares and Gulf Railroad as described and recorded in Deed Book 104, Page 407, Public Records of Orange County, Florida for the said point also being on the Southerly right-of-way line of the former Orange Belt Railway Company Railroad as described and recorded in Deed Book 40, Page 275, Public Records of Orange County, thence departing aforesaid East boundary line of Section 22, run South 79°45'29" West along said Southerly right-of-way line for a distance of 30.49 feet to a point on the West right of way line of North Park Avenue and the POINT OF BEGINNING; thence continue South 79°45'29" West along aforesaid Southerly right of way for a distance of 411.94 feet to the point on a non tangent curve, concave Northerly having a radius of 600.00 feet, with a chord bearing of South 89°01'39" West, and a chord distance of 38.99 feet, thence run Westerly through a central angle of 03°43'26" along the arc of said curve for a distance of 39.00 feet to a point of reverse curvature of a curve; concave Southerly having a radius of 600.00 feet and a central angle of 06°34'16" with a chord bearing of South 87°36'14" West, and a chord distance of 68.78 feet, thence run Westerly along the arc of said curve for a distance of 68.81 feet to a point on a non tangent line; thence run North 10°14'31" West for a distance of 34.33 feet; thence run North 79°45'29" East for a distance of 242.87 feet; thence run North 00°02'23" East for a distance of 50.82 feet; thence run North 79°45'29" East a distance of 284.76 feet to a point on the West right of way line of aforesaid North Park Avenue; thence run South 00°02'23" West along said West right of way line for a distance of 101.63 feet to the POINT OF BEGINNING.

Containing 39486.81 square feet or 0.91 acres, more or less.



VACINITY MAP (NOT TO SCALE)

SURVEYOR'S NOTES ON SCHEDULE BII OF TITLE COMMITMENTS:

Parcel "A" as prepared by First American Title Insurance, File Number 2037-3714555, Effective Date of February 22, 2017 at 8:00 A.M.

9. Easement Agreement in favor of Florida Power Corporation recorded December 19, 1995 in Book 4989, Page 2317. does not affect subject property and is shown hereon.

Parcel "B" as prepared by Manzo & Associates, P.A., Order Number 6209635, Customer Reference Number 2017023631, Effective Date of February 7, 2017 at 11:00 P.M..

6. Deed recorded in Official Records Book 4989, Page 2317. Affects subject property and is shown hereon.

7. Easement Agreement in favor of Florida Power Corporation recorded December 19, 1995 in Book 4989, Page 2317. does not affect subject property and is shown hereon.

SURVEYOR'S NOTES:

- Bearings shown hereon are based on the West right-of-way line of N. Park Ave. as being N00°02'23"E. (an assumed bearing for angular designation only)
- There may be easements and restrictions of record and/or private agreements not furnished to this surveyor or shown on this boundary survey that may affect property rights and/or land use rights of the subject property.
- This Survey was performed with the benefit of Insurance Title Commitments, Parcel "A" as prepared by First American Title Insurance, File Number 2037-3714555, Effective Date of February 22, 2017 at 8:00 A.M. and Parcel "B" as prepared by Manzo & Associates, P.A., Order Number 6209635, Customer Reference Number 2017023631, Effective Date of February 7, 2017 at 11:00 P.M..
- There may be environmental issues and/or other matters regulated by various Departments of Federal, State or Local Governments affecting the subject property not shown on this survey.
- This Survey was performed for the sole and exclusive benefit of the entities listed hereon and shall not be relied upon by any other entity or individual whomsoever.
- This Survey is not valid without the signature and original raised seal of a Florida licensed surveyor and mapper.
- Underground utilities and improvements were not located, unless shown hereon.
- Underground utilities shown hereon were located and marked by the individual utility companies. This surveyor only shows these above ground markings as field located and is not responsible for inaccurate and/or possible utilities not shown.
- Subject property shown hereon is in Zone X, area determined to be outside the 0.2% annual chance floodplain, according to Flood Insurance Rate Map panel number 12095C0205F, map date 9/25/2009.
- Last date in field: February 24, 2017.

CERTIFICATION TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11, AND 13 OF TABLE A THEREOF.

FOR THE SURVEYOR'S BUSINESS #6723 BY:

[Signature]
 5/21/2019
 JAMES L. RICKMAN, P.S.M. #5633

BOUNDARY and TOPOGRAPHIC SURVEY
OF
NORTHWEST CORNER OF PARK AVE. & PLANT ST.
SECTION 22, TOWNSHIP 22 SOUTH, RANGE 27 EAST
ORANGE COUNTY, FLORIDA

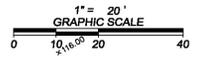
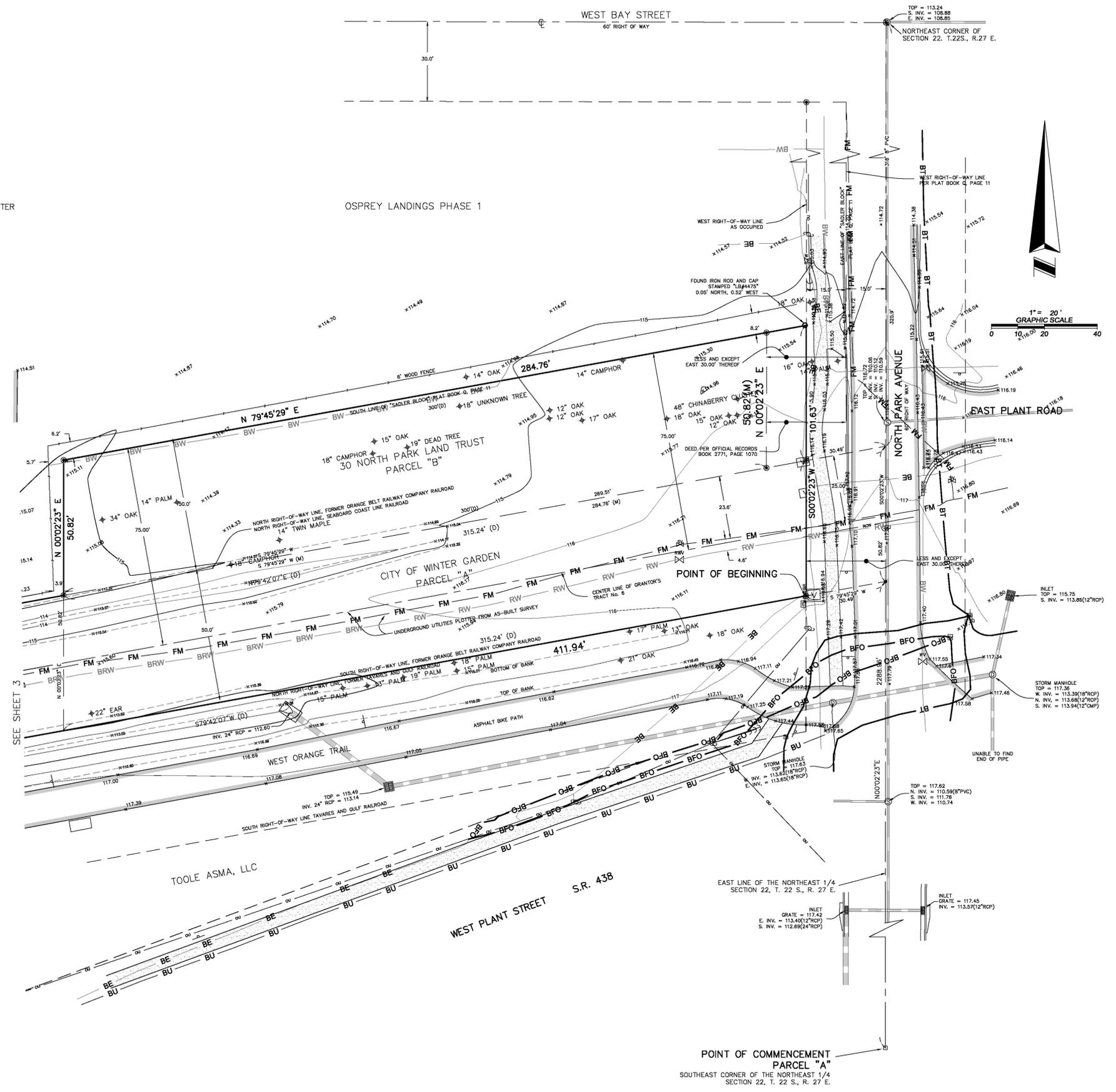
FOR:

DATE	ADD, TRESSES AND INVERTS	REVISIONS
4/24/19		

JOB #	20180751
DATE:	2/15/2019
SCALE:	1" = 20'
CALC BY:	DY/JLR
FIELD BY:	CD/JS/AH
DRAWN BY:	DY/JLR
CHECKED BY:	JJ/JLR

LEGEND

-  AIR RELEASE VALVE
-  DRAINAGE MANHOLE
-  SIGN
-  SEWER VALVE
-  CONCRETE SIGNAL POLE
-  TELEPHONE RISER
-  UTILITY POLE
-  WOOD PRIVACY FENCE
-  POST AND RAIL FENCE
-  OVERHEAD UTILITY LINE
-  GUY ANCHOR
-  CONCRETE
-  ASPHALT PAVING WITH 2' CURB & GUTTER
-  ASPHALT PAVING
-  MITRED END SECTION
-  FM- SANITARY FORCE MAIN
-  RW- RECLAIMED WATER LINE
-  SET 1/2" IRON ROD AND CAP STAMPED "LB#6723"
-  BT- BURIED TELEPHONE LINE
-  BW- BURIED WATER LINE
-  BE- BURIED ELECTRIC LINE
-  BFO- BURIED FIBER OPTIC LINE



PROPOSED VARIANCE REQUESTS:

SEC. 118-923 - MINIMUM COMMON RECREATION AND OPEN SPACE.
 FOR A RESIDENTIAL PLANNED UNIT DEVELOPMENT, THE MINIMUM COMMON RECREATION AND OPEN SPACE SHALL BE 20 PERCENT OF GROSS SITE ACREAGE. THE TERM "COMMON RECREATION AND OPEN SPACE" SHALL BE DEFINED AS THE TOTAL AMOUNT OF IMPROVED USABLE AREA, INCLUDING OUTDOOR SPACE, PERMANENTLY SET ASIDE AND DESIGNATED ON THE SITE PLAN AS RECREATIONAL OR OPEN SPACE FOR USE BY RESIDENTS OF THE PUD. SUCH USABLE SPACE MAY BE IN THE FORM OF ACTIVE OR PASSIVE RECREATION AREAS, INCLUDING BUT NOT LIMITED TO PLAYGROUNDS, GOLF COURSE, WATER FRONTAGE, NATURE TRAILS, LAKES, AND WETLAND AREAS.

VARIANCE REQUEST: REQUEST THAT MINIMUM COMMON RECREATION AND OPEN SPACE BE DEFINED AS SHOWN

SEC. 118-924 C - MINIMUM LOT AREA, FRONTAGE AND SETBACKS.
 THE MINIMUM DISTANCE BETWEEN STRUCTURES AND SIDE YARDS SHALL BE AS FOLLOWS: FOR TOWNHOUSES, UNPLATTED RESIDENTIAL DEVELOPMENT, COMMERCIAL DEVELOPMENT, AND ALL DEVELOPMENT OTHER THAN SINGLE-FAMILY PLATTED LOTS, THE DISTANCE BETWEEN STRUCTURES SHALL BE AS FOLLOWS:

- A. BETWEEN STRUCTURES OF 20 FEET IN HEIGHT OR LESS: 15 FEET.
- B. BETWEEN STRUCTURES OF 20 AND 30 FEET IN HEIGHT: 20 FEET.
- C. BETWEEN STRUCTURES OF 30 FEET AND 40 FEET IN HEIGHT: 25 FEET.
- D. BETWEEN STRUCTURES OVER 40 FEET IN HEIGHT: 40 FEET, PLUS FIVE FEET FOR EACH ADDITIONAL TEN FEET OF HEIGHT OR FRACTION THEREOF OVER 40 FEET.

VARIANCE REQUEST: REQUEST THAT THE MINIMUM DISTANCE BETWEEN STRUCTURES BE DEFINED AS SHOWN

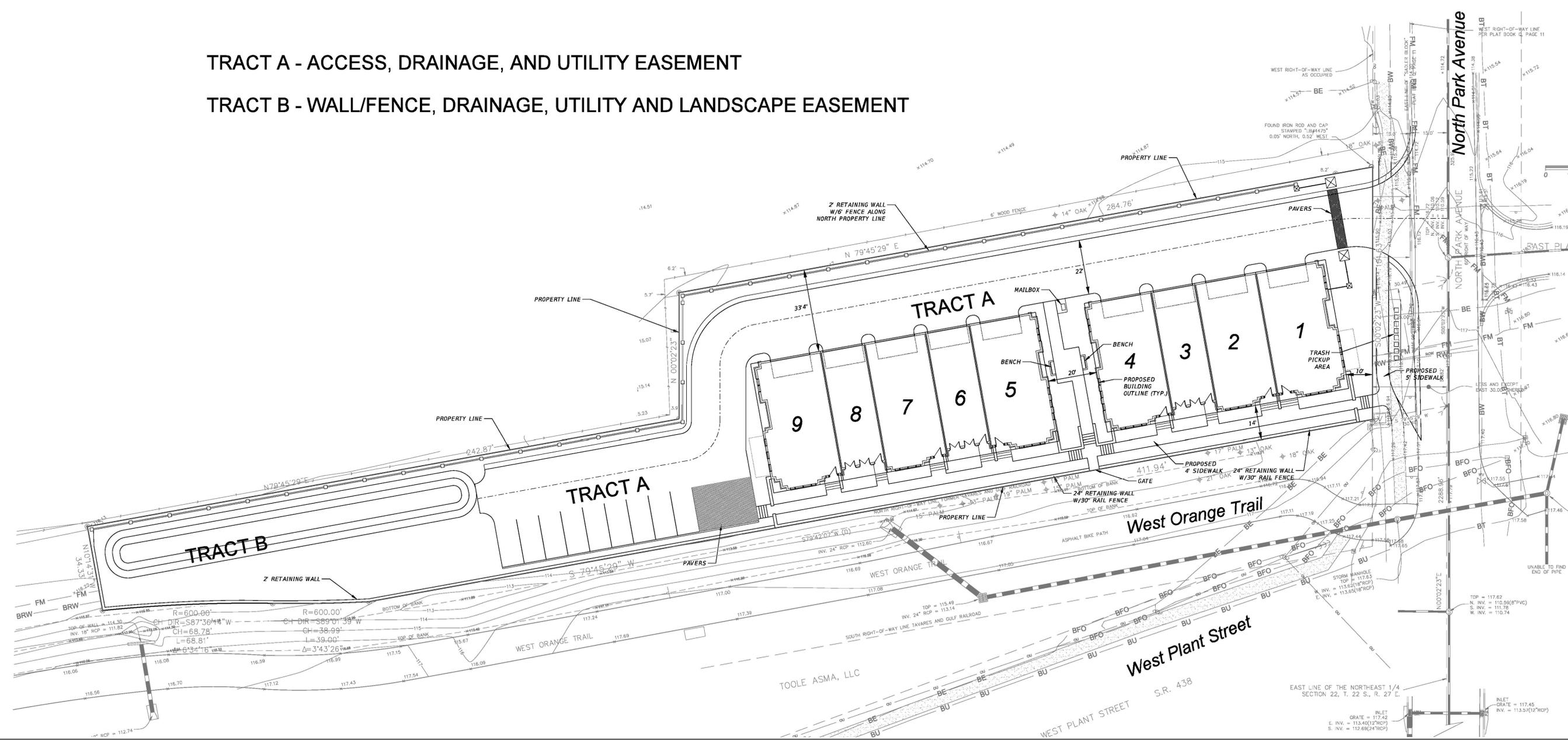
SEC. 118-924 D - MINIMUM LOT AREA, FRONTAGE AND SETBACKS.
 A MINIMUM 25-FOOT YARD SHALL BE REQUIRED FROM THE NEAREST PART OF ANY BUILDING WALL TO THE EDGE OF ANY PUBLIC RIGHT-OF-WAY OR PRIVATE STREET, AND ALL STRUCTURES SHALL HAVE A MINIMUM 20-FOOT REAR YARD. A MINIMUM 25-FOOT YARD SHALL BE MAINTAINED BETWEEN THE WALLS OF ALL STRUCTURES AND THE PERIMETER OF THE PUD. ADDITIONAL PERIMETER YARD REQUIREMENTS FOR MULTISTORY BUILDINGS SHALL BE FIGURED AT FIVE ADDITIONAL FEET FOR EACH TEN FEET OF HEIGHT OVER THE FIRST STORY.

VARIANCE REQUEST: REQUEST THAT BUFFER YARD AND SETBACKS BE DEFINED AS SHOWN

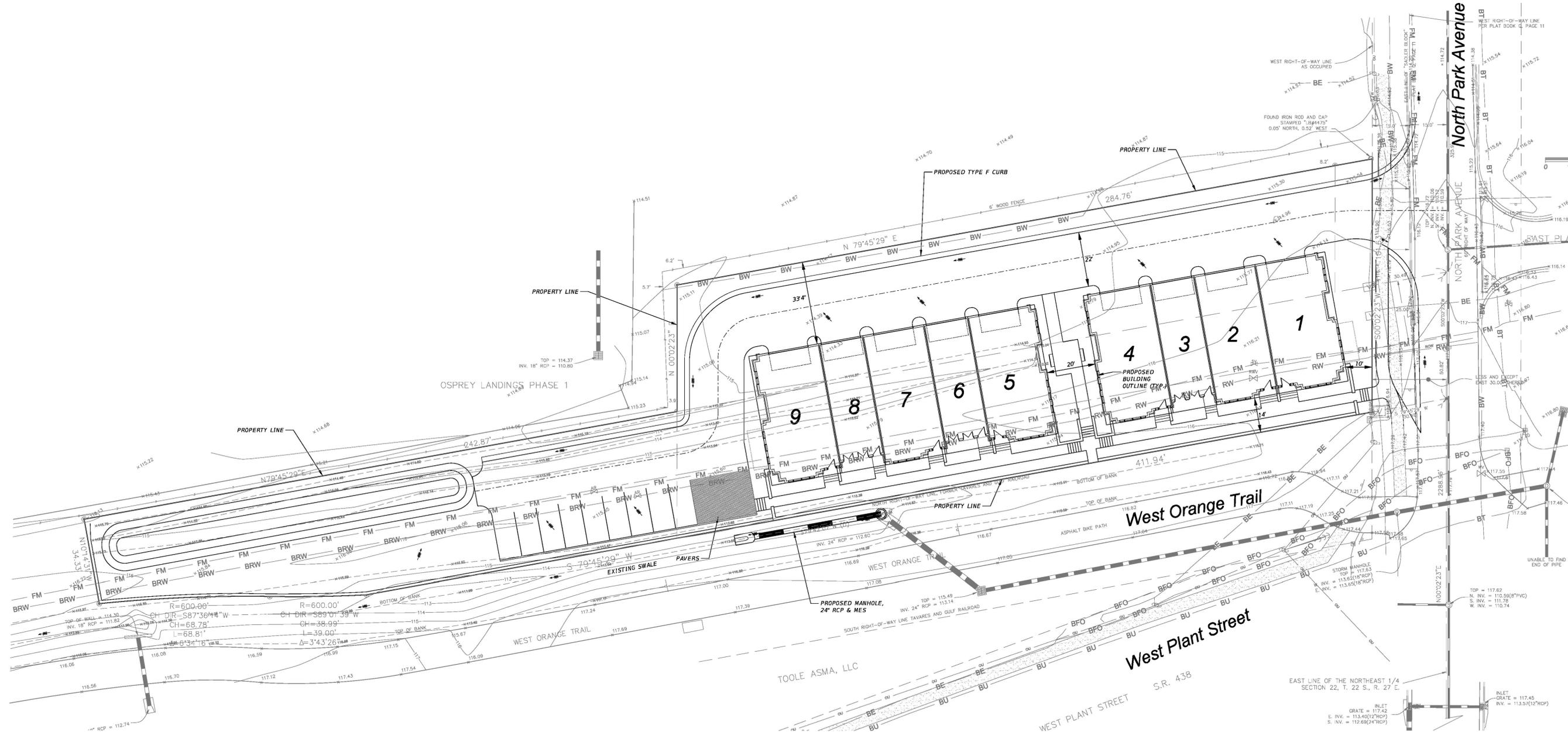
PROJECT DATA:

- | | |
|---------------------------------|--|
| 1. EXISTING FLU | MR |
| 2. EXISTING ZONING | R-2 |
| 3. PROPOSED FLU: | MR |
| 4. PROPOSED ZONING: | PUD |
| 5. ADJACENT ZONING: | NORTH - R-2, WEST - R-3 |
| 6. UTILITIES: | SOUTH - R-2/R-NC, EAST - R-1B |
| 7. POWER UTILITY SERVICE: | WATER, SEWER AND STORMWATER TO BE PROVIDED BY CITY OF WINTER GARDEN |
| 8. BLDG HEIGHT: | DUKE ENERGY |
| 9. TOTAL BUILDING AREA: | 50 FT (MAX) |
| 10. NO. OF UNITS: | 45 FT (PROPOSED) |
| 11. DENSITY: | 9,500 GSF |
| 12. GROSS/NET ACREAGE: | 9 TOWNHOME UNITS |
| 13. CONSTRUCTION PLAN PHASING: | 10 DU/AC (MAX) |
| 14. STORMWATER UTILITY SERVICE: | 9.9 DU/AC (PROPOSED) |
| 15. SOIL TYPES: | 0.91 ACRES (39483 SF) |
| 16. BUILDING SETBACKS PROVIDED: | THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ONE PHASE |
| 17. BUFFER YARDS PROVIDED: | STORMWATER RETENTION SHALL COMPLY WITH THE CITY OF WINTER GARDEN REGULATIONS AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD) REGULATIONS. |
| 18. OPEN SPACE PROVIDED: | BASINGER FINE SAND, (SOIL UNIT NO. 3) |
| 19. PARKING SPACES: | FRONT (PARK AVENUE) = 10 FT |
| | SIDE (NORTH) = 35 FT |
| | SIDE (ORANGE TRAIL/PLANT ST) = 14 FT |
| | REAR = IN EXCESS OF 50 FT |
| | FRONT (PARK AVENUE) = 10 FT MIN. |
| | SIDE (NORTH) = 36 FT |
| | SIDE (ORANGE TRAIL/PLANT ST) = 14 FT |
| | REAR = IN EXCESS OF 50 FT |
| | 32 % |
| | REQUIRED = 2 SPACES/DU * 9 DU = SPACES |
| | PROVIDED = 9 UNITS * 2 GARAGE SPACES + 9 SPACES = 27 SPACES |

TRACT A - ACCESS, DRAINAGE, AND UTILITY EASEMENT
TRACT B - WALL/FENCE, DRAINAGE, UTILITY AND LANDSCAPE EASEMENT



Fields	PRELIMINARY SITE PLAN	City of Winter Garden	JOB NUMBER: CYN-01	SHEET 5
	30 North Park PD at Winter Garden		DATE: 05-25-19	H:\Users\ICYN01\30 N Park\CD\PD\CYN01PSP.dgn
Climate Z. Consultant, P.E.	GTC Engineering Corporation	City of Winter Garden	P.E. Number 53490	
FIELD: ALLEN	CADD BY: CNY	CHECKED BY: CLC	DESIGNED BY: CNY/CLC	DESCRIPTION
REVISIONS	DATE	BY		
SCALE: 1"=20'	DATE	BY		



FIELD: ALLEN
 CADD BY: CMY
 CHECKED BY: CLC
 DESIGNED BY: CMY/CLC

REVISIONS	DATE	BY

SCALE: 1"=20'
 10/18/2019 10:18:42 AM

SCALE: 1"=20'

7/28/2019 10:18:42 AM

GTC Engineering Corporation
 98 South Semoran Blvd, Orlando, FL 32807
 Certificate of Authorization
 Number 6758

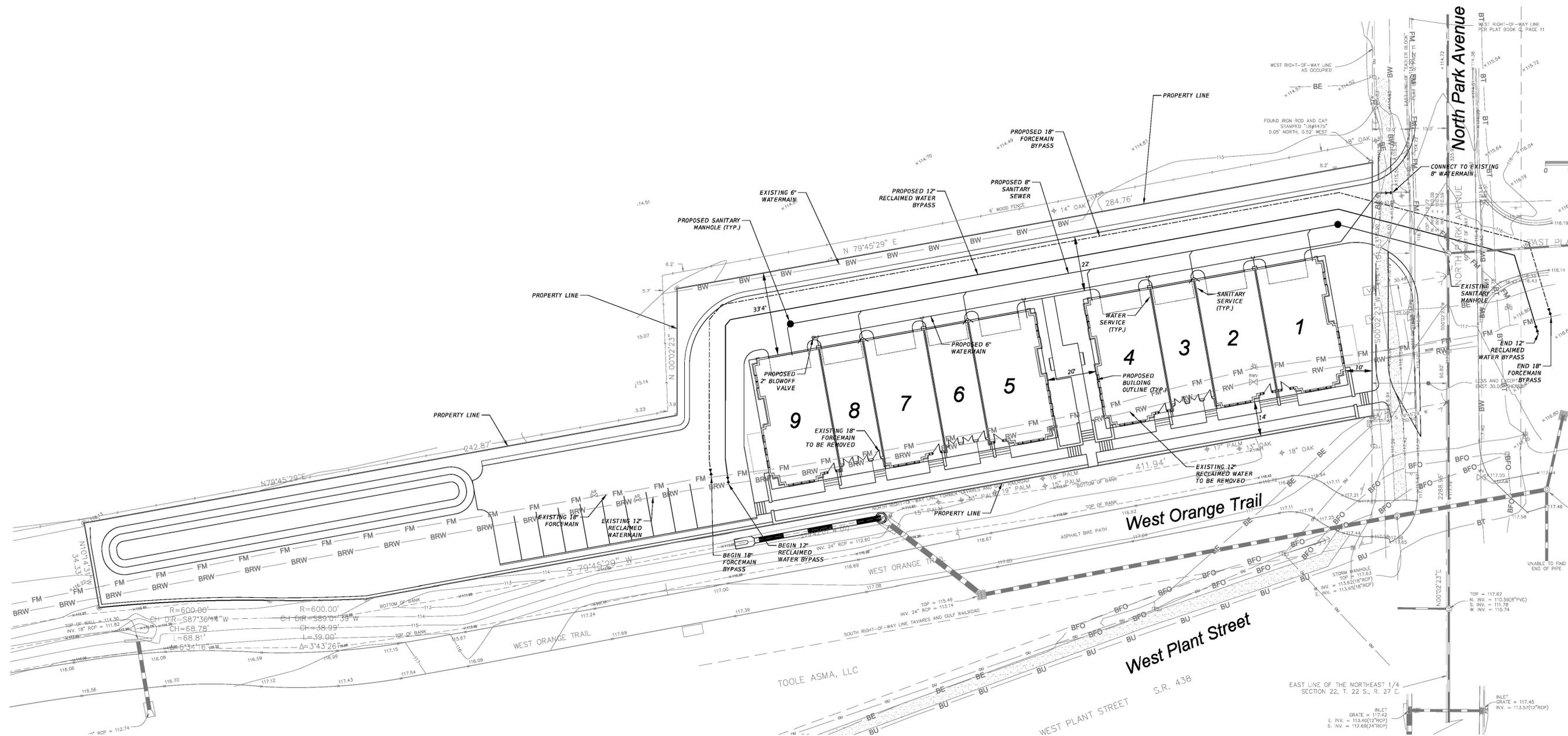
City of Winter Garden
 Claudio L. Casagrande, P.E.

PRELIMINARY DRAINAGE PLAN
 30 North Park PD at Winter Garden

JOB NUMBER: CYN-01
 SHEET: 6
 DATE: 05-25-19
 P.E. Number: 53490

NOTES:

1. WATER AND SEWER TO BE OWNED AND MAINTAINED BY CITY OF WINTER GARDEN UTILITIES.
2. PIPE FLOWS SHALL BE MAINTAINED DURING RELOCATION OF 18" FORCE MAIN AND 12" WATER MAIN.



<p>PRELIMINARY UTILITY PLAN 30 North Park PD at Winter Garden</p>		<p>FIELD: ALLEN CADD BY: CMY CHECKED BY: CLC DESIGNED BY: CMY/CLC</p>																
<p>GTC Engineering Corporation 98 South Semoran Ave., Orlando, FL 32807 Certificate of Authorization Number 6758</p>	<p>City of Winter Garden Claude L. Casagrande, P.E. P.E. Number 53490</p>	<p>DATE: 05-25-19 JOB NUMBER: CYN-01 SHEET: 7 14:06:11CYN01 30 N Park GDRPDCYN01-LTTL.dgn</p>																
<p>SCALE: 1"=20'</p>		<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	BY	DESCRIPTION												
NO.	DATE	BY	DESCRIPTION															

Exhibit "C"

COVER PAGE

30 North Park Architectural Elevations

(2 PAGES - ATTACHED)



5 UNIT - SOUTH



4 UNIT - SOUTH



SCALE:
3/32" @ 24x36

PROJECT:
30 N PARK TOWNHOMES
WINTER GARDEN FL

CLIENT:
CYNERGREEN
WINTER GARDEN FL

A1

ISSUE DATE
07-31-2019

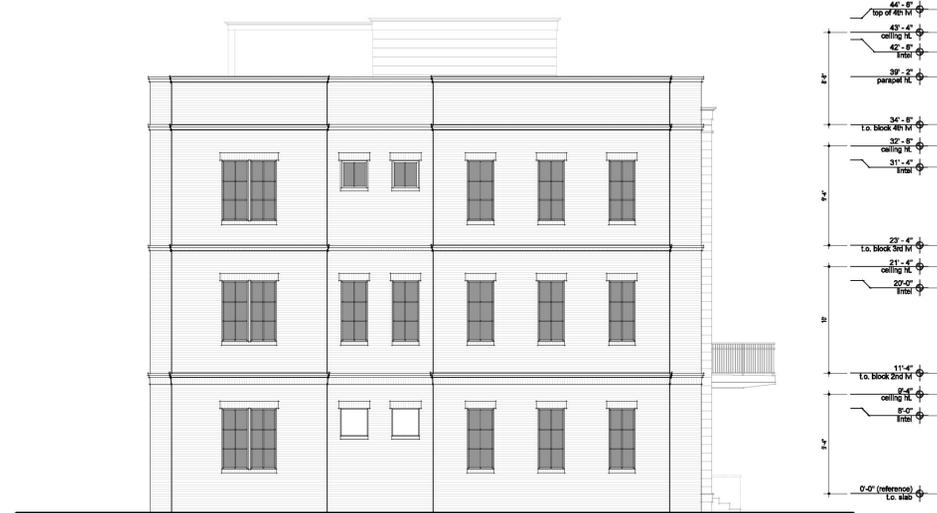
5 UNIT - WEST



5 UNIT - EAST



4 UNIT - WEST



4 UNIT - EAST



SCALE:
1/8" @ 24x36

PROJECT:
30 N PARK TOWNHOMES
WINTER GARDEN FL

CLIENT:
CYNERGREEN
WINTER GARDEN FL

A2

ISSUE DATE
07-31-2019

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

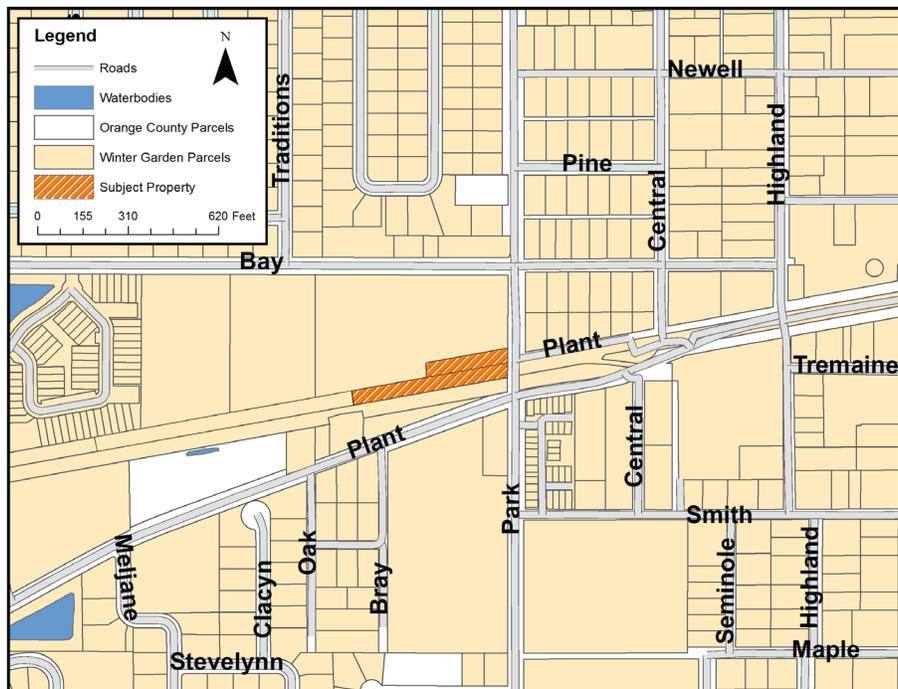
TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: SEPTEMBER 27, 2019
SUBJECT: FUTURE LAND USE & PUD ZONING
30 N Park Ave & S Park Ave (0.91 +/- ACRES)
30 N Park PUD
PARCEL ID # 22-22-27-0000-00-117 (A PORTION) (ORDS 19-47 & 19-48)
22-22-27-0000-00-090 (ORD 19-48)

APPLICANT: 30 North Park LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property consists of two parcels. One parcel is located at 30 N Park Avenue and the other parcel does not have an address, but is labeled as “S Park Avenue” by the Orange County Property Appraiser. The subject property is generally located north of West Plant Street, west of N/S Park Avenue, and south of W Bay Street and is approximately 0.91 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to change the Future Land Use Designation of an 0.58 acre portion of the parcel described as “S Park Ave” from No Future Land Use to Medium Density Residential and rezone this and the adjacent 0.33 acre property (30 N Park Ave) to Planned Unit Development.

The subject property is located in the City of Winter Garden and carries the zoning designations R-2 (Residential) and NZ (No Zoning). The subject property has a Future Land Use Designation of Medium Density Residential and No Future Land Use.

EXISTING USE

The subject property is currently undeveloped, with scattered trees and other vegetation.

ADJACENT LAND USE AND ZONING

The property to the north and west of the subject property is developed with multi-family residential buildings, is zoned R-2, and is located within the City of Winter Garden’s jurisdictional limits. Also to the west is a portion of a City-owned parcel that is undeveloped, zoned NZ (No Zoning) and is located in Winter Garden. The property to the south is developed with a segment of the West Orange Trail, is zoned NZ (No Zoning) and is located in the City. The properties to the east of the subject property include another segment of the West Orange Trail and a property that is developed with a single-family residence. This property is zoned R-2 and is located in the City.

PROPOSED USE

The proposed development includes rezoning the property to PUD in order to develop 9 new townhome units over two separate buildings: one townhome building will include 5 units and the other will include 4 units. The property will also include associated site development such as common recreation areas, a surface parking lot, sidewalks, and a stormwater retention area. An existing 12” reclaimed water main and 18” force main are proposed to be moved to accommodate the new development.

APPROVAL CRITERIA

In accordance with the City’s Comprehensive Plan and Land Development Regulations, a proposed planned unit development and its associated preliminary development plan may be approved only after competent, substantial evidence has been presented which allows the following determinations to be made: (staff conclusions/findings are underlined)

- (1) The proposed PUD is consistent with the land development regulations, comprehensive plan and the future land use map;

The proposed PUD is consistent with the City’s land development regulations, comprehensive plan, and the future land use map. See other portions of this report concerning consistency with the land development regulations. PUD Zoning is permitted with a Medium Density Residential (MR) Future Land Use Designation.

- (2) The proposed PUD will not substantially devalue or prevent reasonable use and enjoyment of the adjacent properties;

The proposed PUD project will not deprive or prevent adjacent property owners of any rights or abilities to enjoy or continue existing uses of their property or to develop their property in accordance with the city's land development regulations and comprehensive plan goals, objectives, and policies. Further, in accordance with land development regulations and the comprehensive plan, where appropriate, the proposed PUD will provide for adequate buffering against adjoining properties and rights-of-way in the form of either landscaping to create a visual screen and/or perimeter walls/fencing. The site is located adjacent to the City's Historic Downtown District, where higher densities are permitted and connectivity is emphasized and also directly abuts an apartment complex to the north.

- (3) Adequate public infrastructure facilities and water and sewer service to support the development of the proposed PUD are available or an agreement or binding conditions have been established that will provide these facilities, improvements and services in a reasonable time frame;

The existing potable water flow pressure of the City's utility system within the surrounding area is sufficient to support the development of the subject property. The property is not currently a water or sewer customer of the City of Winter Garden. At such time that the property is developed, the required utility connections will be made to serve the new townhome buildings. Furthermore, an existing 12" reclaimed water main and 18" force main are proposed to be moved to accommodate the new development. All extension and connection costs shall be borne by the property owner.

Prior to any board approvals, a Developer's Agreement detailing the obligations of the developer associated with the proposed PUD may be required. The requirement for a Developer's Agreement will be determined during the Final Engineering review.

- (4) The proposed PUD will not allow a type or intensity of development that is premature or presently out of character in relationship to the surrounding area;

The proposed PUD project is consistent with the comprehensive plan's goals, objectives and policies for the Medium Density Residential future land use designation; the PUD zoning criteria; and the City's land development regulations. The proposed PUD project features a gross residential density of +/- 9.89 dwelling units per acre which is lower than the maximum density of 10 dwelling units per acre permitted within the Medium Density Residential future land use designation.

The proposed PUD is not premature or presently out of character in relationship to the surrounding area. The subject property is located on the northwest corner of W Plant Street and S Park Avenue, which is a prominent gateway site to the Downtown District from the west. The Winter Garden downtown district features a range of uses commercial, residential, institutional, mixed-use, etc. – all of which are located within close proximity to each other. Furthermore, there are many residential and commercial developments within the surrounding area which have similar or greater density and/or intensity than the proposed PUD project. The property to the north of the subject property is developed with numerous multifamily apartment buildings. The property to the south west of the subject property (Park Place) features numerous townhome buildings that have a gross residential density of 21 dwelling units per acre and some units are permitted a live/work component. Furthermore, there is a property in close

proximity to the subject property to the south that features two and three story multi-family residential buildings. Both of these properties feature the same type of development proposed by the applicant.

- (5) The rezoning will not interfere with an adjacent property owner's reasonable expectation of use or enjoyment; and

In accordance with the City's comprehensive plan, the zoning designations permitted within the Medium Density Residential future land use designation include Planned Unit Development. Further, in accordance with land development regulations and the comprehensive plan, where appropriate, the proposed PUD will provide for adequate buffering against adjoining properties and rights-of-way in the form of either landscaping to create a visual screen and/or perimeter walls/fencing. The site is located adjacent to the City's Historic Downtown District, where higher densities are permitted and connectivity is emphasized; the new development should not interfere with the adjacent property owner's reasonable expectation of use or enjoyment.

- (6) There is availability and adequacy of primary streets and thoroughfares to support traffic to be generated within the proposed PUD and the surrounding area, or an agreement or binding conditions have been established that will provide such transportation facilities to support said traffic in a reasonable time frame.

The adjacent street, N Park Avenue, has sufficient capacity to support the traffic generated by 9 new townhome units. In order to minimize potential trail conflicts, the property will only have one access point along N Park Avenue. The developer will also provide a new sidewalk connection along N Park Avenue and design internal sidewalks to accommodate increased pedestrian traffic. Furthermore, the location of the townhomes in close proximity to the myriad activities and destinations downtown is anticipated to result in a comparatively lower number of vehicular trips.

- (7) The degree of departure or conformity of the proposed PUD with surrounding areas in terms of character and density.

The proposed PUD project is consistent with the comprehensive plan's goals, objectives and policies for the Medium Density Residential future land use designation, the PUD zoning criteria, and land development regulations. As stated above, the proposed PUD features a gross density of +/- 9.89 dwelling units per acre, which is lower than the maximum density of 10 dwelling units per acre permitted within the Medium Density Residential future land use designation.

- (8) Compatibility of uses and improvements within the PUD and the relationship with surrounding existing or proposed developments.

The proposed PUD project integrates several elements that provide for cohesion between existing and proposed uses surrounding the property. The project includes construction of an internal sidewalk connection to N Park Ave to enhance pedestrian circulation in the area. The project will also include the preservation of open space areas in accordance with City Code requirements for common open space. Overall, the PUD features a medium density residential use that is consistent with the vibrant, mixed-use character of Winter Garden's downtown district. The project is located in

close proximity to the Plant Street Market, Crooked Can Brewery, several professional office buildings, as well as single-family and multi-family residences.

- (9) Prevention of erosion and degrading or enhancement of the surrounding areas.

The proposed PUD project will not erode or degrade the environmental quality of the surrounding area. To the greatest extent possible, stormwater management features will be designed as landscape amenities. Proper erosion and sedimentation control measures will be taken during the construction process.

- (10) Provision for recreation facilities, surface drainage, flood control and soil conservation as shown in the preliminary development plan.

The PUD must comply with the open space requirements of City Code as well as any recreation requirements for residential developments. The project currently complies with the City's open space requirements. For the recreation areas, the developer is still developing final plans for outdoor recreation spaces. If they are deficient, they will be required to pay into the City's recreation fund to compensate for the required recreation area that is unable to be located on site. The amount that the developer will have to contribute to the fund is based on the fair market value of the land that would have otherwise been dedicated to recreation uses. In addition, there is currently a plan for a new City park that will be located directly east of the property that will soon be available to meet the recreation needs of the new residents.

Stormwater management for the proposed PUD project will be provided in on-site stormwater management areas to satisfy the City of Winter Garden, St. John's Water Management District and strict requirements of the Wekiva Study Area criteria.

- (11) The nature, intent and compatibility of any common open space, including the proposed method for the maintenance and conservation of the common open space.

The proposed PUD project will comply with the City's requirements for open space (20% per code section 118-923). The open spaces will be designated as platted tracts dedicated to the 30 N Park Homeowners Association, which will own and maintain them.

- (12) The feasibility and compatibility of the specified stage(s) or phase(s) contained in the preliminary development plan to exist as an independent development.

The PUD is anticipated to be built in one phase. However, if the developer decides to phase the project, each phase of development of the proposed PUD project must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.

- (13) The availability of existing or planned reclaimed water service to support the proposed PUD.

Reclaimed water capacity is currently available to serve the property on which the PUD is proposed to be developed. The project must make provisions for connecting to reclaimed lines. All required utility lines will be connected to serve the development, and all connection costs shall be borne by the property owner.

- (14) The benefits within the proposed PUD development and to the general public to justify the requested departure from standard land use requirements inherent in a PUD classification.

The proposed PUD includes the requirement that the architecture meet a certain level of design and material quality, and also be consistent with the architectural traditions of downtown Winter Garden as well as exhibit aesthetic harmony with surrounding properties. The project will provide much-needed residential space to the downtown district, increasing the diversity of housing types. The townhomes will provide dwelling options that emphasize walkability and pedestrian activity, which will help create a more vibrant downtown.

- (15) The conformity and compatibility of the proposed common open space, residential and/or nonresidential uses within the proposed PUD.

As stated previously, the proposed PUD project will comply with the City's requirements for open space (20% per code section 118-923). The residential use will exist harmoniously within the context of the Winter Garden downtown district. No nonresidential uses are proposed for the property.

- (16) Architectural characteristics of proposed residential and/or nonresidential development.

A variety of architectural requirements have been incorporated into the townhome building standards in the proposed PUD project including requirements for architectural character, varying building massing, roof treatments, building projections and recesses, entryways and arcades, building articulation and theming, walls, and signage. While not in the Historic District, the architecture was required to be consistent and compatible with the building styles traditionally found in the Historic Downtown District.

- (17) A listing of the specific types of nonresidential uses to be allowed.

The proposed PUD doesn't include any nonresidential uses.

PUBLIC FACILITY ANALYSIS

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

All concurrency requirements identified by the City of Winter Garden Code of Ordinances and Comprehensive Plan will be met by the proposed development.

COMMUNITY MEETING

A Community Meeting was held on August 28, 2019 in the Winter Garden City Hall Chambers, at which time the applicant presented the proposal to develop two new townhomes buildings with a combined 9 residential units on the subject property. A brief question and answer session ensued, with the adjacent property owners in attendance inquiring about the existing trees on site, the design of the garages/driveways, and any potential traffic and trail conflicts. The response

was largely positive and no opposition to the proposed project was given at the meeting.

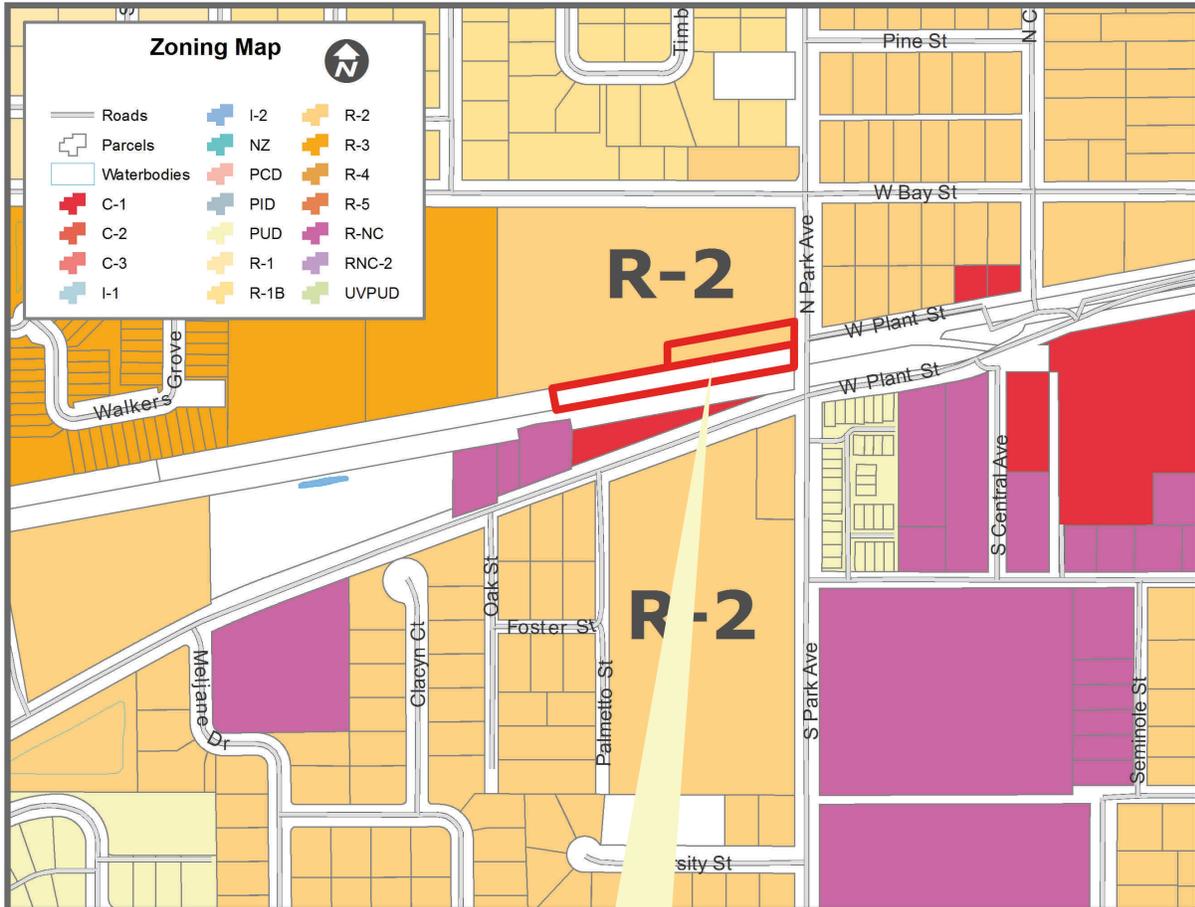
SUMMARY

City Staff recommends approval of the proposed Ordinances 19-47 and 19-48. Amending the future land use designation of a portion of the subject property from No Future Land Use to Medium Density Residential and rezoning the entire subject property from No Zoning and R-2 to PUD is consistent with the City's Comprehensive Plan, Future Land Use Map, and land development regulations, and is consistent with the trend of development in the area.

AERIAL PHOTO
30 N Park Ave & S Park Ave

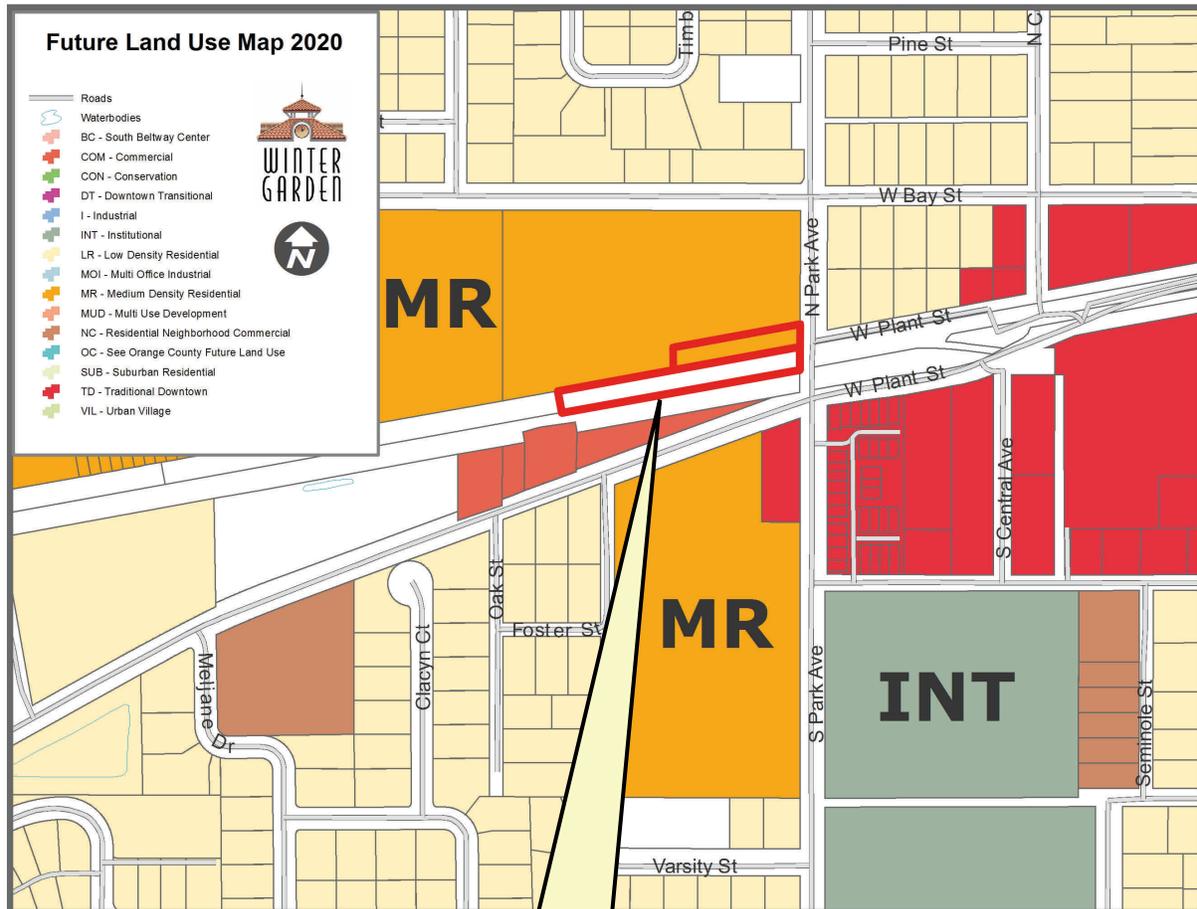


ZONING MAP 30 N Park Ave & S Park Ave



Subject Property
Rezoned NZ & R-2
to PUD

FUTURE LAND USE MAP
30 N Park Ave & S Park Ave

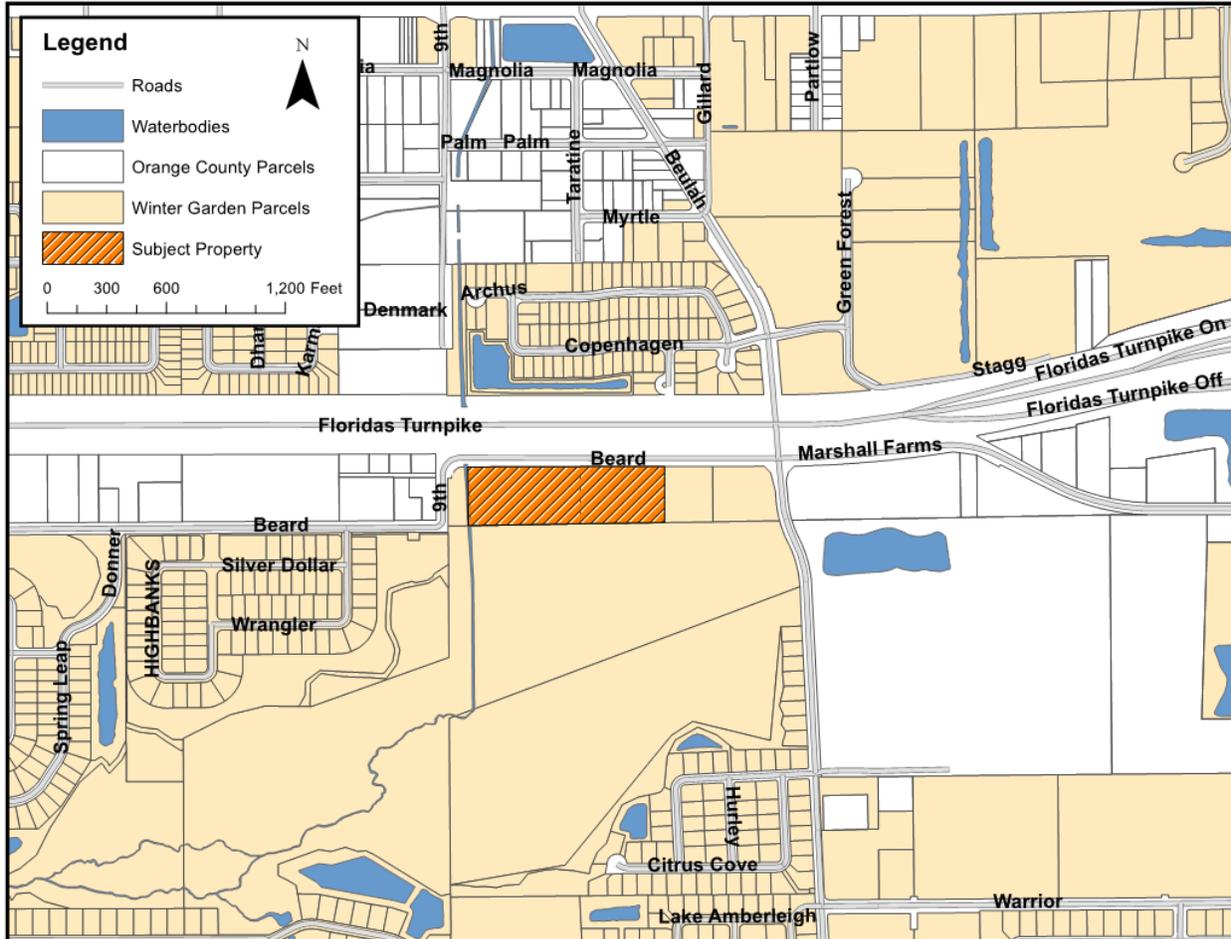


Subject Property (portion)
Future Land Use Changed
From No Future Land Use to
Medium Density Residential.

END OF STAFF REPORT

LOCATION MAP

1577 & 894 Beard Road



ORDINANCE 20-20

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE FUTURE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 6.01 ± ACRES LOCATED AT 1577 & 894 BEARD ROAD, WEST OF BEULAH ROAD, EAST OF 9TH STREET, AND SOUTH OF BEARD ROAD FROM LOW DENSITY RESIDENTIAL TO COMMERCIAL; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, on the 13th of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24th of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden;

WHEREAS, the owner of that certain real property generally described as approximately 6.01 ± acres located at 1577 & 894 Beard Road, west of Beulah Road, east of 9th Street, and south of Beard Road, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from Low Density Residential (LR) to Commercial (COM); and

WHEREAS, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by re-designating the aforesaid Property from Low Density Residential to Commercial as set forth in ATTACHMENT "B".

SECTION II. *Effective Date.* This Ordinance shall become effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order determining that the adopted Ordinance is in compliance.

SECTION III. Severability. Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

ATTACHMENT "A"
LEGAL DESCRIPTION

PARCEL ID#: 25-22-27-0000-00-052 and 25-22-27-0000-00-002

DESCRIPTION:

PARCEL 1:

THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF THE SUNSHINE STATE PARKWAY AND BEARD ROAD. LESS THE EAST 334.00' THEREOF.

PARCEL 2:

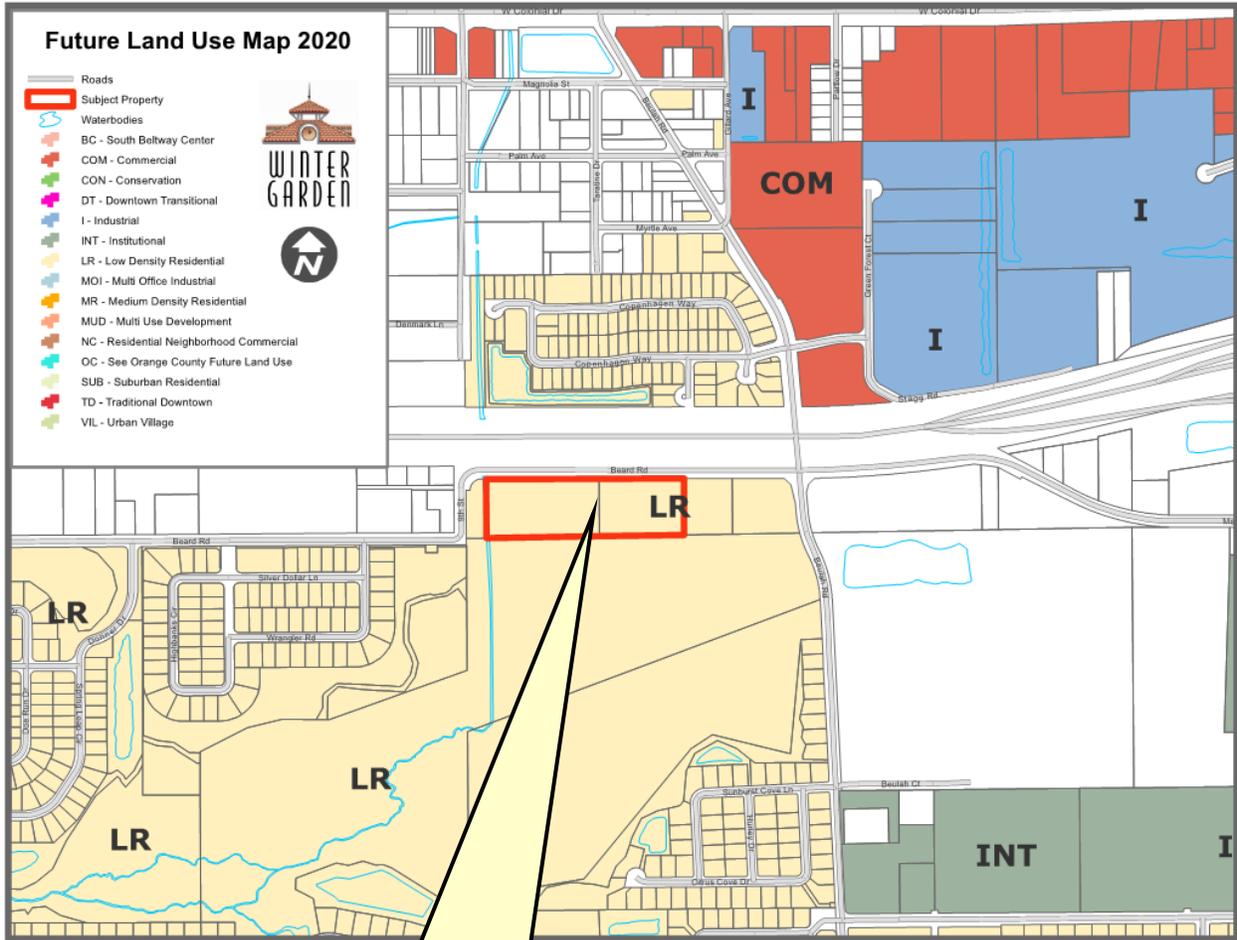
THE SOUTH 297 FEET, MORE OR LESS, OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, LESS THE WEST 100 FEET THEREOF AND EASEMENT REQUIRED FOR DRAINAGE DITCH ON WEST END OF SAID PROPERTY.

Containing 6.01 acres, more or less.

ATTACHMENT "B"

FUTURE LAND USE MAP

1577 & 894 Beard Road



Subject property changed from Low Density Residential to Commercial

ORDINANCE 20-21

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 6.01 ± ACRES LOCATED AT 1577 & 894 BEARD ROAD, WEST OF BEULAH ROAD, EAST OF 9TH STREET, AND SOUTH OF BEARD ROAD, FROM R-1 (RESIDENTIAL DISTRICT) TO PCD (PLANNED COMMERCIAL DEVELOPMENT); PROVIDING FOR CERTAIN PCD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE WINTER GARDEN SELF STORAGE PCD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner(s) of that certain real property generally described as approximately 6.01 ± acres located at 1577 & 894 Beard Road, west of Beulah Road, east of 9th Street, and south of Beard Road in Winter Garden, Florida, being more particularly described on Exhibit “A” attached hereto and incorporated herein by this reference (the “Property”), desire to rezone their property from R-1 (Residential District) to PCD (Planned Commercial Development), and

WHEREAS, the Planning and Zoning Board has considered this Ordinance and made a recommendation to the City Commission concerning its adoption; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the City of Winter Garden Code of Ordinances, and

WHEREAS, the City Commission finds based on competent substantial evidence in the record that the rezoning approved by this Ordinance meets all applicable criteria for rezoning under the Comprehensive Plan and the Code of Ordinances, therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. The above “Whereas” clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of real property legally described on Exhibit “A,” is hereby rezoned from (R-1) Residential District to (PCD) Planned Commercial Development in the City of Winter Garden, Florida subject to the following conditions provisions and restrictions:

- a. **Applicability/Conflict.** All development of or within the Property shall comply with and is subject to the requirements set forth in this Ordinance. Unless specifically identified in this Ordinance, all development on the Property identified in Exhibit “A” must comply with the general development

standards of the C-2 (Arterial Commercial District) zoning district. Notwithstanding anything to the contrary herein, all development of or within the Property shall comply with and is subject to all requirements in the City Code, and ordinances, resolutions, and policies of the City. To the extent of any express conflicts between the express provisions of this Ordinance pertaining to permitted uses, special exception uses, prohibited uses, architectural design criteria, and other development criteria and the City Code and ordinances, resolutions, and policies of the City, the requirements set forth herein shall control to the extent of the conflict.

- b. Intent.** This Ordinance is intended to provide flexibility in the development of the Property in order to provide for proper growth and to guide development and construction in an integrated approach in order to promote an enjoyable, aesthetically pleasing, and pedestrian friendly commercial development.
- c. Development Plans.** The Property shall be developed in substantial conformance with the Preliminary Development Plans attached hereto as Exhibit "B". Should any conflict exist between this Ordinance and the Preliminary Development Plans attached hereto as Exhibit "B", then the standards and conditions established by this Ordinance shall control to the extent of the conflict.
- d. Design Criteria/Architectural Standards-**

 - 1. Minimum Building Setbacks:

 - Front: 15 feet, excluding architectural bump outs or façade treatments.
 - Side interior lot: 20 feet when abutting a residential zoning district.
 - Side corner lot: 40 feet.
 - Rear: 20 feet when abutting a residential zoning district.
 - 2. Maximum Building Heights:

 - All building heights shall conform to the Building Information site data provided in Exhibit "B".
 - Maximum height of all buildings is 3-stories.
 - 3. Boat/RV Storage:

 - A maximum of 38 parking stalls measuring 12' x 40' for Boat and RV storage is permitted for this Property.
 - 4. Elevations:

 - All elevations will adhere to the elevations provided in Exhibit "B".

- e. **Permitted Uses-** The permitted uses allowed on the Property are as follows:
 - 1. Self-storage facility with associated management office.

- f. **Permitted Accessory Uses-** Permitted accessory uses on the Property are as follows:
 - 1. Accessory uses are not allowed in this PCD.

- g. **Special Exception Uses-** The special exception uses for this Property are as follows:
 - 1. There are no special exception uses for this property.

- h. **Prohibited Uses-** Any use not specifically set forth in this Ordinance as a Permitted or Special Exception Use is prohibited. Without limiting the foregoing, the following are expressly prohibited:
 - 1. Residential uses.
 - 2. Motels, hotels, rooming houses.
 - 3. Concrete, block, and asphalt plants including batch plants.
 - 4. Automobile junkyards, scrap yards, and salvage yards.
 - 5. Manufacturing activities.
 - 6. Industrial activities.
 - 7. Garages (commercial).
 - 8. Any use deemed objectionable because it may be noxious or injurious because of the production or emission of dust, smoke, refuse matter, odor, gas, fumes, noise, vibration or similar substances or conditions, and any one or combination of these may be prohibited.
 - 9. Storage of liquefied petroleum products and petrochemical products.
 - 10. The on-site operation of businesses by tenants or lessees of individual storage unit(s).
 - 11. Billboard.
 - 12. Adult or pornographic book, magazine, video and novelty stores.
 - 13. Adult entertainment.

- i. **Signage –** All proposed signs shall conform Exhibit “B”. All other signage proposed for the Property shall conform to the requirements and regulations pertaining to specified commercial corridors within the City of Winter Garden as defined in Chapter 118, Article X, Division 2 and Chapter 102 of the City of Winter Garden Ordinances. Signs will be permitted separately.

- j. **Dark Skies-** All exterior lighting shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles. Exterior lighting shall be designed as dark skies lighting in a consistent and coordinated manner for the entire project in compliance with the requirements of Chapter 118, Article X, Division 4 of the City Code of Ordinances.

SECTION 2: Staff Conditions.

1. A 5' sidewalk will be required along the frontage of Beard Road as shown in the development plan in Exhibit B.
2. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all water and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.
3. An engineered site plan meeting all City Code requirements shall be submitted for review and approval by City Staff and City Commission prior to commencement of any construction.
4. All dumpsters shall be enclosed and shall provide 12' minimum inside clearance (each way inside of bollards), and access by solid waste vehicles. Coordinate additional requirements with Public Services Department, Solid Waste Division.
5. All irrigation on the site shall be designed to be supplied by reclaimed water as shown.
6. Permits or modification from SJRWMD (stormwater) and FDEP (water, wastewater and NPDES) are required prior to issuance of site or building permits.
7. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
8. All work shall conform to City of Winter Garden standards and specifications.
9. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
10. The Contractor is responsible for the notification, location and

protection of all utilities that may exist within the project limits.

11. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others, including by way of any development order or permit issued. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City shall not be responsible and any corrective measures required will be the responsibility of the Owner/Developer. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
12. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

SECTION 3: *General Requirements.*

- a. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- b. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- c. **Expiration/Extension-** Expiration of this PCD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION 4: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 5: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 6: Effective Date. This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2020.

SECOND READING AND PUBLIC HEARING: _____, 2020.

ADOPTED this _____ day of _____, 2020, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

ANGELA GRIMMAGE, City Clerk

Exhibit "A"

PARCEL ID#: 25-22-27-0000-00-052 and 25-22-27-0000-00-002

DESCRIPTION:

PARCEL 1:

THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF THE SUNSHINE STATE PARKWAY AND BEARD ROAD. LESS THE EAST 334.00' THEREOF.

PARCEL 2:

THE SOUTH 297 FEET, MORE OR LESS, OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, LESS THE WEST 100 FEET THEREOF AND EASEMENT REQUIRED FOR DRAINAGE DITCH ON WEST END OF SAID PROPERTY.

Containing 6.01 acres, more or less.

Exhibit "B"

COVER PAGE

**WINTER GARDEN SELF-STORAGE PCD
PRELIMINARY DEVELOPMENT PLANS**

(13 PAGES - ATTACHED)

WINTER GARDEN SELF STORAGE PCD WINTER GARDEN, FLORIDA

FEBRUARY 2020



Beard Road - 1577 & 894
WINTER GARDEN SELF STORAGE
REZONING/FLU - REV 3rd Sub 02/20/20
o:Flagship Co Group LLC - c:Klima Weeks
25-22-27-0000-00-052 & -002

Beard Road - 1577 & 894
WINTER GARDEN SELF STORAGE
REZONING/FLU - 3rd Sub 02/18/2020
o:Flagship Co Group LLC - c:Klima Weeks
25-22-27-0000-00-052 & -002

SHEET INDEX:

C000	COVER SHEET
C001	DEVELOPMENT SITE & UTILITY PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE NOTES & DETAILS
L-3	TREE REMOVAL PLAN
A001	PERSPECTIVE VIEW
A002	PERSPECTIVE VIEW
A003	NORTH ELEVATION
A004	EAST ELEVATION
A005	SOUTH ELEVATION
A006	WEST ELEVATION
A007	MATERIAL OUTLINE
A008	EXTERIOR STORAGE AND RV CANOPY

PARCEL No.: 25-22-27-0000-00-052
and PORTION of: 25-22-27-0000-00-002

DRAINAGE STATEMENT:

- ON-SITE STORMWATER MANAGEMENT FACILITIES WILL BE PROVIDED TO MEET ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SRWMD) AND CITY OF WINTER GARDEN REQUIREMENTS.
- STORMWATER MANAGEMENT SYSTEM WILL COMPLY WITH SRWMD LAKE APOPKA BASIN CRITERIA. WEKIVA RECHARGE PROTECTION BASIN RECHARGE STANDARD DOES NOT APPLY AS ON-SITE SOILS ARE NOT NRCS TYPE "A" SOILS PER THE SCS SOILS MAP.

ZONING INFORMATION:

SITE: R-1
FRONT/NORTH: BEARD ROAD/PUD/R-1
SIDE/WEST: R-1
SIDE/EAST: R-1
REAR/SOUTH: R-1

CONTACT INFORMATION:

OWNER:
CHARLES D. AND JOSEPH BRYAN DENMARK
1418 9th STREET
WINTER GARDEN, FL 34787-4308

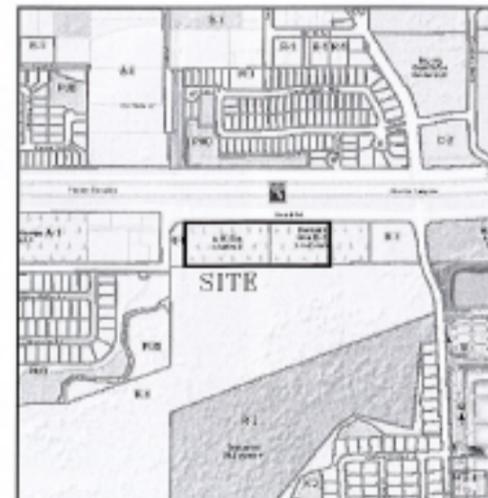
DEVELOPER/CONTRACT PURCHASER:
FLAGSHIP COMPANIES GROUP, LLC
PHILIP C. HOLLIS, MS/PE, MANAGER
1190 BUSINESS CENTER DRIVE
SUITE 1000
LAKE MARY, FL 32746
TEL: 407.240.1144
E-MAIL: PHILIP@FMJ.SCOM

ENGINEER:
KLIMA WEEKS CIVIL ENGINEERING, INC.
SELBY G. WEEKS, PE, LEED AP
300 DOUGLAS AVE., STE. 2100
ALAMONTE SPRINGS, FLORIDA 32714
TEL: 407.478.8700
FAX: 407.478.8749
E-MAIL: SWEKES@KLIMAWEEKS.COM

SURVEYOR:
BENCHMARK SURVEYING & MAPPING, INC.
BILLY JOE KEMPERS, JR., PSM
3110 RED FOX RUN
KISSIMEE, FL 34746
TEL: 407.854.6183
FAX: 407.854.6184
E-MAIL: BENCHMARKSURVEYING@BENCHMARKMAPPING.COM

ARCHITECT:
ELEMEN 18 ARCHITECTURE
JARED AKERS
1011 E. COLONIAL DRIVE
ORLANDO, FL 32803
TEL: 407.745.5300
E-MAIL: ELEMEN18ARCHITECTURE.COM

LANDSCAPE ARCHITECT:
SCHWEDER BOJACK LANDSCAPE ARCHITECTURE LLC
KATY BOJACK
P.O. BOX 948383
MAITLAND, FL 32754-8383
TEL: 407.376.5423
E-MAIL: KATY@SCHWEDERBOJACK.COM



VICINITY & EXISTING ZONING MAP
1577 BEARD ROAD, WINTER GARDEN, FLORIDA 34787

PROPERTY DESCRIPTION:

PARCEL 1:

THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF THE SUNSHINE STATE PARKWAY AND BEARD ROAD, LESS THE EAST 334.00' THEREOF.

PARCEL 2:

THE SOUTH 297 FEET, MORE OR LESS, OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, LESS THE WEST 100 FEET THEREOF AND EASEMENT REQUIRED FOR DRAINAGE DITCH ON WEST END OF SAID PROPERTY.

ADDRESS:

1577 BEARD ROAD, WINTER GARDEN, FLORIDA

FLOOD ZONE:

SUBJECT PROPERTY LIES WITHIN ZONE A, A SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT WITH NO BASE FLOOD ELEVATION DETERMINED AND ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP NUMBER 1209500215F, DATED SEPTEMBER 25, 2009.

ALLOWABLE USES:

SELF STORAGE AND VEHICLE STORAGE INCLUDING COVERED VEHICLE STORAGE

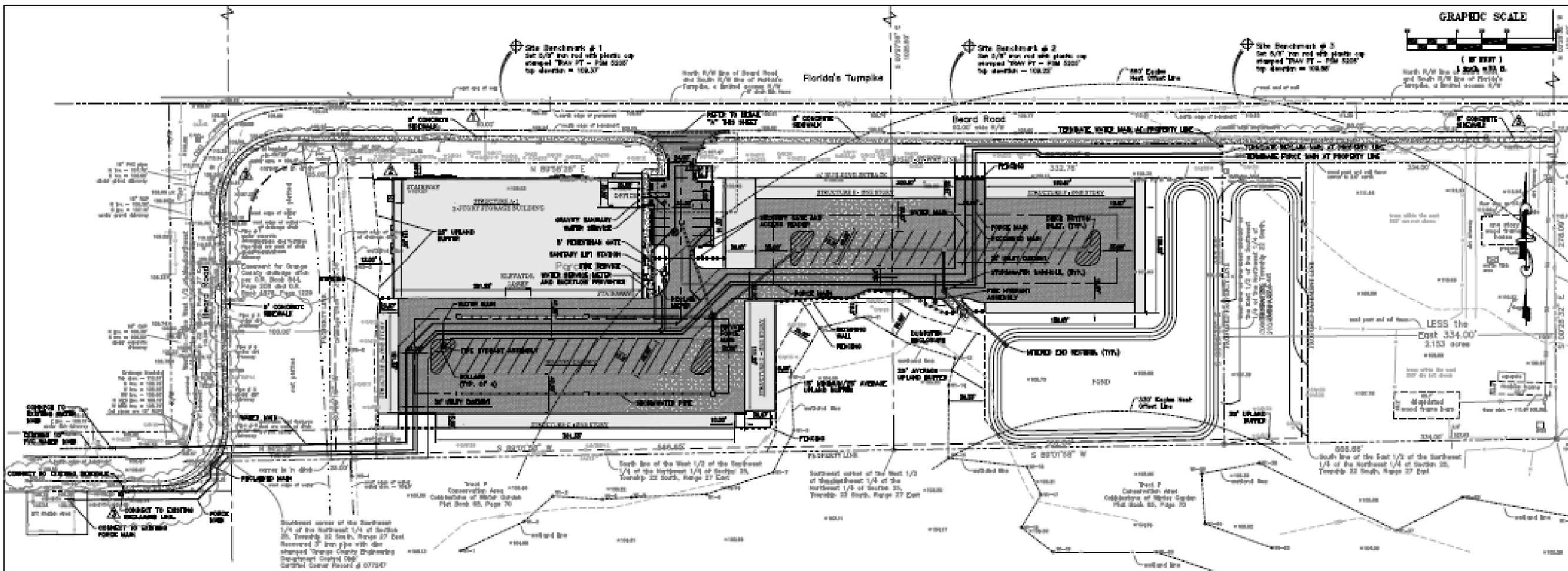
300 DOUGLAS AVE
ALAMONTE SPRINGS
FLORIDA 32714
TELEPHONE: 407.478.8700
FACSIMILE: 407.478.8749

Klima Weeks
CIVIL ENGINEERING

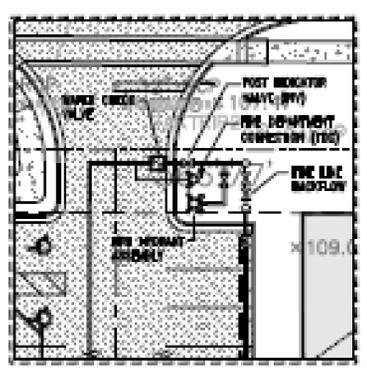
CERTIFICATE OF AUTHORIZATION No. 19230

NO.	REVISION	BY	DATE
1	City Comments	SGW	11/31/19
2	Building Revision	SGW	02/03/20





WINTER GARDEN SELF STORAGE PCD
ORANGE COUNTY
WINTER GARDEN, FL
DEVELOPMENT SITE & UTILITY PLAN



DETAIL "A"
SCALE 1" = 8' 0"

SITE DATA:

BUILDING INFORMATION:
SELF-STORAGE BUILDING
MAX. BUILDING HEIGHT:

STRUCTURE A-C	47'-4"
STRUCTURE D	17'-4"
STRUCTURE E	17'-4"
STRUCTURE F	17'-4"
STRUCTURE G	17'-4"
STRUCTURE H	17'-4"

BUILDING HEIGHT:
3-STORY STRUCTURE A-I

LEVEL 1	30.485 FT
LEVEL 2	30.485 FT
LEVEL 3	30.485 FT
TOTAL STRUCTURE A-I - HEIGHT FT	
STRUCTURE A	2,095 SF
STRUCTURE B	4,320 SF
STRUCTURE C	2,415 SF
STRUCTURE D	8,540 SF
STRUCTURE E	6,177 SF
TOTAL SELF-STORAGE - TOTAL SF	

TOTAL PARKING REQUIRED:
1,000 SF. (STRUC X (3) STACD/1,000 SF) = 4 STACD

PARKING PROVIDED:

REGULAR	ACCESSIBLE	TOTAL
11	2	13 STACD

TOTAL PARKING PROVIDED: 13 STACD

PROJECT PROVIDED WITH REG. MACHINE OPERATORS (30 FL. MIN.) ALLOWING OPERATORS TO PARK BY THEM FORM. STORAGE UNIT TO LOAD/UNLOAD.

ESTIMATED SCHEDULE:
START CONSTRUCTION - JUNE 2024
COMPLETE CONSTRUCTION - 10-04-2024

GENERAL SET NOTES:
SITE LAYOUT SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF WINTER GARDEN CODE, SECTION 116-1506-0508

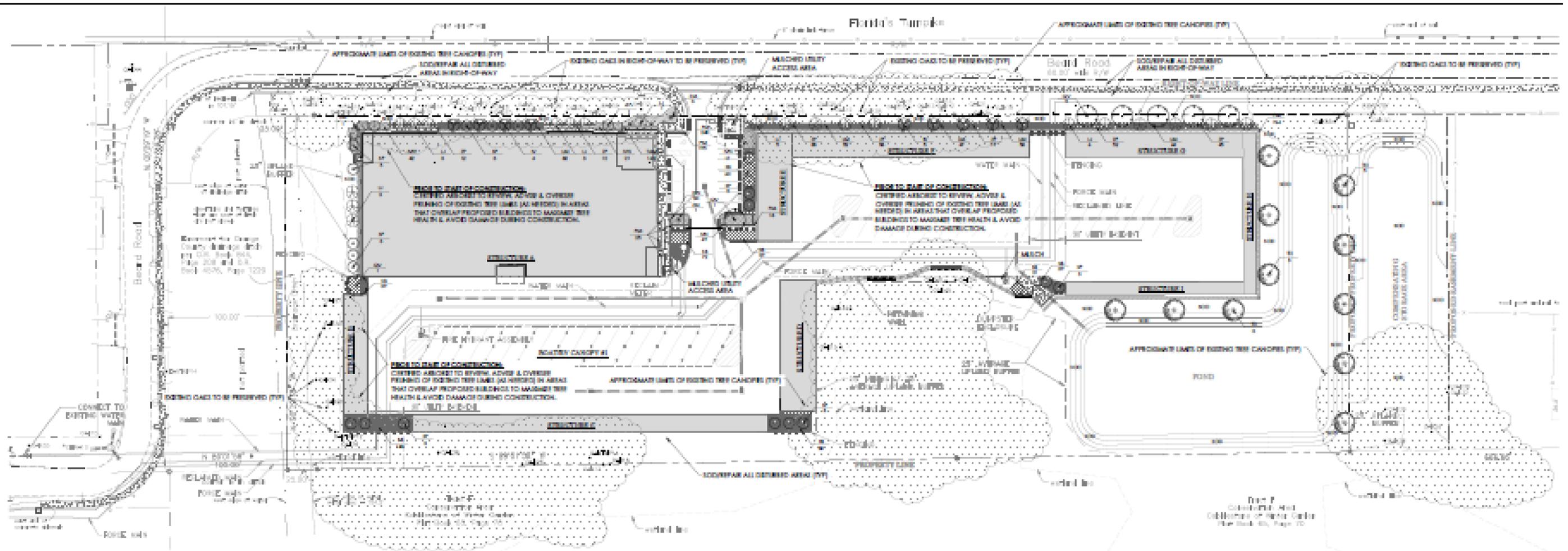
UTILITY STATEMENT:
THE UTILITY DESIGN SHOWN HEREIN IS PRELIMINARY FOR ILLUSTRATIVE PURPOSES AND IS SUBJECT TO CHANGE DURING FINAL DESIGN.

PAVING LEGEND:

- CONCRETE WALLS AND FINISHES
- SMALL HEIGHT RETAIN

Symbol	Description	Date
▲	City Council	11/21/19
▲	Mag. Review	03/07/20
▲	Shaded Review	03/18/20
▲		
▲		

Drawn by: JAK
Checked by: JOW
Date: 05/14/24
Plot scale: AS SHOWN
Project number: 19FLA0004
File name: 19w-0004-01-0000-PCD



LANDSCAPE BUFFER TABLE

LOCATION	LENGTH	REQUIRED / PROVIDED
NORTH (R-O-W Buffer)	871.14 Ft. (Including Drive)	<p>REQUIRED:</p> <ul style="list-style-type: none"> - 15 Ft. Width - 12 Canopy Trees @ Min. 3.0' Cal., 12' Ht., 45 Gal. - 24 Understory Trees @ Min. 11' Ht., 30 Gal. - 36" Ht. Continuous Hedge, Max. 36" O.C. - 50% Coverage with Shrubs & Groundcovers (7.5 Ft. Width) <p>PROVIDED:</p> <ul style="list-style-type: none"> - 15 Ft. Width - 12 Canopy Trees (2 Existing Oaks (31" & 32") + 5 Proposed Oaks (Min. 3.0' Cal., 12' Ht., 45 Gal.) + 4 Proposed Sabal Palms (12' Ht.)) - 27 Understory Trees (18 Proposed Ligustrum (Min. 2' Cal., 8' Ht., 45 Gal.) + 9 Proposed Upright Yaupon Holly (Min. 2' Cal., 8' - 10' Ht., 30 Gal.)) - 36" Ht. Continuous Hedge, Spaced 36" O.C. - 50% Coverage with Shrubs & Groundcovers (7.5 Ft. Width)
EAST Side Yard Buffer + Retention Trees	280.58 Ft.	<p>REQUIRED:</p> <ul style="list-style-type: none"> - 10 Ft. Width - 11 Canopy Trees @ Min. 2' Cal., 12' Ht., 30 Gal. - 36" Ht. Continuous Hedge, Max. 36" O.C. <p>PROVIDED:</p> <ul style="list-style-type: none"> - 20 Ft. Min. Width - 11 Canopy Trees (11 Proposed Bald Cypress (Min. 2' Cal., 12' Ht., 45 Gal.)) - 36" Ht. Continuous Hedge, Max. 36" O.C.
SOUTH (Rear Yard Buffer)	879.29 Ft.	<p>REQUIRED:</p> <ul style="list-style-type: none"> - 10 Ft. Width - 18 Canopy Trees @ Min. 2' Cal., 12' Ht., 30 Gal. - 27 Understory Trees @ Min. 11' Cal., 7' Ht., 15 Gal. - 36" Ht. Continuous Hedge, Max. 36" O.C. <p>PROVIDED:</p> <ul style="list-style-type: none"> - 20 Ft. Min. Width - 19 Canopy Trees (9 Proposed Sabal Palms (12' Ht.) + 10 Existing Oaks (From East-to-West 24", 42", 42", 32", 12", 14", 14" Trunks, 22", 36" & 14") - Existing Wetland Vegetation to Meet Understory Tree Requirement - Existing Wetland Vegetation to Meet 36" Ht. Screening Requirement
WEST Side Yard Buffer + Building Facade	278.34 Ft.	<p>REQUIRED:</p> <ul style="list-style-type: none"> - 10 Ft. Width - 12 Canopy Trees @ Min. 2' Cal., 12' Ht., 30 Gal. - 36" Ht. Continuous Hedge, Max. 36" O.C. <p>PROVIDED:</p> <ul style="list-style-type: none"> - 27 Ft. Width - 12 Canopy Trees (4 Proposed Sabal Palm (12' Ht.) + 1 Proposed Oak (Min. 3.0' Cal.) + 5 Existing Oaks (From South-to-North: 12" Trunk, 31", 11", 30", 21") - Existing Wetland Vegetation to Meet 36" Ht. Screening Requirement + 36" Ht. Shrub Provided Along Building Facade Visible from R-O-W

PRELIMINARY PLANT MATERIALS LEGEND

SYMBOL	KEY	QNTY.	COMMON/BOTANICAL NAME	SPECIFICATIONS/DESCRIPTION
	OV	7	Live Oak <i>Quercus virginiana</i>	3.0" Min. Cal., 12' Min. Ht., R #1, 85% or 45 Gal.
	TD	11	Bald Cypress <i>Taxodium distichum</i>	2" Min. Cal., 12' Min. Ht., R #1, 85% or 45 Gal.
	LI	21	Ligustrum Tree <i>Ligustrum japonicum</i>	2" Total Cal., Multi Trunk, 8' Ht., R #1, 85%
	UV	18	Upright Yaupon Holly <i>Ilex vomifolia 'Pride of Houston'</i>	2" Total Cal., Multi Trunk, 8'-10' Ht., R #1, 30 Gal.
	SP	24	Sabal Palm <i>Sabal palmetto</i>	12" O.A. Ht., Rooted Trunks, Matching Specimens
	CP	3	Cardinal Palm <i>Zamia floridana</i>	7 Gal., 24" O.A., Matching Specimens
	PO	400	Podocarpus <i>Podocarpus macrophylla</i>	36" Min. Ht., 7 Gal., 24" O.C.
	CO	204	Coccoloba <i>Zamia parviflora</i>	12" - 18" Ht., 3 Gal., 36" O.C.
	WH	108	Dwarf Yaupon Holly <i>Ilex vomifolia 'Hedge'</i>	8" - 12" Ht., 3 Gal., 24" O.C.
	SB	490	Sand Cordgrass <i>Spartina patens</i>	18" - 24" Ht., 3 Gal., 24" O.C.
	UM	248	Upright Urge <i>Urtica dioica 'Urtica'</i>	Full 1 Gal., 24" O.C.
	TAN	140	Dwarf Azalea <i>Rhododendron 'Mistral'</i>	Full 1 Gal., 18" O.C.
	SO	180	Argentine Bahia Sod <i>Paspalum solidum 'Argentinum'</i>	Sold Sod, Free of Noxious Weeds
	MULCH	180	Pine Bark Mulch	2" Min. Depth, All Planting Areas

CALL OR VISIT
10' E OF E
It's the Level!
1-800-432-4779
WWW.ITSTHELEVEL.COM

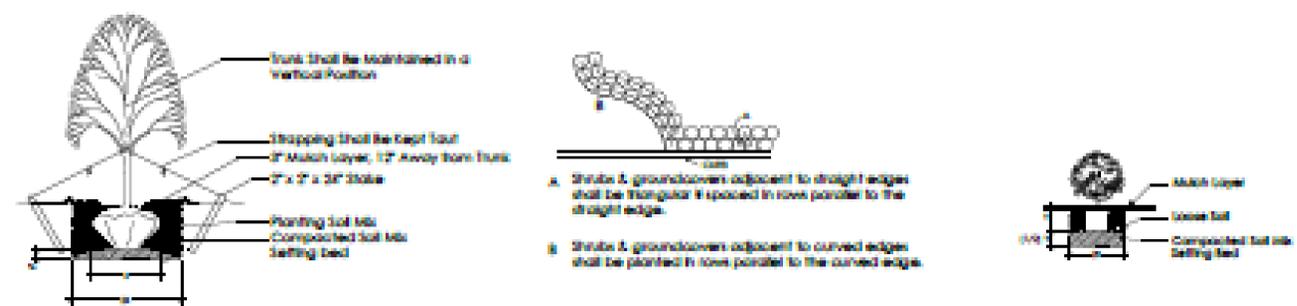


LANDSCAPE PLAN

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIZER BO JACK LANDSCAPE ARCHITECTURE, LLC and were created, modified and developed for the use and connection with this specific project.

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIZER BO JACK LANDSCAPE ARCHITECTURE LLC and were created, analyzed and developed for the use on and connection with this specific project.

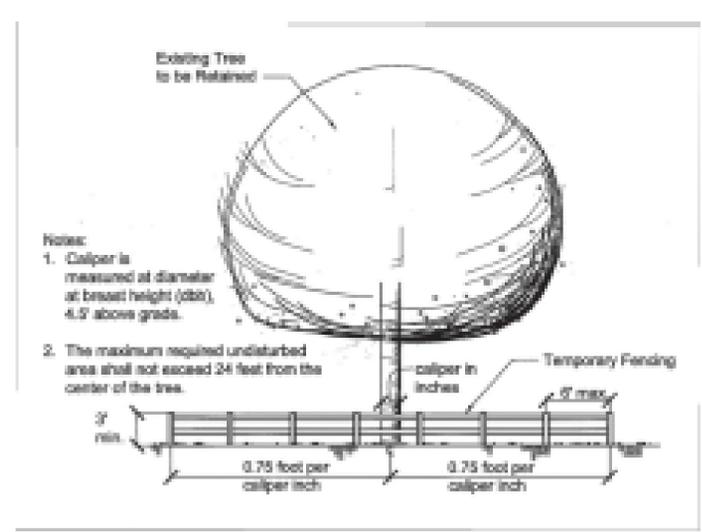
LANDSCAPE PLANTING DETAILS



LANDSCAPE GENERAL NOTES

1. The Landscape Contractor shall insure that this work does not interrupt established or projected drainage patterns. The Landscape Contractor shall insure adequate vertical drainage in all plant beds and planters. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage.
2. The Landscape Contractor shall be responsible for all materials and all work as called for on the landscape plans and in the landscape specifications. The list of plant quantities accompanying the plans shall be used as a guide only. Contractor shall verify all quantities and report any discrepancies at the time of bidding.
3. All plant materials shall be graded Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida, unless otherwise noted.
4. All plant beds and tree rings shall be top dressed with a 3" minimum depth of pine bark nuggets.
5. The Landscape Contractor shall be wholly responsible for stability and plumb condition of all trees and shrubs. Staking of trees or shrubs, if desired or requested by the Landscape Architect or owner, shall be done utilizing a method agreed upon by the Landscape Architect.
6. No fill material or use of heavy equipment around existing trees is allowed. Existing trees are to be protected by a wood barricade erected in compliance with local codes.
7. All grades, dimensions and existing conditions shall be verified by the Contractor on site before construction begins. Any discrepancies shall be brought to the attention of the Landscape Architect.
8. The Landscape Contractor shall review architectural/engineering plans to become thoroughly familiar with surface and subsurface utilities.
9. The Landscape Contractor shall coordinate with the lighting and irrigation contractors regarding the timing of the installation of plant material.
10. Every possible safeguard shall be taken to protect building surfaces, equipment and furnishings. Landscape Contractor shall be responsible for any damage or injury to person or property which may occur as a result of his negligence in the execution of work.

TREE PROTECTION DETAILS



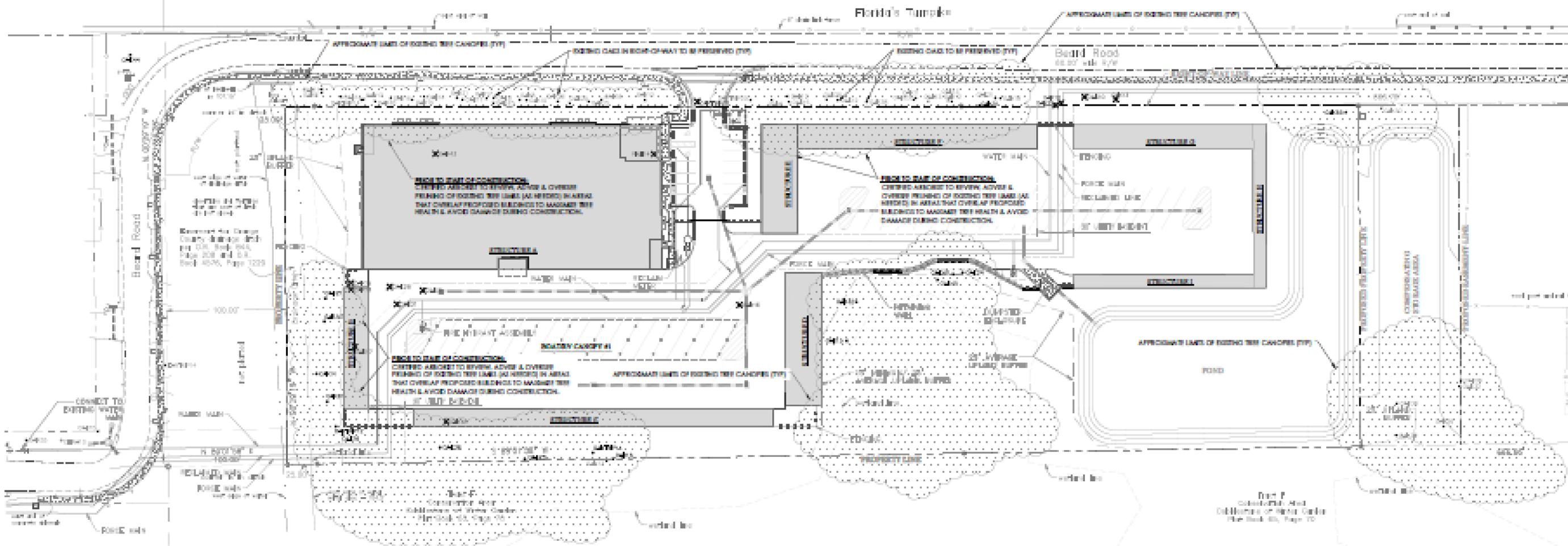
TREE PROTECTION NOTES

- All protected tree shall have the trunk and roots protected by protective barriers erected prior to development activity in accordance with the following:
1. Protective barriers constructed of wood rolls, chain link fabric or orange plastic safety netting shall be placed around the tree or trees to form a continuous barricade of least three feet high. Ideally such barriers will form a protection zone described by the drip line.
 2. Signs or other markings shall be placed on all sides of the protective barrier to designate the protected area.
 3. Protective barriers shall remain in place until landscape operations begin or until construction in the immediate area has been completed.
 4. Existing street trees located within rights-of-way interior to, or adjacent to, the development shall have protective barriers before site work begins.
 5. Trenching for underground utilities shall be prohibited inside the protective barrier. If underground utilities must be routed through the protected area, tunneling shall be required. All landscape preparation in these areas shall be conducted by hand, except for mechanical tunneling as needed.
 6. No vehicles, equipment, materials or fill shall be placed or stored within the protected area.

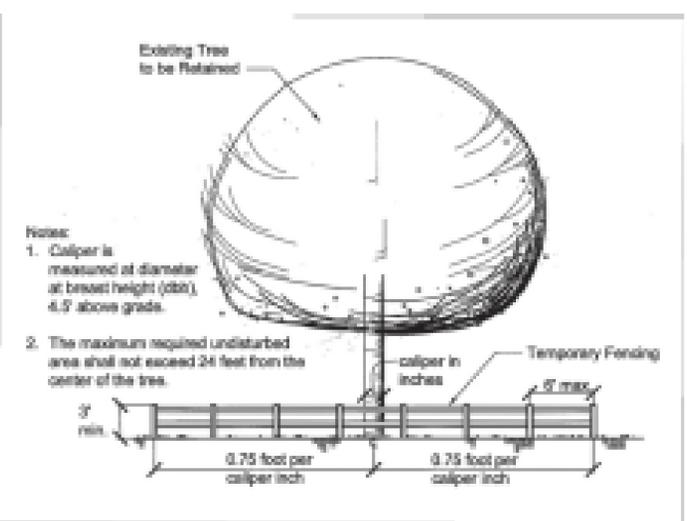


LANDSCAPE NOTES & DETAILS

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIZERBOJACKLANDSCAPE ARCHITECTURE LLC and were created, evolved, and developed for the use and connection with this specific project.



TREE PROTECTION DETAILS



TREE PROTECTION NOTES

- All protected tree shall have the trunk and roots protected by protective barriers erected prior to development activity in accordance with the following:
1. Protective barriers constructed of wood rolls, chain link fabric or orange plastic safety netting shall be placed around the tree or trees to form a continuous barricade of least three feet high. Ideally such barriers will form a protection zone described by the dip line.
 2. Signs or other markings shall be placed on all sides of the protective barrier to designate the protected area.
 3. Protective barriers shall remain in place until landscape operations begin or until construction in the immediate area has been completed.
 4. Digging street trees located within rights-of-way interior to, or adjacent to, the development shall have protective barriers before site work begins.
 5. Trenching for underground utilities shall be prohibited inside the protective barrier. If underground utilities must be routed through the protected area, tunneling shall be required. All landscape preparation in these areas shall be conducted by hand, except for mechanical tunneling as needed.
 6. No vehicles, equipment, materials or fill shall be placed or stored within the protected area.

TREE REMOVAL

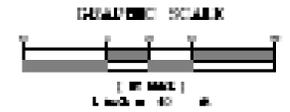
QNTY.	SIZE	TREE TYPE
1	10"	Oak
1	13"	Oak
1	14"	Pine
1	15"	Oak
1	16"	Oak
1	16"	Twin Oak
1	17"	Oak
2	18"	Oak
2	21"	Oak
1	28"	Oak
1	31"	Oak
1	43"	Oak
1	48"	Oak

TOTAL EXISTING TREES TO BE REMOVED: 15

PROPOSED TREES TO BE PLANTED ON SITE:

QNTY.	SPECIFICATIONS
7	Live Oak (3.5" Cal.)
11	Bald Cypress (3" Cal.)
21	Ligustrum (3" Total Cal.)
18	Yaupon Holly (3" Total Cal.)
26	Sabal Palms (1/2 HI.)

TOTAL PROPOSED TREES TO BE PLANTED: 63



TREE REMOVAL PLAN



PERSPECTIVE: NORTHEAST

N.T.S.

WINTER GARDEN SELF-STORAGE

FLAGSHIP DEVELOPMENT

1577 BEARD RD. WINTER GARDEN, FL

A001-PERSPECTIVE VIEW 02-11-2020





PERSPECTIVE: NORTHEAST
N.T.S.

WINTER GARDEN SELF-STORAGE
FLAGSHIP DEVELOPMENT
1577 BEARD RD. WINTER GARDEN, FL
A002 - PERSPECTIVE VIEW 02-11-2020





NORTH ELEVATION

$\frac{3}{64}'' = 1'-0''$

WINTER GARDEN SELF-STORAGE

FLAGSHIP DEVELOPMENT

1577 BEARD RD. WINTER GARDEN, FL

A003-NORTH ELEVATION 02-11-2020



A WOMEN'S BUSINESS ENTERPRISE

43'-6"
39'-6"



EAST ELEVATION
3/64" = 1'-0"

WINTER GARDEN SELF-STORAGE
FLAGSHIP DEVELOPMENT
1577 BEARD RD. WINTER GARDEN, FL
A004-EAST ELEVATION 02-11-2020





SOUTH ELEVATION

$3/64" = 1'-0"$

WINTER GARDEN SELF-STORAGE

FLAGSHIP DEVELOPMENT

1577 BEARD RD. WINTER GARDEN, FL

A005-SOUTH ELEVATION 02-11-2020

ELEVEN

18

ARCHITECTURE

A WOMEN'S BUSINESS ENTERPRISE

43'-6"
39'-6"



WEST ELEVATION

$3/64" = 1'-0"$

WINTER GARDEN SELF-STORAGE

FLAGSHIP DEVELOPMENT

1577 BEARD RD. WINTER GARDEN, FL

A006-WEST ELEVATION 02-11-2020

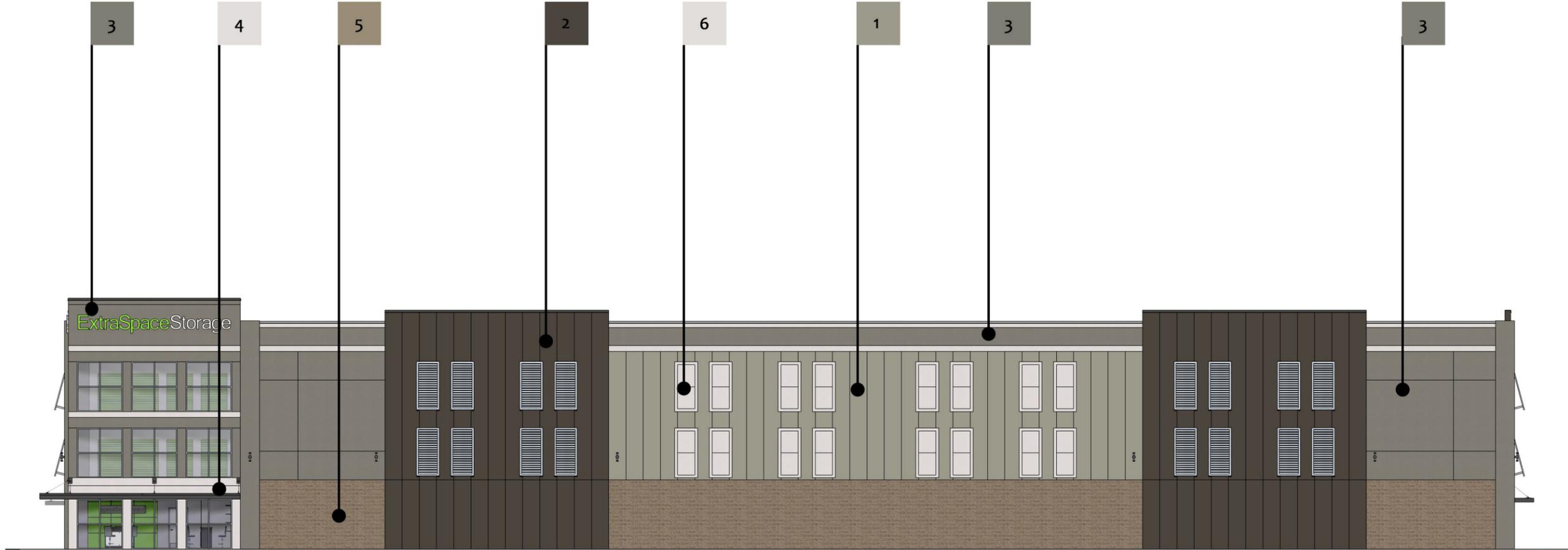
ELEVEN

18

ARCHITECTURE

A WOMEN'S BUSINESS ENTERPRISE

1. INSULATED PANEL
 - PANEL: CF ARCHITECTURAL
 - FINISH: LIGHT GRAY
2. INSULATED PANEL
 - PANEL: CF ARCHITECTURAL
 - FINISH: MEDIUM BRONZE
3. EIFS
 - MANUFACTURER: DRYVIT
 - COLOR: 617 WINTER EVE
4. EIFS
 - MANUFACTURER: DRYVIT
 - COLOR: 613 OVERCAST
5. SPLIT FACE BLOCK
 - PAINT: CURIO GRAY- SW 0024
6. FAUX WINDOW OVER INSULATED PANEL
 - PAINT: ORIGINAL WHITE- SW 7077



MATERIAL OUTLINE

3/64" = 1'-0"

WINTER GARDEN SELF-STORAGE

FLAGSHIP DEVELOPMENT

1577 BEARD RD. WINTER GARDEN, FL

A007-MATERIAL OUTLINE 02-11-2020

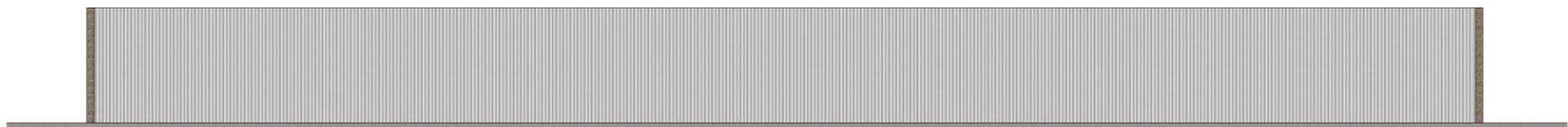
12'-0" —



EXTERIOR STORAGE FRONT ELEVATION

1/16" = 1'-0"

12'-0" —



EXTERIOR STORAGE REAR NON ST FACING

1/16" = 1'-0"

13'-4" —



EXTERIOR STORAGE REAR STREET FACING

1/16" = 1'-0"

16'-7" —



RV CANOPY ELEVATION

1/16" = 1'-0"

WINTER GARDEN SELF-STORAGE

FLAGSHIP DEVELOPMENT

1577 BEARD RD. WINTER GARDEN, FL

A008-EXTERIOR STORAGE & RV CANOPY 02-11-2020

ELEVEN

18

ARCHITECTURE

A WOMEN'S BUSINESS ENTERPRISE

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

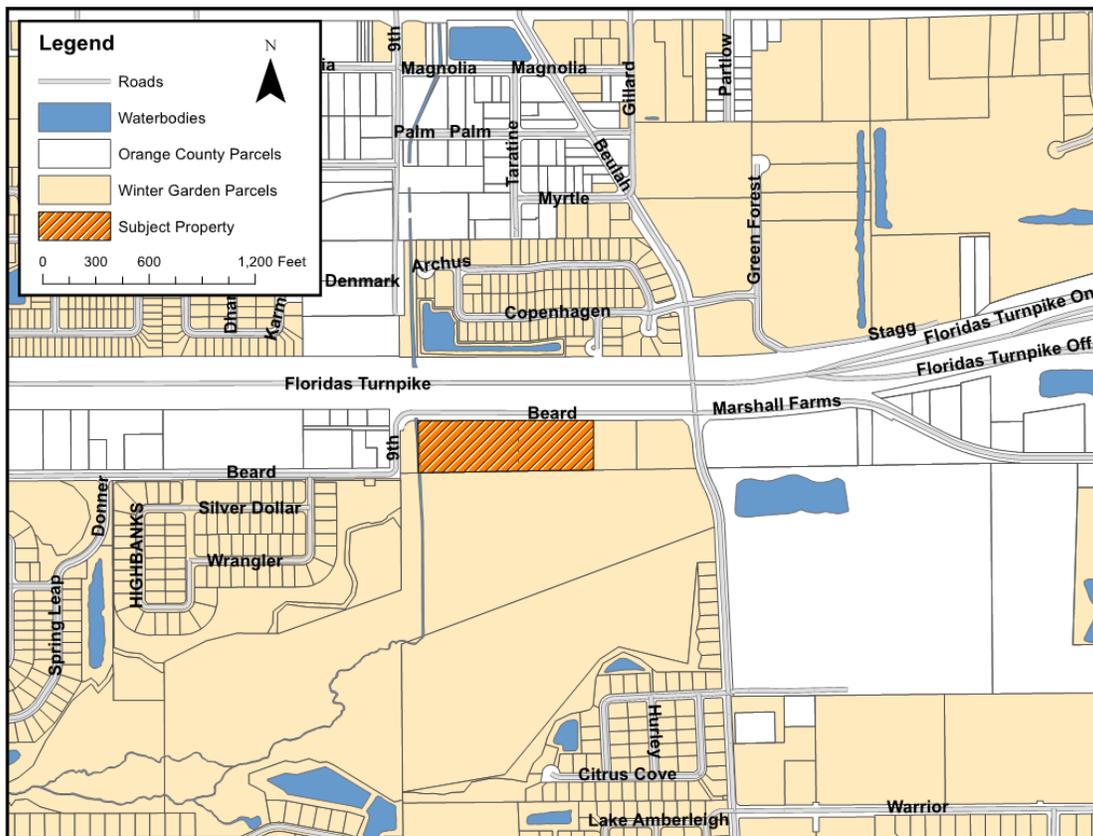
TO: PLANNING AND ZONING BOARD
PREPARED BY: SHANE FRIEDMAN, SENIOR PLANNER
DATE: February 21, 2020
SUBJECT: Future Land Use Amendment and PCD Rezoning
1577 & 894 Beard Road (6.01 +/- ACRES)
PARCEL ID # 25-22-27-0000-00-052 and 25-22-27-0000-00-002

APPLICANT: Klima Weeks Civil Engineering, Inc.

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 1577 & 894 Beard Road, south of Beard Road, and is approximately 6.01 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant has requested an amendment to the Future Land Use Map (FLUM) of the City's Comprehensive Plan to designate the property as Commercial and rezoning the property to PCD (Planned Commercial Development).

Properties designated with the Commercial land use category are required to be developed at a floor area ratio not greater than 0.35 and a floor area ratio not greater than 0.5 by development bonus inside Activity Centers. Maximum building height is three stories and up to five stories by development bonus in activity centers. The Commercial land use category shall include retail, service, and professional activities. Uses shall be developed in a manner which is harmonious to nearby noncommercial use and which minimize traffic congestion. All commercial activity in this commercial land use category shall be adjacent to arterials or major collectors. The City shall identify different zoning districts for highway commercial, general commercial, professional / medical districts, and downtown commercial districts in the commercial land use category. Development may exceed the stated 0.35 floor area ratio only by development bonus, no development rights are guaranteed at intensities or densities above the stated permitted range. Additional zoning restrictions per each zoning district may apply. The zoning Classifications what are consistent with the Commercial classification are C-1, C-2, C-3, C-4, PCD, and INT.

EXISTING USE

The project boundary is actually composed of two parcels, located 1577 & 894 Beard Road, however only half of the property located 894 Beard Road is requesting to be rezoned. The property located at 1577 Beard Road is 3.82 ± acres with a small two-story wood frame house built in 1941. The 2.18 ± acre land on the parcel located at 894 Beard Road is undeveloped.

ADJACENT LAND USE AND ZONING

The property to the west of the subject property is zoned R-1 (Residential District), is undeveloped, and currently has several mobile homes residing on the property. The property to the north is the Florida Turnpike. The property to the east, which is currently part of the parcel located at 894 Beard Road, is developed with a single-family home and is zoned R-1 (Residential District). The property to the south is zoned R-1 (Residential District), is undeveloped wetlands, and is Tract F (Conservation) of the Cobblestone of Winter Garden neighborhood plat.

PROPOSED USE

The applicant is requesting PCD rezoning to permit the development of the property for 114,641 sf of personal self-storage. The project will consist of one 3-story main building and five single story storage structures surrounding an internal vehicle storage area with canopies. The project will also consist of enhanced landscaping, sidewalks, and stormwater pond.

PUBLIC FACILITY ANALYSIS

The property will have one vehicle access point off of Beard Road.

Water, sewer, and reclaimed utilities by the City of Winter Garden will be required for any new development of the property. At such time that the property is developed, all necessary utility lines will be extended and connections made, all extension and connection costs shall be borne by the property owner.

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

All concurrency requirements identified by the City of Winter Garden Code of Ordinances and Comprehensive Plan will be met by the proposed development.

COMMUNITY MEETING

On January 15, 2020 a community meeting was held at City Hall. Over 390 notices were sent to five neighborhoods and several properties along Beard Road. Around six households came to that meeting. A few of the residents expressed concern about the safety of Beard Road. Specifically the lack of a sidewalk. The City required that the applicant provide a sidewalk along Beard Road frontage starting from the end of the sidewalk at Roper Reserve. The sidewalk is a condition of approval in the Ordinance and is shown on the predevelopment plan of the PCD.

SUMMARY

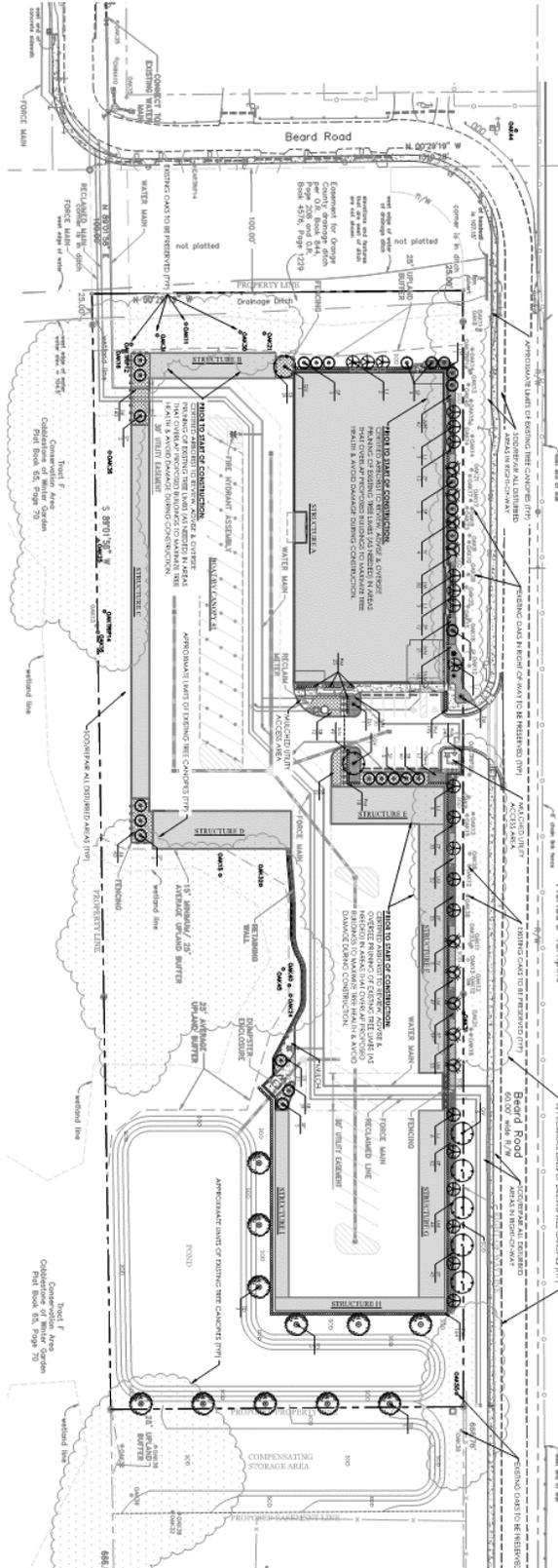
The proposed development is a reasonable use of the land and this type of low trip generating development is consistent with other developments that exist in this area of the City. With the subject property directly adjacent to the Florida Turnpike the proposed project seems most reasonable for nonresidential uses.

The proposed future land use amendment changing the land use from Low Density Residential to Commercial, and rezoning from R-1 (Residential District) to PCD (Planned Commercial Development), is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances. Staff recommends approval of the proposed Ordinance(s) subject to the conditions outlined in Ordinance 20-20 and Ordinance 20-21.

AERIAL PHOTO
1577 & 894 Beard Road



PROPOSED DEVELOPMENT PLAN 1577 & 894 Beard Road



Elevations
1577 & 894 Beard Road



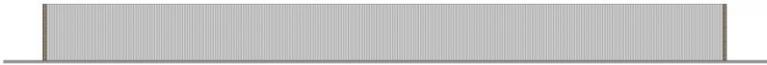
12'-0"–



EXTERIOR STORAGE FRONT ELEVATION

1/16" = 1'-0"

12'-0"–



EXTERIOR STORAGE REAR NON ST FACING

1/16" = 1'-0"

13'-4"–



EXTERIOR STORAGE REAR STREET FACING

1/16" = 1'-0"

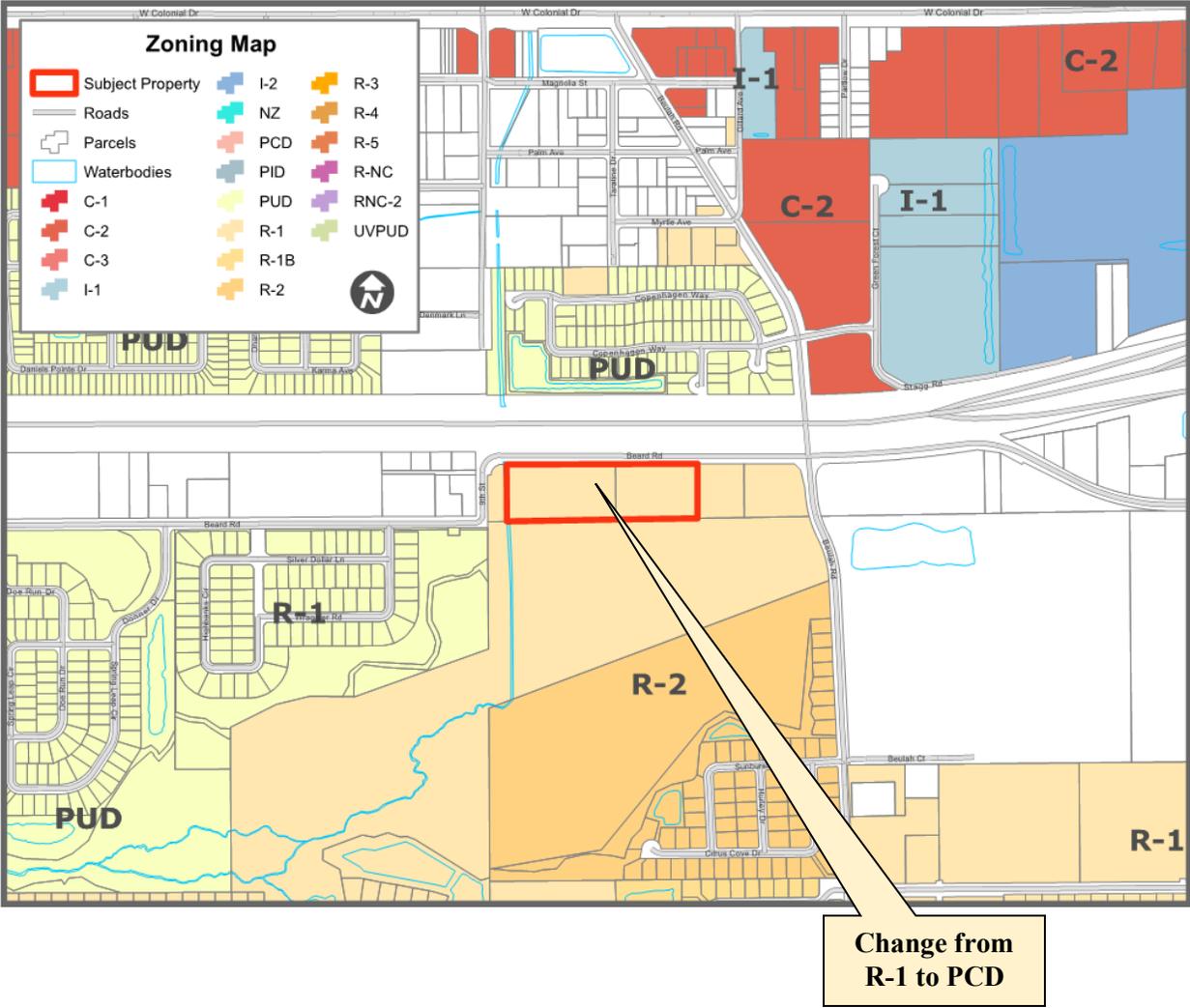
16'-7"–



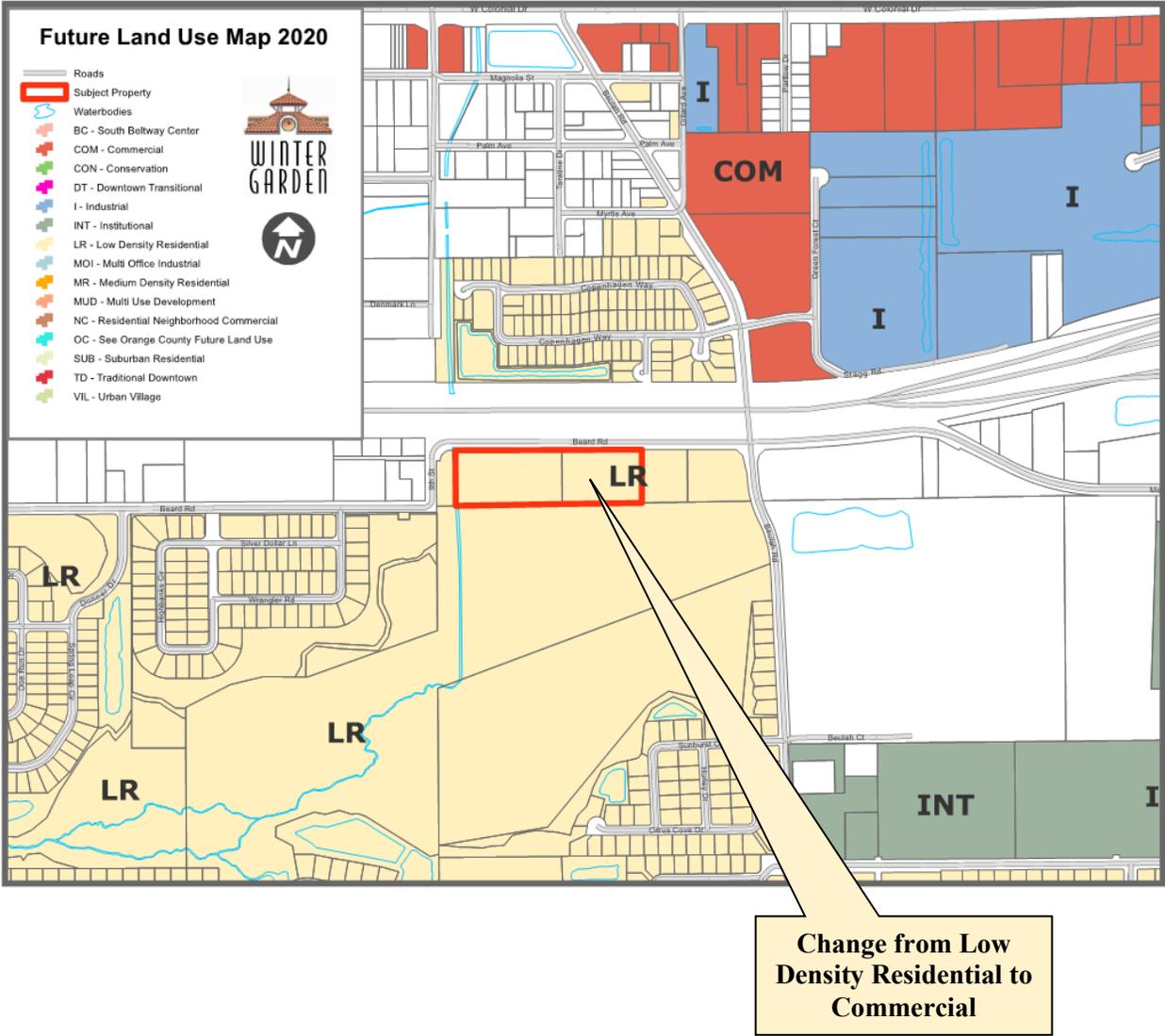
RV CANOPY ELEVATION

1/16" = 1'-0"

ZONING MAP
1577 & 894 Beard Road



FUTURE LAND USE MAP
1577 & 894 Beard Road



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: June 4, 2020

Meeting Date: June 11, 2020

Subject: 1905 Avalon Road
Belle Meade Commercial Outparcel 2
Site Plan Approval
PARCEL ID #04-23-27-0000-00-030

Issue: The applicant is requesting Site Plan approval to construct three commercial buildings with associated site improvements on a vacant outparcel that is part of the Belle Meade Planned Commercial Development.

Discussion:

The 3.50 +/- acre subject property located on the northeast corner of Avalon Road and Tilden Road, which is part of the Belle Meade Planned Commercial Development, is currently vacant. This Site Plan was initially approved in October 2008, and again on 01/26/2017; both approvals expired when the owner failed to move forward with the project.

The applicant is proposing to construct three retail and office buildings on the property. Building A (6,500 sq. ft.) and Building C (6,000 sq. ft.) will be single-story structures that house multiple retail suites. Building B will be a two story building with 15,647 sq. ft. of multi-tenant retail space on the first floor and 8,830 sq. ft. of office space on the second floor. The project will also include associated landscaping, buffering, bicycle and pedestrian furnishings, and other site improvements. The proposed development is required to adhere to the site design and architectural standards of the property's PCD (Planned Commercial Development) zoning per Ordinance 06-50. The site must adhere to the requirements outlined in the Developer's Agreement approved by the City Commission on 01/26/2017.

Recommended Action:

Staff recommends approval of the proposed Site Plan subject to the conditions of the DRC staff report dated June 4, 2020. Development of the property with three commercial buildings is consistent with the City's Comprehensive Plan.

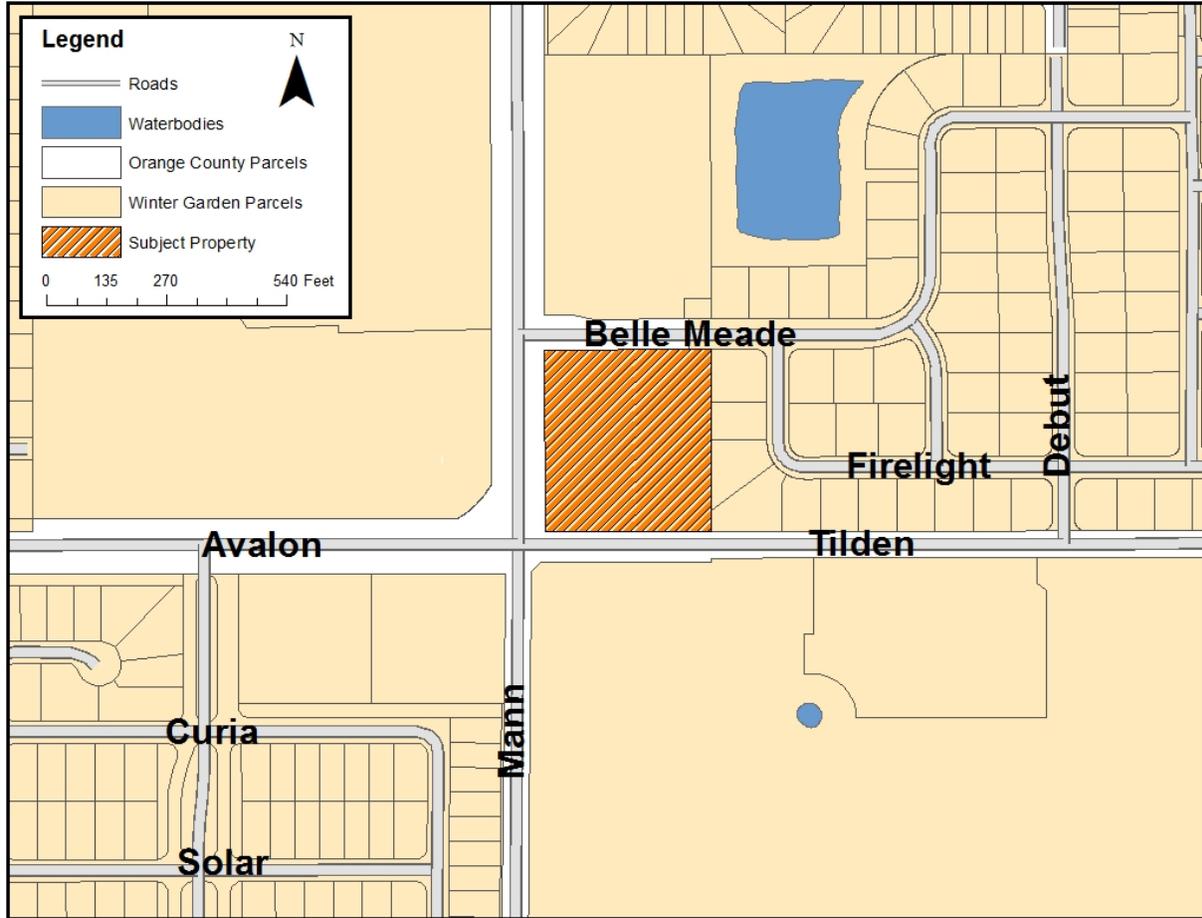
Attachment(s)/References:

Location Map
Ordinance 20-19
Staff Report

LOCATION MAP

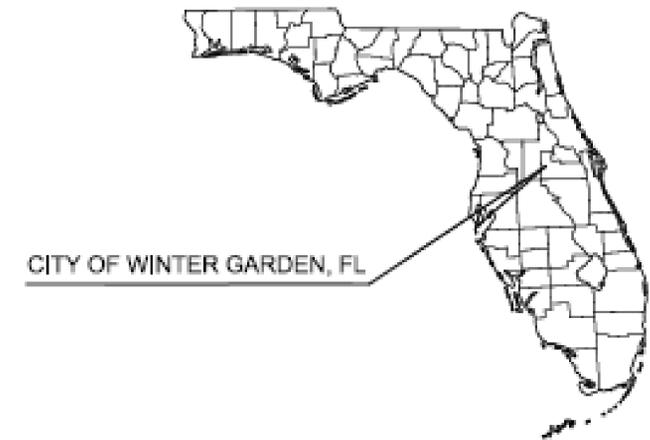
1905 Avalon Road, Belle Meade Commercial Outparcel #2

Site Plan Approval



CONSTRUCTION PLANS FOR BELLE MEADE SUBDIVISION OUTPARCEL #2 PARCEL ID# 04-23-27-0000-00-030

MAY 11, 2020



LEGAL DESCRIPTION

DESCRIPTION: THAT PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHWEST CORNER OF THE SAID SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, THENCE RUN S89°54'10"E ALONG THE SOUTH LINE OF SAID SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 A DISTANCE OF 33.00 FEET, THENCE RUN N00°00'36"E A DISTANCE OF 505.83 FEET; THENCE RUN S89°59'57"E A DISTANCE OF 27.00 FEET FOR THE POINT OF BEGINNING; THENCE RUN N00°00'36"E A DISTANCE OF 593.92 FEET; THENCE RUN N89°58'44"E A DISTANCE OF 373.22 FEET; THENCE RUN S00°00'03"W A DISTANCE OF 548.95 FEET; THENCE RUN N89°59'57"W A DISTANCE OF 66.00 FEET; THENCE RUN S00°00'03"W A DISTANCE OF 45.00 FEET; THENCE RUN N89°59'57"W A DISTANCE OF 313.31 FEET TO THE POINT OF BEGINNING.

UTILITY PROVIDERS:

Water:
City of Winter Garden
251 West Plant St.
Winter Garden, FL 34787
Phone: (407) 656-4100
Fax: (407) 877-2363
Contact: Mike Cotton
Email: mcotton@wintergarden-fl.com

Telephone:
Embarq
Phone: (800) 339-1811

Electric:
Progress Energy
Phone: (800) 700-8744

Cable Television:
Brighthouse Networks
Phone: (407) 291-2500

Wastewater:
City of Winter Garden
251 West Plant St.
Winter Garden, FL 34787
Phone: (407) 656-3801
Fax: (407) 877-2363
Contact: Gary Skipper
Email: gskipper@wintergarden-fl.com

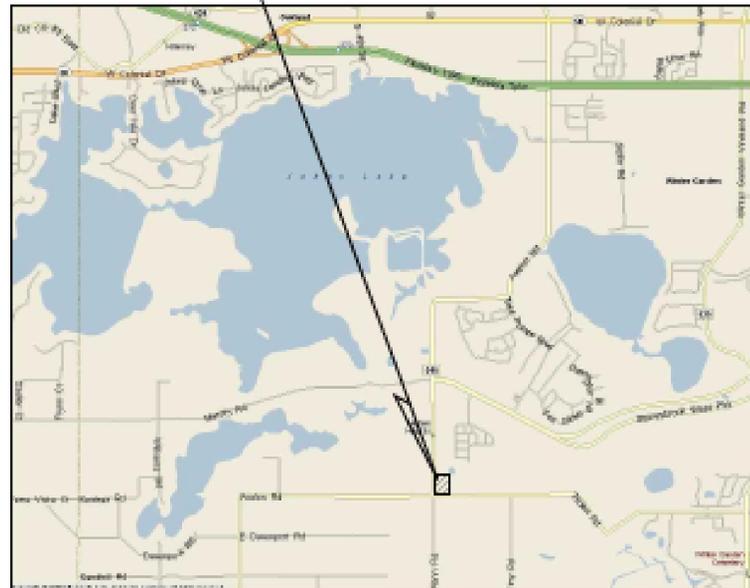
Fire Service:
City of Winter Garden Fire Department
251 West Plant St.
Winter Garden, FL 34787
Phone: (407) 656-4689
Fax: (407) 656-4017

Reclaimed Water:
City of Winter Garden
251 West Plant St.
Winter Garden, FL 34787
Phone: (407) 656-4100
Fax: (407) 877-2363

Gas:
Lake Apopka Natural Gas
1320 Winter Garden Vineyard Rd.
Winter Garden, FL 34778
Phone: (407) 656-2734

Stormwater:
City of Winter Garden
251 West Plant St.
Winter Garden, FL 34787
Phone: (407) 656-4100
Fax: (407) 877-2363
Contact: Alex Neaser
Email: aneasser@wintergarden-fl.com

PROJECT LOCATION



VICINITY MAP

INDEX OF SHEETS

C1	COVER
C2	GENERAL NOTES
C3	EXISTING CONDITIONS/DEMOLITION PLAN
C4	SITE PLAN
C5	PAVING, GRADING & DRAINAGE PLAN
C6	UTILITY PLAN
C7	STORMWATER POLLUTION PREVENTION PLAN
C8	TYPICAL SECTIONS
C9	CONSTRUCTION DETAILS
C10	CITY OF WINTER GARDEN UTILITIES NOTES
C11-16	CITY OF WINTER GARDEN DETAILS
L1.0	LANDSCAPE PLAN
L1.50	LANDSCAPE DETAILS
L1.51	LANDSCAPE SPECIFICATIONS
L2.0	IRRIGATION PLAN
L2.50	IRRIGATION DETAILS
L2.51	IRRIGATION SPECIFICATIONS
A1	ARCHITECTURAL SITE PLAN & DETAILS
A2	FLOOR PLAN AND REFLECTED CEILING PLAN
A3	EXTERIOR ELEVATIONS & MATERIAL SCHEDULE
A3.1	BUILDING A - COLORED ELEVATION
A4	BUILDING FLOOR PLAN - FIRST FLOOR
A5	BUILDING FLOOR PLAN - SECOND FLOOR
A6	EXTERIOR ELEVATIONS
A6.1	BUILDING B - COLORED ELEVATION
A7	FLOOR PLAN AND REFLECTED CEILING PLAN
A8	EXTERIOR ELEVATIONS & MATERIAL SCHEDULE
A8.1	BUILDING C - COLORED ELEVATION
ES2.0	ELECTRICAL PHOTOMETRICS PLAN

PROJECT TEAM

OWNER/DEVELOPER
BRAMLEY OVERSTREET TRUST
P.O. BOX 3824
ORLANDO, FL 32802
CONTACT: CHARLES GALLAGHER
PHONE: (407) 898-2619

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
189 S. ORANGE AVENUE, SUITE 1000
ORLANDO, FL 32801
CONTACT: BRENT A. LENZEN, P.E.
PHONE: (407) 898-1511

ARCHITECT
CUNYAC & PETERSON
1925 PROSPECT AVENUE
ORLANDO, FL 32814
CONTACT: CHRISTOPHER THE
PHONE: (407) 661-8100
FAX: (407) 661-8101

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
189 S. ORANGE AVENUE, SUITE 1000
ORLANDO, FL 32801
CONTACT: MATTHEW FRANKO, PLA
PHONE: (407) 898-1511

SURVEYOR
SHANNON SURVEYING, INC.
499 N. STATE ROAD 434, SUITE 2007
ALTAMONTE SPRINGS, FL 32714
CONTACT: JIM SHANNON
PHONE: (407) 774-8372
FAX: (407) 682-0655

PREPARED BY
Kimley»Horn

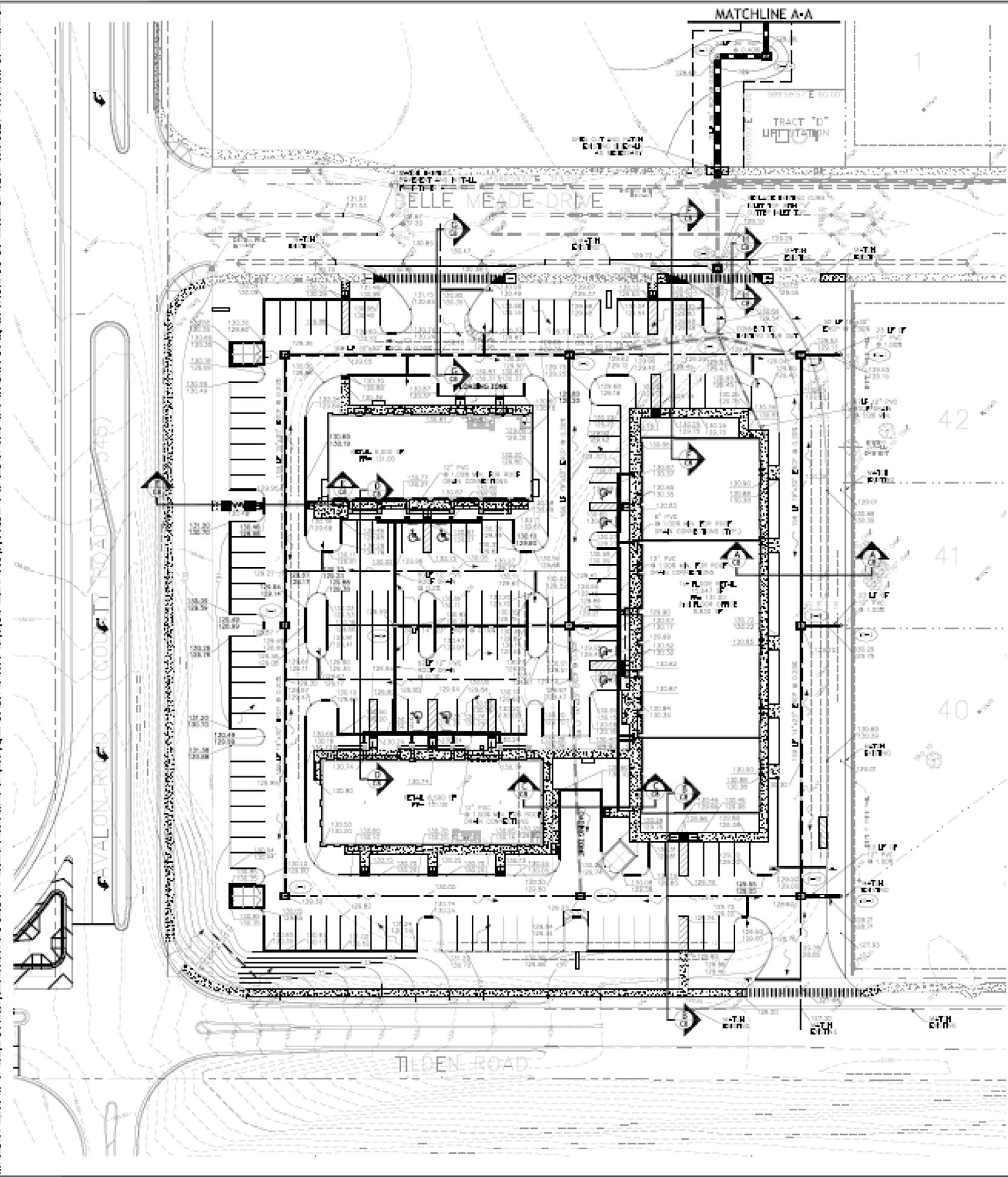
© 2003 KIMLEY-HORN AND ASSOCIATES, INC.
189 S. ORANGE AVENUE, SUITE 1000, ORLANDO, FL 32801
P.E. #00000001
WWW.KIMLEY-HORN.COM FAX: 407-682-0655

BRENT A. LENZEN, P.E.
FL REG 78537

Title: Belle Meade Subdivision Outparcel #2
 Date: 05/11/2020
 Project: Belle Meade Subdivision Outparcel #2
 Drawing: 04-23-27-0000-00-030-01-001
 Scale: 1"=100'
 Author: J. J. ...
 Checker: ...
 Approver: ...

BELLE MEADE SUBDIVISION OUTPARCEL #2
 PROJECT # 0413805
 MAY 11, 2020

DRAWN BY: J. L. WOOD, DATE: 5/11/2020, PROJECT NO: 049135005, SHEET NO: C5, TOTAL SHEETS: 10, SCALE: AS SHOWN, CITY OF WILSON, NORTH CAROLINA

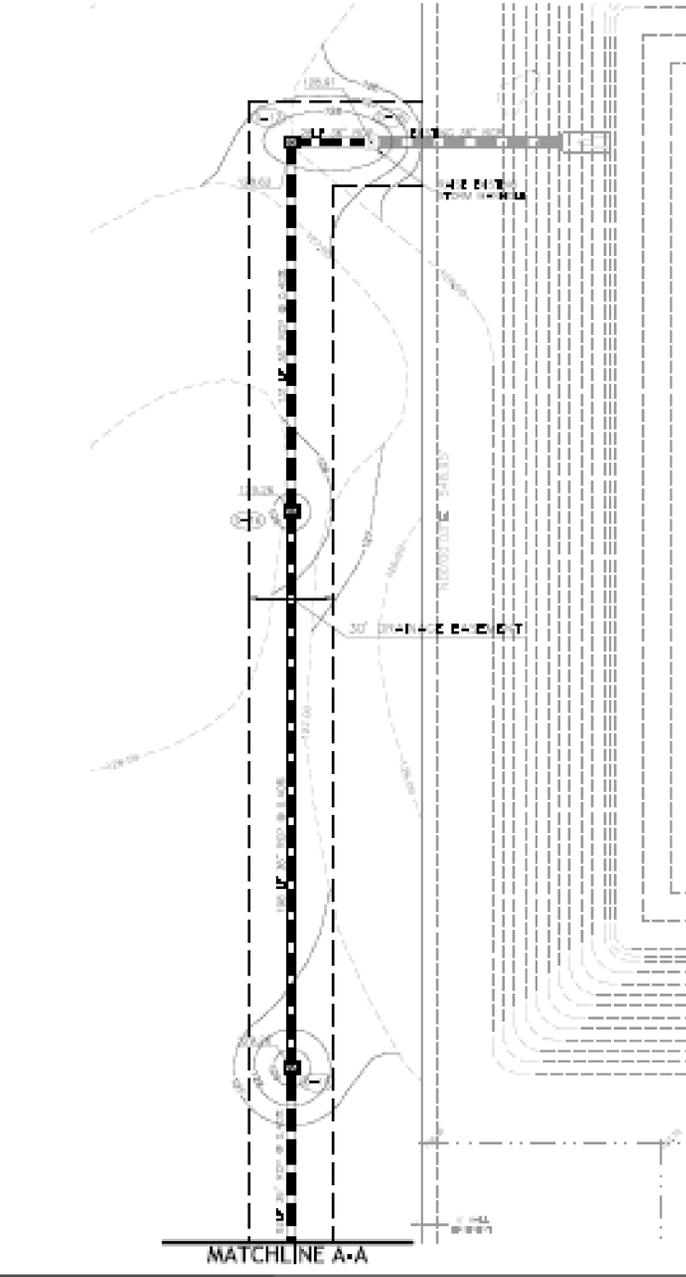


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EXISTING GRADE

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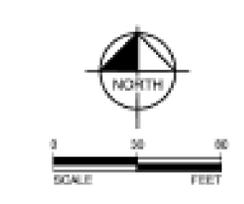


LEGEND

(Symbol)	PROPOSED GRADE
(Symbol)	EXISTING GRADE
(Symbol)	PROPOSED PAVEMENT
(Symbol)	PROPOSED ASPHALT
(Symbol)	PROPOSED CONCRETE
(Symbol)	PROPOSED DRIVEWAY
(Symbol)	PROPOSED SIDEWALK
(Symbol)	PROPOSED CURB
(Symbol)	PROPOSED DITCH
(Symbol)	PROPOSED UTILITY
(Symbol)	PROPOSED EROSION CONTROL
(Symbol)	PROPOSED TREE
(Symbol)	PROPOSED SHRUB
(Symbol)	PROPOSED FENCE
(Symbol)	PROPOSED SIGN
(Symbol)	PROPOSED LIGHT
(Symbol)	PROPOSED BIKEWAY
(Symbol)	PROPOSED TRAIL
(Symbol)	PROPOSED PLAYGROUND
(Symbol)	PROPOSED SPORTS FIELD
(Symbol)	PROPOSED TENNIS COURT
(Symbol)	PROPOSED GOLF COURSE
(Symbol)	PROPOSED SWAMP
(Symbol)	PROPOSED WETLAND
(Symbol)	PROPOSED WATERWAY
(Symbol)	PROPOSED ROAD
(Symbol)	PROPOSED RAILROAD
(Symbol)	PROPOSED AIRWAY
(Symbol)	PROPOSED POWERLINE
(Symbol)	PROPOSED TELEPHONE LINE
(Symbol)	PROPOSED CABLE
(Symbol)	PROPOSED FIBER OPTIC
(Symbol)	PROPOSED GAS
(Symbol)	PROPOSED WATER
(Symbol)	PROPOSED SEWER
(Symbol)	PROPOSED RAINWATER
(Symbol)	PROPOSED STORMWATER
(Symbol)	PROPOSED EROSION CONTROL
(Symbol)	PROPOSED TREE
(Symbol)	PROPOSED SHRUB
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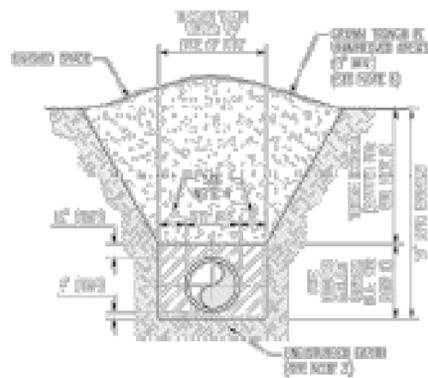
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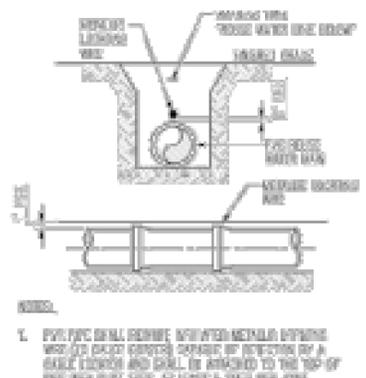


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 SHEET NO: C5

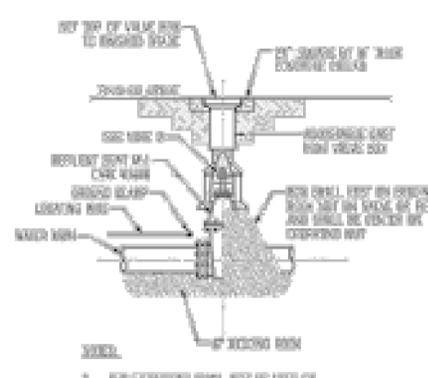
Kimley	2000 HILLSIDE DRIVE, SUITE 200 WILSON, NC 27597 WWW.KIMLEY-HORN.COM	BELLE MEADE COMMERCIAL OUTPARCEL #2	PAVING, GRADING AND DRAINAGE PLAN	CITY OF WILSON PROJECT NO. 049135005 SHEET NO. C5	DATE: 5/11/2020 PROJECT NO: 049135005 SHEET NO: C5	DATE 5/11/2020
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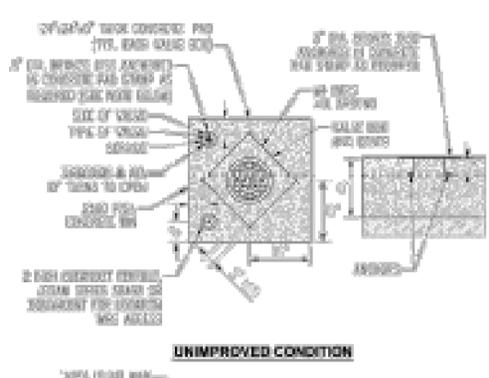
- 1 STANDARD BEDDING DETAIL**
N.T.S.
1. PIPE BEDDING SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM 7-100 AND CONTAINING NO MORE THAN 10 PERCENT FREE WATER.
 2. BEDDING STRUCTURE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM 7-100 AND CONTAINING NO MORE THAN 10 PERCENT FREE WATER.
 3. PIPE BEDDING SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM 7-100 AND CONTAINING NO MORE THAN 10 PERCENT FREE WATER.
 4. ALL 12" DIA. PIPE SHALL BE INSTALLED WITH 12" DIA. AND 18" DIA. FOR 12" DIA. PIPE AND 24" DIA. FOR 18" DIA. PIPE.
 5. SAND SHALL NOT BE USED IN THE BEDDING STRUCTURE.
 6. ALL PVC TO BE INSTALLED WITH SOIL BEING USUALLY TO THE SURFACE OF THE TRENCH.
 7. REFER TO SECTION 05050 OF THE CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPEC. NO. 05050-01 FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.
 8. FULL INSTALLATION TO APPROVE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.



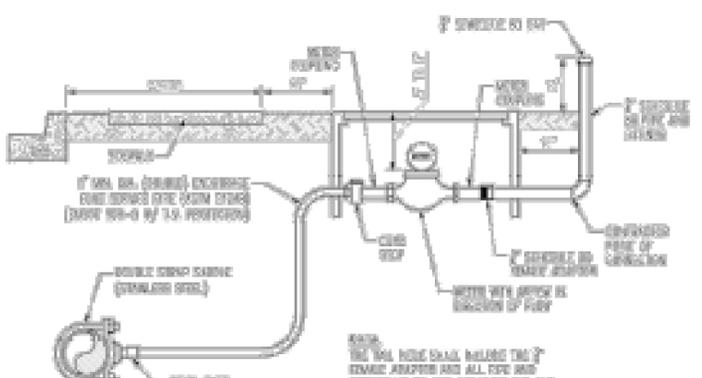
2 PVC PIPE LOCATING WIRE DETAIL
N.T.S.



3 GATE VALVE & BOX DETAIL
N.T.S.



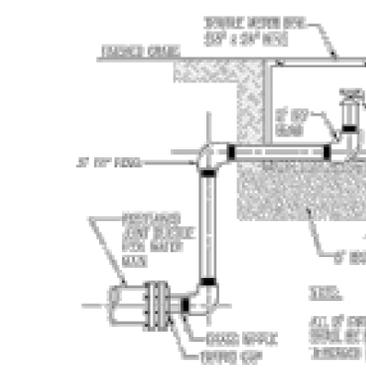
4 VALVE BOX COLLAR DETAIL
N.T.S.



5 BLOWOFF VALVE DETAIL
N.T.S.



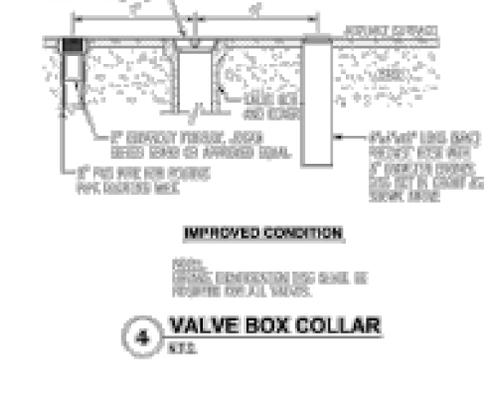
6 AIR RELEASE VALVE & VAULT DETAIL
N.T.S.



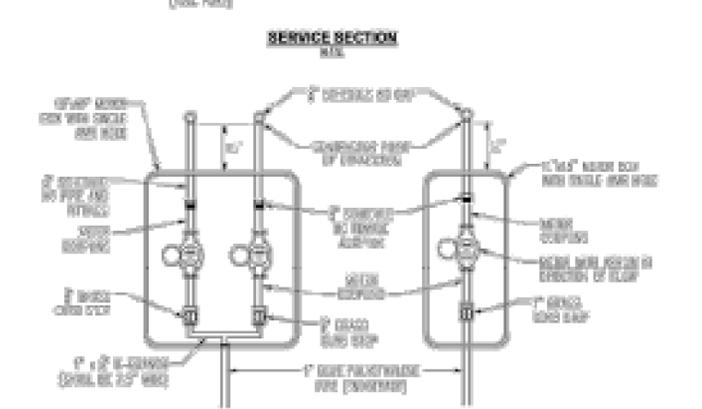
7 RECLAIMED WATER JUMPER CONNECTION DETAIL
N.T.S.



8 OFFSET AIR RELEASE VALVE ASSEMBLY DETAIL
N.T.S.



9 WATER SERVICE DETAIL
N.T.S.



10 DOUBLE SERVICE (TOP VIEW) and SINGLE SERVICE (TOP VIEW)
N.T.S.

- 11 STANDARD BEDDING DETAIL**
N.T.S.
1. THE BEDDING STRUCTURE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM 7-100 AND CONTAINING NO MORE THAN 10 PERCENT FREE WATER.
 2. BEDDING STRUCTURE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM 7-100 AND CONTAINING NO MORE THAN 10 PERCENT FREE WATER.
 3. PIPE BEDDING SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM 7-100 AND CONTAINING NO MORE THAN 10 PERCENT FREE WATER.
 4. ALL 12" DIA. PIPE SHALL BE INSTALLED WITH 12" DIA. AND 18" DIA. FOR 12" DIA. PIPE AND 24" DIA. FOR 18" DIA. PIPE.
 5. SAND SHALL NOT BE USED IN THE BEDDING STRUCTURE.
 6. ALL PVC TO BE INSTALLED WITH SOIL BEING USUALLY TO THE SURFACE OF THE TRENCH.
 7. REFER TO SECTION 05050 OF THE CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPEC. NO. 05050-01 FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.
 8. FULL INSTALLATION TO APPROVE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.

- 12 PVC PIPE LOCATING WIRE DETAIL**
N.T.S.
1. PVC PIPE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM 7-100 AND CONTAINING NO MORE THAN 10 PERCENT FREE WATER.
 2. BEDDING STRUCTURE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM 7-100 AND CONTAINING NO MORE THAN 10 PERCENT FREE WATER.
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- 13 GATE VALVE & BOX DETAIL**
N.T.S.
1. FOR CONCRETE SHALL NOT BE USED ON VALVE BOX INSTALLATION.
 2. THE VALVE BOX SHALL BE INSTALLED TO THE SURFACE OF THE TRENCH.
 3. REFER TO SECTION 05050 OF THE CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPEC. NO. 05050-01 FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.
 4. FULL INSTALLATION TO APPROVE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.

- 14 VALVE BOX COLLAR DETAIL**
N.T.S.
1. THE VALVE BOX COLLAR SHALL BE INSTALLED TO THE SURFACE OF THE TRENCH.
 2. REFER TO SECTION 05050 OF THE CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPEC. NO. 05050-01 FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.
 3. FULL INSTALLATION TO APPROVE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.

- 15 BLOWOFF VALVE DETAIL**
N.T.S.
1. THE BLOWOFF VALVE SHALL BE INSTALLED TO THE SURFACE OF THE TRENCH.
 2. REFER TO SECTION 05050 OF THE CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPEC. NO. 05050-01 FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.
 3. FULL INSTALLATION TO APPROVE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.

- 16 AIR RELEASE VALVE & VAULT DETAIL**
N.T.S.
1. THE AIR RELEASE VALVE SHALL BE INSTALLED TO THE SURFACE OF THE TRENCH.
 2. REFER TO SECTION 05050 OF THE CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPEC. NO. 05050-01 FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.
 3. FULL INSTALLATION TO APPROVE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.

- 17 OFFSET AIR RELEASE VALVE ASSEMBLY DETAIL**
N.T.S.
1. THE OFFSET AIR RELEASE VALVE SHALL BE INSTALLED TO THE SURFACE OF THE TRENCH.
 2. REFER TO SECTION 05050 OF THE CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPEC. NO. 05050-01 FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.
 3. FULL INSTALLATION TO APPROVE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.

- 18 RECLAIMED WATER JUMPER CONNECTION DETAIL**
N.T.S.
1. ALL PVC AND FITTINGS 2" AND SMALLER SHALL BE THROTTLE CONNECTED TO PVC. NO CONNECTIONS ARE ALLOWED.
 2. ALL PVC LAYOUT WITH A 1/2" DIA. SHALL BE THROTTLE CONNECTED WITH PVC.
 3. THROTTLED WATER SHALL BE INSTALLED TO THE SURFACE OF THE TRENCH.

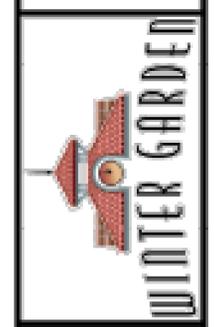
- 19 WATER SERVICE DETAIL**
N.T.S.
1. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO THE SURFACE OF THE TRENCH.
 2. REFER TO SECTION 05050 OF THE CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPEC. NO. 05050-01 FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.
 3. FULL INSTALLATION TO APPROVE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.

- 20 DOUBLE SERVICE (TOP VIEW) and SINGLE SERVICE (TOP VIEW)**
N.T.S.
1. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO THE SURFACE OF THE TRENCH.
 2. REFER TO SECTION 05050 OF THE CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPEC. NO. 05050-01 FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.
 3. FULL INSTALLATION TO APPROVE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ALL CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS FOR SUPPLEMENTAL AND ALTERNATE SPECIFICATIONS.

WINTER GARDEN STANDARDS DEVELOPED WITH PUBLIC BUSINESS ASSOCIATION.
THE DESIGN, REVIEW AND SPECIFICATIONS OF THIS SHEET REPRESENT THE BEST INTERESTS OF THE CITY OF WINTER GARDEN FOR THE PROTECTION OF PUBLIC HEALTH AND SAFETY. THE CITY OF WINTER GARDEN IS NOT RESPONSIBLE FOR THE DESIGN OR SPECIFICATIONS OF THIS SHEET. THE CITY OF WINTER GARDEN IS NOT RESPONSIBLE FOR THE DESIGN OR SPECIFICATIONS OF THIS SHEET. THE CITY OF WINTER GARDEN IS NOT RESPONSIBLE FOR THE DESIGN OR SPECIFICATIONS OF THIS SHEET.

DATE	4/27/18	4/27/18
BY	Water Utility Services	4/27/18
NO.	1	2
	4/27/18	4/27/18

CITY OF WINTER GARDEN, FLORIDA
STANDARDS AND SPECIFICATIONS
FOR UTILITIES CONSTRUCTION

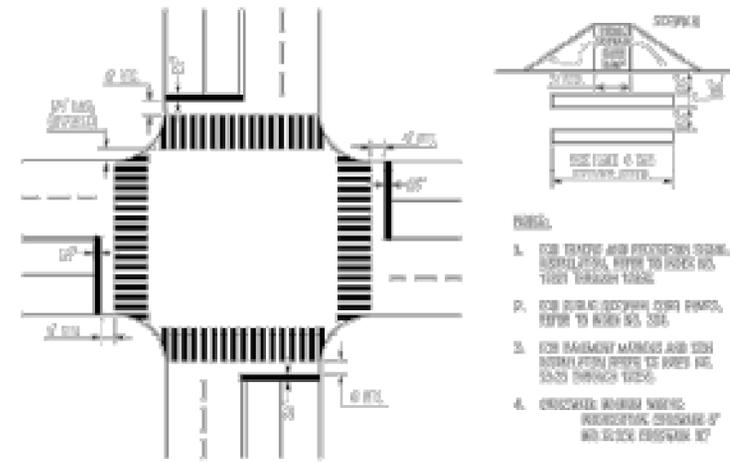


STANDARD DETAILS
FOR
POTABLE WATER SYSTEMS

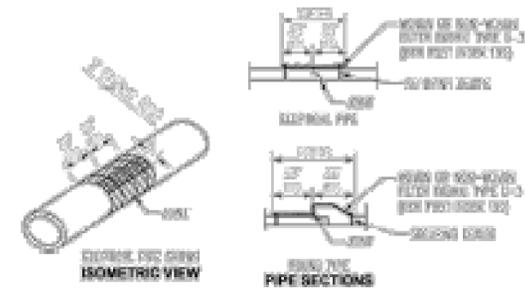
DATE
JUNE 2018
SHEET
C-13
8 OF 11

GENERAL NOTES:

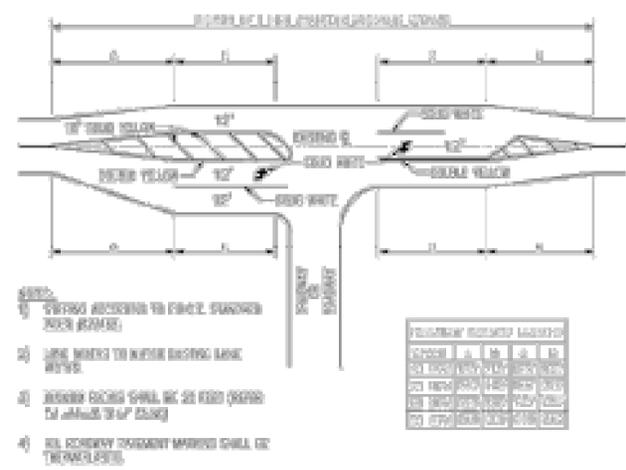
1. ALL NEW STORM AND SANITARY DRAIN LINES TO THE CITY OF WINTER GARDEN SHALL BE SUBJECT TO DESIGN CHECKS TO DETERMINE PERMITS TO BE OBTAINED BY THE CITY. VARIANTS PERMITTED BY CITY ENGINEERS. ALL STORM SEWER PIPES SHALL BE REINFORCED AT THE JOINTS, COST TO BE PAID BY THE OWNER.
2. PIPE MATERIAL SHALL BE AS SHOWN OR THE CONSTRUCTION SHALL BE AS APPROVED BY THE CITY ENGINEER.
3. CONTRACTOR AND OWNER ARE RESPONSIBLE FOR ENSURING THAT ALL CITY, COUNTY, STATE (TxDOT, FDOT, SURNAME, ETC.), AND FEDERAL PERMITS HAVE BEEN OBTAINED FOR THE PROJECT.
4. ALL STORM SEWER MUST BE WHITE-TIGHT JUNT AND ALL JOINTS WRAPPED.
5. STORM SYSTEM WILL BE CLEANED PRIOR TO BEING TIED.
6. THE OWNER SHALL KEEP A COPY OF THE WATER MANAGEMENT DISTRICT PERMITS, PERMITS, PLAN AND SWPP PLAN IN A CONSPICUOUS LOCATION ON THE JOB SITE AT ALL TIMES.
7. ALL STORM SEWER MANHOLES SHALL BE AS SHOWN OR APPROVED BY THE CITY ENGINEER.
8. STORM SEWER SHALL CONSIST OF MATERIAL HAVING LESS THAN 10% PERCENTAGE OF SAND.
9. ONLY CONCRETE REINFORCED PIPE SHALL BE ALLOWED TO BE PLACED FOR STORM SEWERWORK. ALL REINFORCING SHALL BE CONFORM TO THE STRUCTURE DESIGN MANUAL. NO MORE THAN 1" WILL BE ALLOWED.
10. STORM SEWER PIPES SHALL MEET ASTM D3034 & ASTM D3035.
11. ALL STORM SEWER MANHOLES SHALL BE COVERED WITH GRATED IRON.



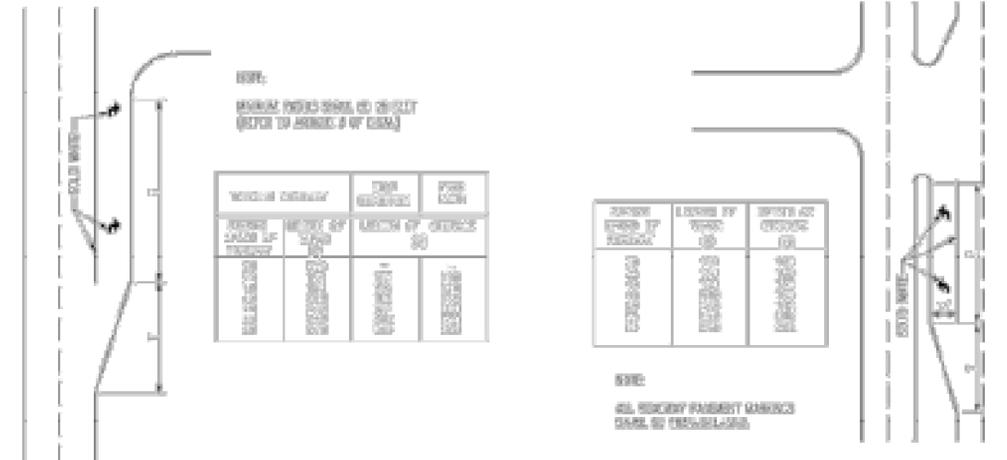
1 TYPICAL CROSSWALK
N.T.S.



2 FILTER FABRIC JACKET
N.T.S.

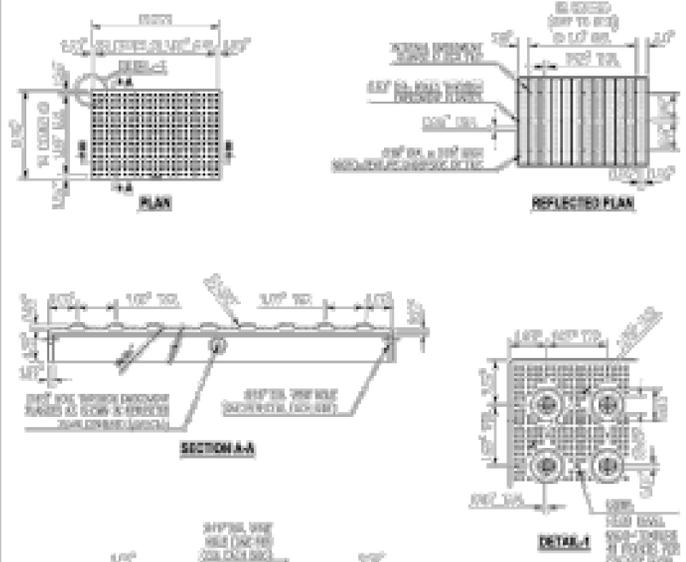


3 TYPICAL INTERSECTION
N.T.S.

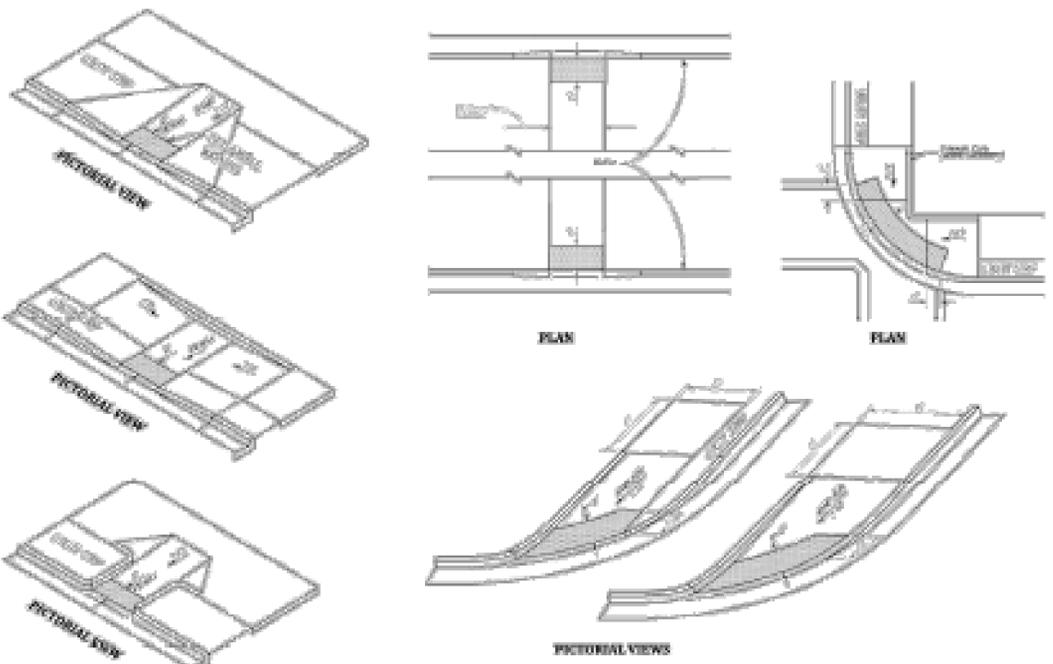


4 RIGHT TURN DECELERATION LANE
N.T.S.

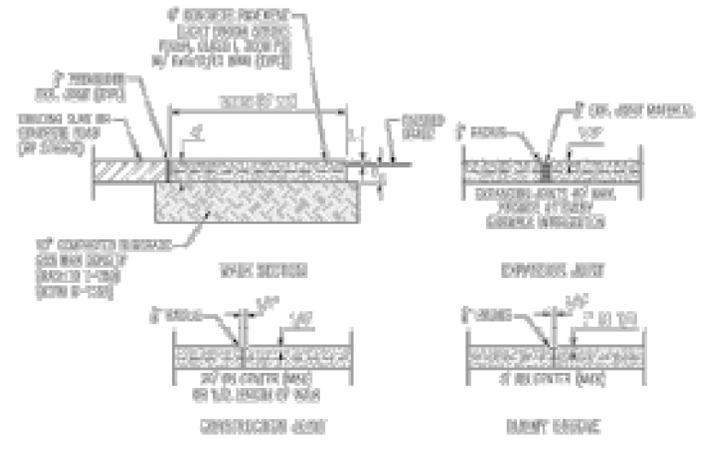
5 DIVIDED HIGHWAY LEFT TURN STORAGE LANE
N.T.S.



8 DETECTABLE WARNING DETAIL
N.T.S.



6 CURB RAMPS & DETECTABLE WARNING PLACEMENT
N.T.S.



7 SIDEWALK DETAILS
N.T.S.

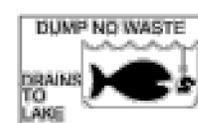


PLATE SHALL BE ADDED TO STORMWATER SIGNS AS REQUIRED BY THE CITY.

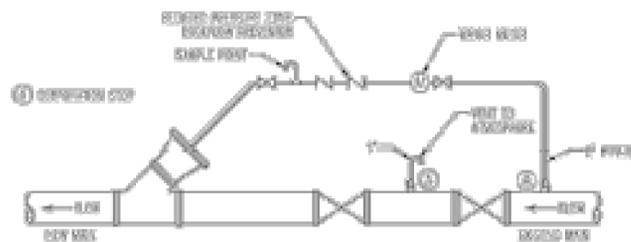
WINTER GARDEN DRAINAGE DISTRICT WITH DESIGN ENGINEER'S SEALING.
THE DESIGN NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET SUPERSEDE THE CITY SPECIFICATIONS OF THE CITY OF WINTER GARDEN FOR DRAINAGE OF PUBLIC WORKS AND STAFF IMPROVEMENTS. IF HAVING THE DRAINAGE, THE DESIGN ENGINEER HAS RECOGNIZED THAT THEY ARE CLOSING TO THE PROJECT AND THAT DETAILS, NOTES, AND SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN CHECKED OR APPROVED WITHOUT EXCEPT APPROVAL FROM THE CITY ENGINEER OR COUNTY ENGINEER.

DATE	
TITLE	
NO.	

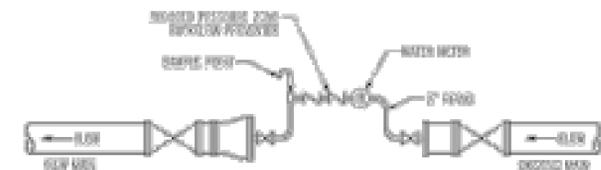
CITY OF WINTER GARDEN, FLORIDA
STANDARDS AND SPECIFICATIONS
FOR ROADWAY & DRAINAGE CONSTRUCTION



STANDARD DETAILS
FOR
PUBLIC SERVICES



OPTION "A"



OPTION "B"

CREATE AN AIRGATE BELOW FOR SHORT SPANS, FROM CENTER OF SERVICE CHANGES IMPROPERLY PLACED WITH ONE PENETRATION FROM PG CODE TABLE.

A GUY REPRESENTATIVE SHALL BE INSTALLED AT THE TOP OF INSULATION AND END OF THE SEAL. GUY SHALL BE CORROSION PROTECTED WITH THE SAME BRASS COATING AND IS APPROVED BY THE CITY ENGINEERING. THE GUY REPRESENTATIVE SHALL BE OPEN TO CORROSION USING PEEK TO PROTECT THE SEALING.

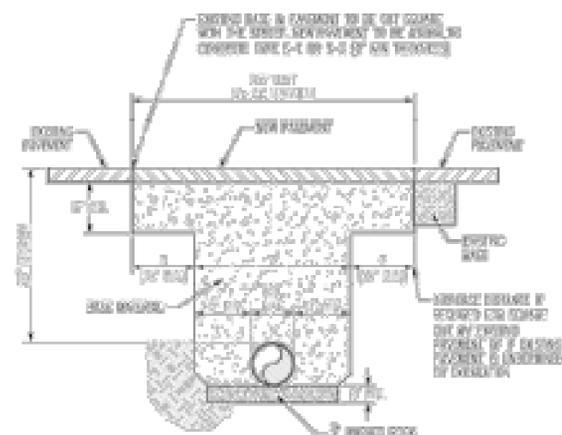
ON OTHER LAYOUTS OF SERVICE (NOT MAIN) GUYING MAY BE IDENTIFIED BY OTHERS WITH PAPER AT A MINIMUM INTERVAL OF 2-4 FEET FOR SIGNAL. GUYING SHOULD BE PROVIDED AND GUYING SHALL BE COVERED BY ONE END BY THE SUBMITTER'S APPROVAL. WATER SHALL BE FROM A PROTECT COVERED CAPACITATED TO THE END.

NOTES:

1. GUYING OF ALL MAIN SHALL BE 1/2" LARGER.
2. GUY TO BE PROVIDED AND GUYING AT END OF PIPING.
3. AT THE END OF THE PROJECT, ALL GUYING SHALL BE REMOVED AND GUYING SHALL BE RE-INSULATED.
4. GUYING SHALL BE PROVIDED AFTER INSULATION PROVIDED.
5. ALL MATERIAL, PVC, AND OTHER SHALL BE APPROVED BY THE CITY OF WINTER GARDEN.
6. GUYING SHALL BE PROVIDED WITH NO PIPING. GUYING SHALL BE ADDED TO THE END THROUGH THE END OF A LINE. THE GUYING SHALL BE APPROVED.
7. GUYING SHALL BE PROVIDED AT LEAST TWICE.

1 PIPE PIGGING DETAIL

N.T.S.

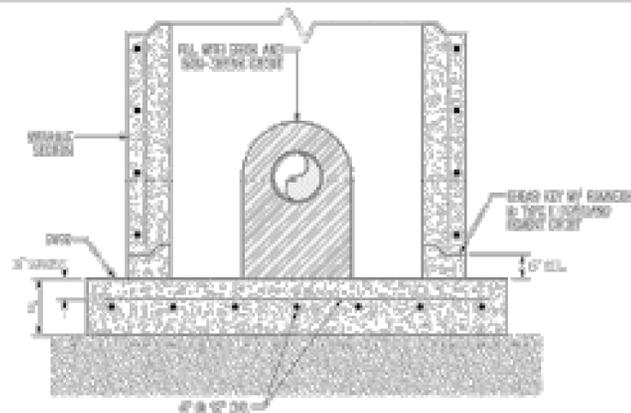


W = DIA. OF PIPE + 2" MIN. AT EACH SIDE OF PIPE
 B = WIDTH OF SEAL TYPE
 (MINIMUM EXCESS OF ESCAPE FOR SUBMITTER TO THE ROAD)

NOTE:
 ALL GUYING COMPLETION SHALL BE END OF WORKING COVER

5 PAVEMENT RESTORATION DETAIL

N.T.S.

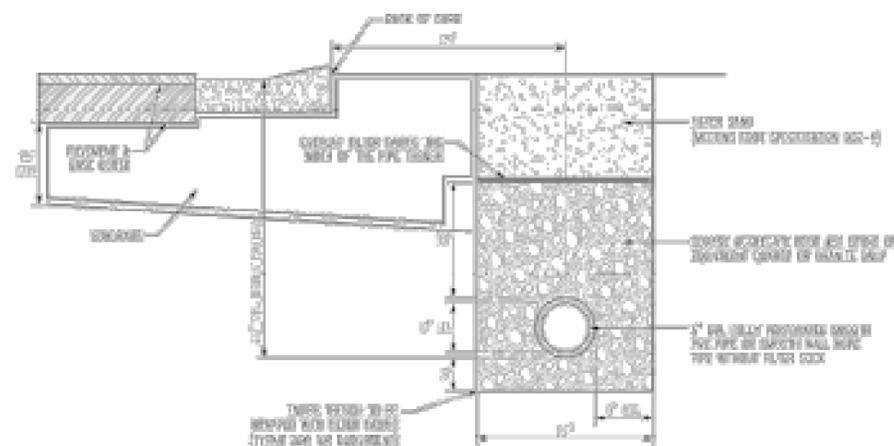


NOTES:

1. TO PREVENT GUY FROM BEING OVER EXPOSED, GUY SHALL BE PROVIDED WITH A 2" MIN. COVER AT THE END.
2. FOR ADDITIONAL INFORMATION, SEE "GUYING" CODE MANUAL STANDARD.
3. AT THE END OF THE PROJECT, ALL GUYING SHALL BE REMOVED AND GUYING SHALL BE RE-INSULATED FOR SUPPORT OF EXISTING COVER BRIDGE INSULATION OR GUYING.

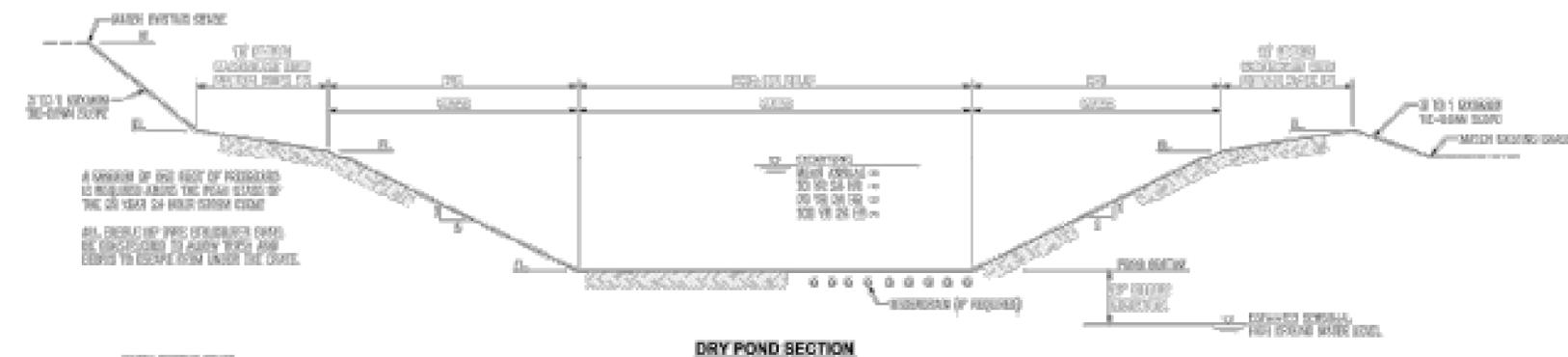
2 GRAVITY SEWER DOGHOUSE MANHOLE

N.T.S.

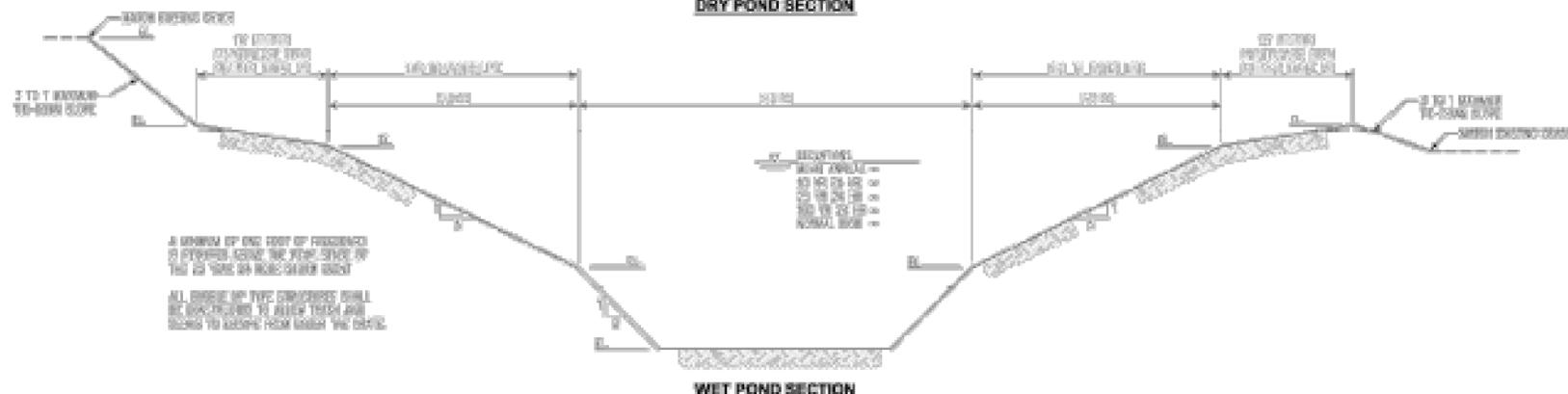


3 UNDERDRAIN DETAIL

N.T.S.



DRY POND SECTION



WET POND SECTION

4 POND SECTIONS

N.T.S.



6 STREET SIGN BLADE DETAIL

N.T.S.

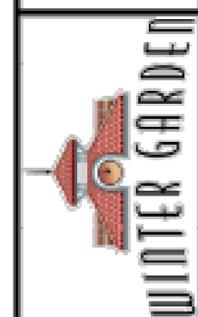
THE BACKGROUND COLOR SHALL BE REPRESENTATIVE GRAY AND THE LETTERING AND BORDER SHALL BE REPRESENTATIVE WHITE.

FOR PAVEMENT RESTORATION, SEE PG CODE TABLE FOR SUBMITTER'S APPROVAL.

THE DESIGN, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE DESIGN CONCEPTS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PAVEMENT WORK AND GUYING APPROXIMATELY TO THE CITY OF WINTER GARDEN. THE DESIGN CONCEPTS AND APPROXIMATELY TO THE CITY OF WINTER GARDEN. THE DESIGN CONCEPTS AND APPROXIMATELY TO THE CITY OF WINTER GARDEN. THE DESIGN CONCEPTS AND APPROXIMATELY TO THE CITY OF WINTER GARDEN.

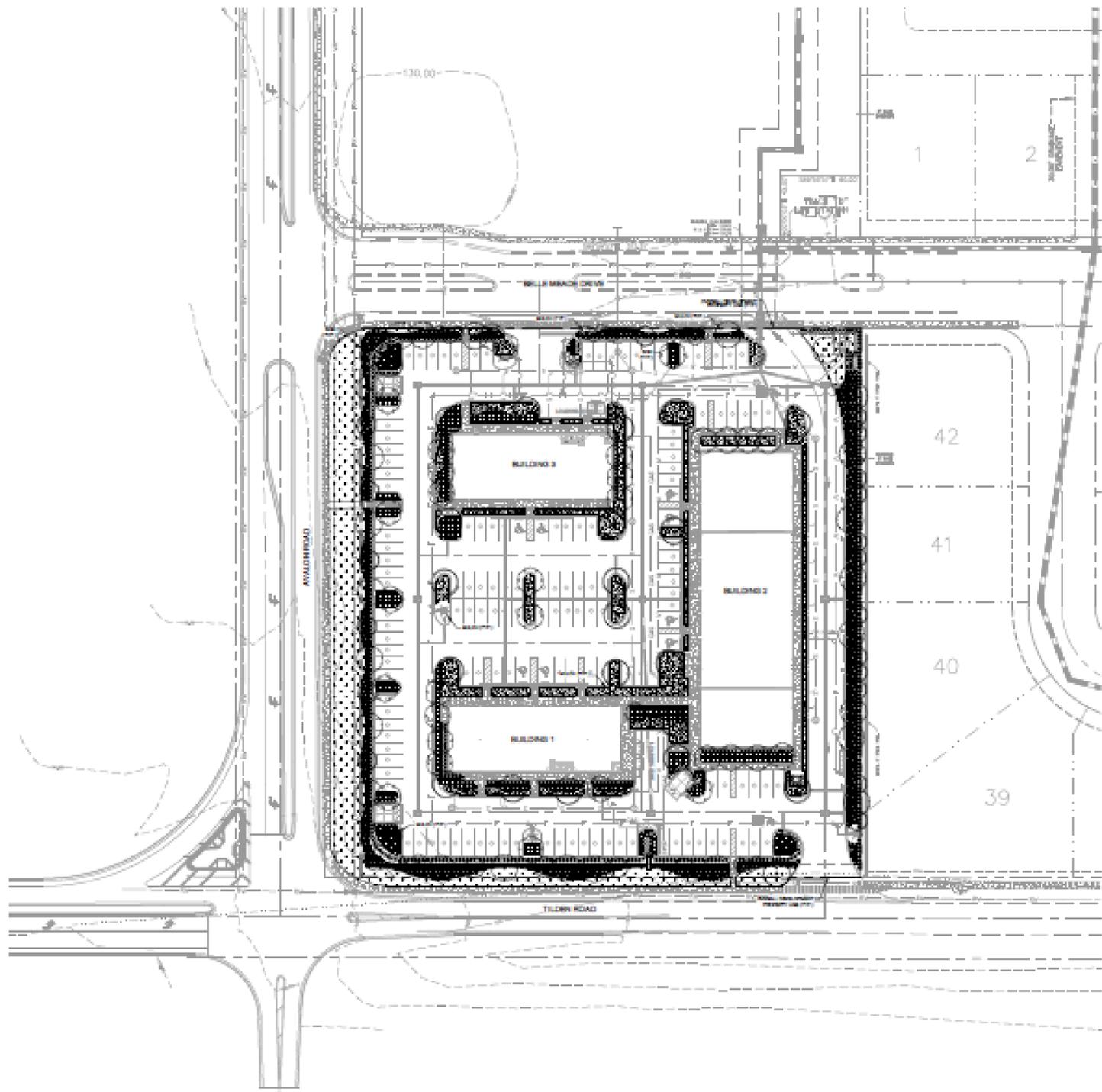
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CITY OF WINTER GARDEN, FLORIDA
 STANDARDS AND SPECIFICATIONS



STANDARD DETAILS
 FOR
 MISCELLANEOUS DETAILS

ALL PLANT MATERIAL SHALL BE FLORIDA GROWN OR PROPAGATED IN FLORIDA. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE. ALL PLANT MATERIAL SHALL BE DELIVERED TO THE SITE IN A HEALTHY AND VIGOROUS CONDITION. ALL PLANT MATERIAL SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS.



PLANT SCHEDULE

CANOPY TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	COAT	CAL	HT	
	CC	27	QUERCUS VERMICOSA 'TOLLY' TR SHADE, STRAIGHT, FL #1, FULL	CATHEDRAL LIVE OAK	00 GAL	7' CAL MIN	14' HT MIN	
	CR	20	QUERCUS SHUMBERGII SHADE, STRAIGHT, FL #1, FULL	SHUMBERG OAK	00 GAL	7' CAL MIN	14' HT MIN	
	UA	34	LEUCA ALATA SHADE, STRAIGHT, FL #1, FULL	SHEDD OLM	00 GAL	7' CAL MIN	14' HT MIN	
UNDERSTORY TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	COAT	CAL	HT	
	CR	24	CERCIS CANADENSIS SHADE, STRAIGHT, FL #1, FULL	EASTERN REDBUD	85 GAL	4' CAL MIN	11' HT	
	LI	20	LASIOSTOMA SODICKI PALMERI 'ACONY' MULTI TRUNK, FL #1, FULL	ACONY OAKFRY MYRTLE	85 GAL	4' CAL MIN	11' HT	
SHRUB	CODE	QTY	BOTANICAL NAME	COMMON NAME	COAT	SPACING	HT	
	SP	80	MYRTILLUS PRADERAE FULL	EMERALD STOPPER	3 GAL	36" OC	30" HT MIN	
SPREADER	CODE	QTY	BOTANICAL NAME	COMMON NAME	COAT	HT	SPACING	HT
	SA	28	ERIPHOLOPS INDICA 'LUNA' FULL	WHITE INDIAN HAWTHORN	3 GAL	12' HT MIN	24" OC	24" HT
GROUND COVER	CODE	QTY	BOTANICAL NAME	COMMON NAME	COAT	HT	SPACING	HT
	JF	770	JUNIPERUS CHINENSIS 'PARKWAY' FULL	PARKWAY JUNIPER	3 GAL	12' HT MIN	36" OC	36" HT
	UR	140	LIROPE MURCAYI 'EMERALD OCCIDENT' FULL	EMERALD OCCIDENT LIROPE	1 GAL	12' PLANTERS	36" OC	36" HT
	PA	0.24 SQ YD	PAPILLON NOTATUM 'ARGENTINE' FULL	BAHAMA ORANGE	800	-	-	-
	TA	3.74	TRACHELOPERMUM ARABICUM FULL	STAR JASMINE	1 GAL	12' PLANTERS	36" OC	36" HT
	TV	08	TRACHELOPERMUM ARABICUM 'VARIATA' FULL	VARIATED STAR JASMINE	1 GAL	12' PLANTERS	36" OC	36" HT
SPC	QTY	BOTANICAL/COMMON NAME	SPECIFICATIONS					
MULCH	780	EUCALYPTUS MULCH	2" DEPTH MINIMUM, SHRUBBED, FREE OF WEEDS/INVASIVE PLANT MATERIAL					

ORANGE COUNTY LANDSCAPE CODE		
CODE	REQUIRED	PROPOSED
MINIMUM LANDSCAPE MATERIAL 1 TREE PER 500 SQ FT	8 CANOPY TREES	26 CANOPY TREES
MINIMUM LANDSCAPE MATERIAL 1 CANOPY TREE PER 100 SQ FT	MINIMUM 10 CANOPY TREES MINIMUM 10 CANOPY TREES MINIMUM 10 CANOPY TREES	MINIMUM 10 CANOPY TREES MINIMUM 10 CANOPY TREES MINIMUM 10 CANOPY TREES
MINIMUM LANDSCAPE MATERIAL 1 UNDERSTORY TREE PER 100 SQ FT	MINIMUM 10 UNDERSTORY TREES MINIMUM 10 UNDERSTORY TREES MINIMUM 10 UNDERSTORY TREES	MINIMUM 10 UNDERSTORY TREES MINIMUM 10 UNDERSTORY TREES MINIMUM 10 UNDERSTORY TREES

- LANDSCAPE NOTES:**
- ALL LANDSCAPE MATERIAL TO BE FLORIDA GROWN IN OR BETTER QUALITY
 - ALL LANDSCAPE AREAS ARE TO RECEIVE A MINIMUM OF 2" OF TOPSOIL
 - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE
 - ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION
 - ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS
 - ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA (2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD (3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTENANCE (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE WARRANTY PERIOD
 - ANY PLANT MATERIAL WHICH IS DAMAGED, DETERIORATED, DEAD, OR DEFECTIVE (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS
 - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR WARRANTY PERIOD. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON
 - STANDARDS SET FORTH IN AMERICAN STANDARD FOR NURSERY STOCK REPRESENTING GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL
 - ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES, AND SHALL BE FLORIDA GROWN (OR BETTER AS GIVEN IN TRADE AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II) STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE
 - ALL INVASIVE / EXOTIC SPECIES AND PROHIBITED TREE SPECIES SHALL BE REMOVED FROM SITE, INCLUDING ROOT BALLS TO THE EXTENT POSSIBLE WITH NO DAMAGE TO ADJACENT EXISTING TREES
 - ALL LANDSCAPE AREAS WILL BE PROVIDED WITH PERMANENT AUTOMATIC IRRIGATION SYSTEMS
 - TREE SUPPORT MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS "ESTABLISHED" (AS APPROVED BY THE LANDSCAPE ARCHITECT)
 - ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND SPECIES AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION



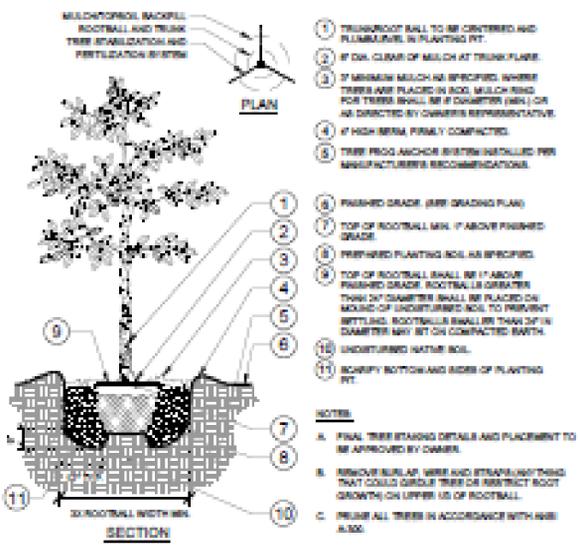
Kimley»Horn
 2025 HILLVIEW DRIVE, SUITE 200, GAITHERSBURG, MD 20878
 301.251.1100
 WWW.KIMLEY-HORN.COM

LANDSCAPE PLAN
 BELLE MEADE COMMERCIAL OUTPARCEL #2
 CITY OF WINTER GARDEN, FLORIDA

DATE: 5/11/2020
 PROJECT NO: 049138005
 SHEET NUMBER: L1.0

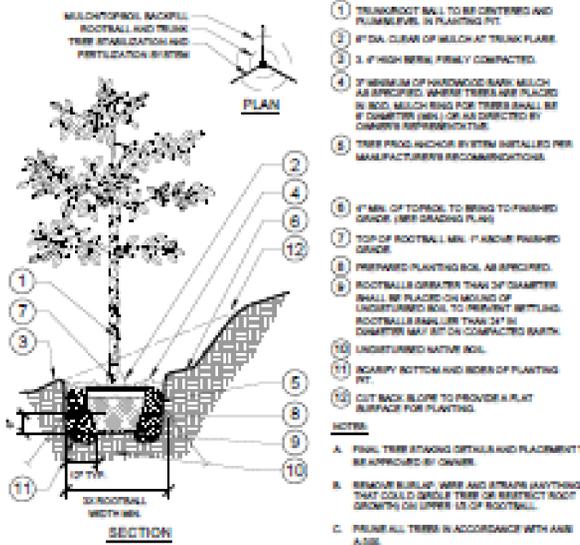
SCALE AS NOTED
 REVISION: 11 9/01
 DRAWN BY: 9/01
 CHECKED BY: 11/17

DATE: 5/11/2020



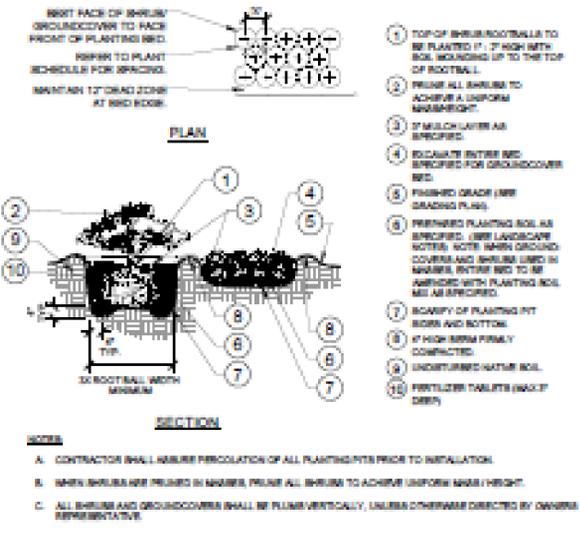
1. TRUNK ROOT BALL TO BE CENTERED AND PLUMB LINE IN PLANTING PIT.
 2. IF 1" DIA. CLEAR OF MULCH AT TRUNK FLARE.
 3. IF MINIMUM MULCH AS SPECIFIED, WHERE TREES ARE PLACED IN ROW, MULCH RING FOR TREES SHALL BE 8" DIAMETER (MIN) OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
 4. IF HIGH BERM, FINELY COMPACTED.
 5. TREE PRO-ANCHOR SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 6. FINISHED GRADE (SEE GRADING PLAN).
 7. TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
 8. PREPARED PLANTING SOIL AS SPECIFIED.
 9. TOP OF ROOTBALL SHALL BE 1" ABOVE FINISHED GRADE. ROOTBALLS GREATER THAN 12" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" DIAMETER MAY BE ON COMPACTED SAND.
 10. UNDISTURBED NATIVE SOIL.
 11. SCARIFY BOTTOM AND SIDES OF PLANTING PIT.
- NOTES:**
- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 - B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
 - C. PLUMB ALL TREES IN ACCORDANCE WITH AAS AND.

1 TREE PLANTING SECTION/PLAN



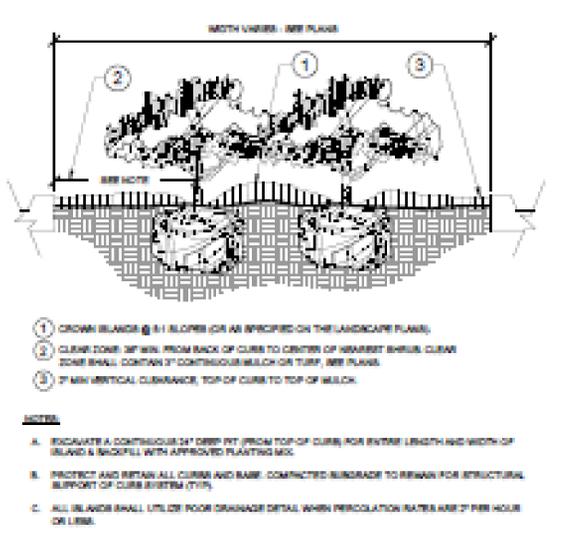
1. TRUNK ROOT BALL TO BE CENTERED AND PLUMB LINE IN PLANTING PIT.
 2. IF 1" DIA. CLEAR OF MULCH AT TRUNK FLARE.
 3. IF HIGH BERM, FINELY COMPACTED.
 4. IF MINIMUM OF HARDWOOD BARK MULCH AS SPECIFIED, WHERE TREES ARE PLACED IN ROW, MULCH RING FOR TREES SHALL BE 8" DIAMETER (MIN) OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
 5. TREE PRO-ANCHOR SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 6. FINISHED GRADE (SEE GRADING PLAN).
 7. TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
 8. PREPARED PLANTING SOIL AS SPECIFIED.
 9. ROOTBALLS GREATER THAN 12" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" DIAMETER MAY BE ON COMPACTED SAND.
 10. UNDISTURBED NATIVE SOIL.
 11. SCARIFY BOTTOM AND SIDES OF PLANTING PIT.
 12. CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING.
- NOTES:**
- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 - B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
 - C. PLUMB ALL TREES IN ACCORDANCE WITH AAS AND.

2 TREE PLANTING ON A SLOPE SECTION/PLAN



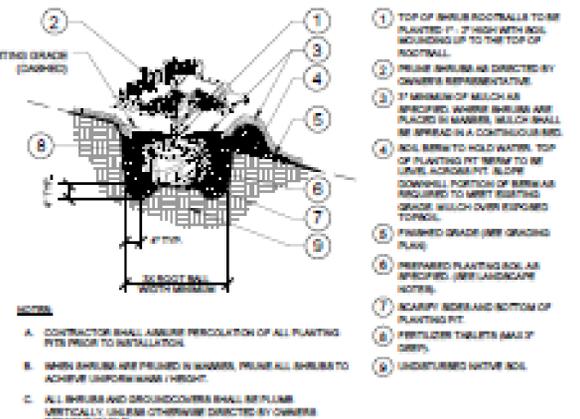
1. TOP OF SHRUB ROOTBALLS TO BE PLACED 1" TO 2" HIGH WITH SOIL BOUNDING UP TO THE TOP OF ROOTBALL.
 2. PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM SHAPE/FORM.
 3. MULCH LAYER AS SPECIFIED.
 4. EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
 5. FINISHED GRADE (SEE GRADING PLAN).
 6. PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES). NOTE: WHEN GROUND COVER AND SHRUBS USED IN SAME BED TO BE INSTALLED WITH PLANTING SOIL, SEE AS SPECIFIED.
 7. SCARIFY OF PLANTING PIT BERM AND BOTTOM.
 8. IF HIGH BERM FINELY COMPACTED.
 9. UNDISTURBED NATIVE SOIL.
 10. FERTILIZER TABLETS (AS APPLICABLE).
- NOTES:**
- A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - B. WHEN SHRUBS ARE PLANTED IN ROWS, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM SHAPE/HEIGHT.
 - C. ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.

3 SHRUB/GROUNDCOVER PLANTING SECTION/PLAN



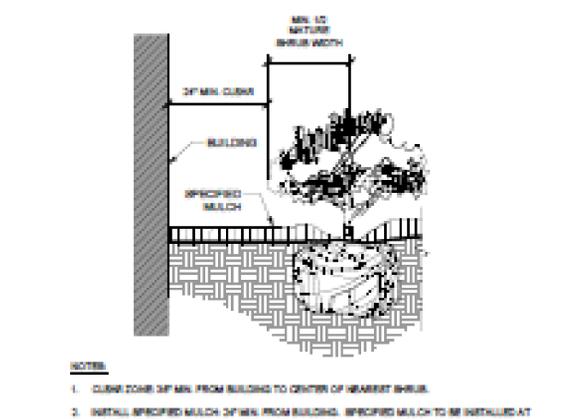
1. CROWN BLADES @ 1:1 SLOPE OR AS SPECIFIED ON THE LANDSCAPE PLAN.
 2. CURB EDGE: 3" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CURB EDGE SHALL CONTAIN 3" CONTIGUOUS MULCH OR TURF. (SEE PLAN).
 3. 2" MIN. VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.
- NOTES:**
- A. EXCAVATE A CONTIGUOUS 3" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & SHOULDER WITH APPROVED PLANTING MIX.
 - B. PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
 - C. ALL ISLANDS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2" PER HOUR OR LESS.

4 PLANTED PARKING LOT ISLANDS/MEDIANS SECTION



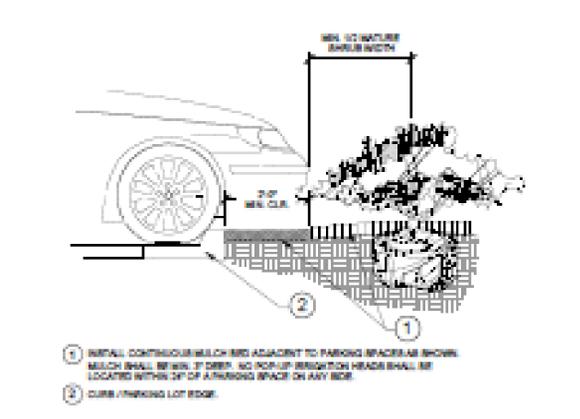
1. TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" TO 2" HIGH WITH SOIL BOUNDING UP TO THE TOP OF ROOTBALL.
 2. PRUNE SHRUBS AS DIRECTED BY OWNER'S REPRESENTATIVE.
 3. IF MINIMUM OF MULCH AS SPECIFIED, WHERE SHRUBS ARE PLACED IN ROWS, MULCH SHALL BE SPREAD IN A CONTIGUOUS AND 8" DIA. BERM TO HOLD WATER. TOP OF PLANTING PIT BERM TO BE LEVEL ACROSS PIT. SLOPE DOWNHILL PORTION OF BERM AS REQUIRED TO AVOID SETTLING.
 4. FINISHED GRADE (SEE GRADING PLAN).
 5. PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES).
 6. SCARIFY BERM AND BOTTOM OF PLANTING PIT.
 7. FERTILIZER TABLETS (AS APPLICABLE).
 8. UNDISTURBED NATIVE SOIL.
 9. UNDISTURBED NATIVE SOIL.
- NOTES:**
- A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - B. WHEN SHRUBS ARE PLANTED IN ROWS, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM SHAPE/HEIGHT.
 - C. ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.

5 SHRUB/GROUNDCOVER PLANTING ON A SLOPE SECTION



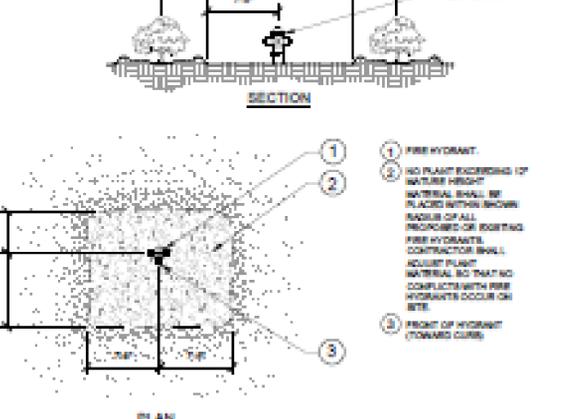
1. CURB EDGE: 3" MIN. FROM BUILDING TO CENTER OF NEAREST SHRUB.
2. INSTALL SPECIFIED MULCH @ 1" MIN. FROM BUILDING. SPECIFIED MULCH TO BE INSTALLED AT A DEPTH OF 3" (MIN).

6 PLANTINGS ADJACENT TO BUILDINGS SECTION



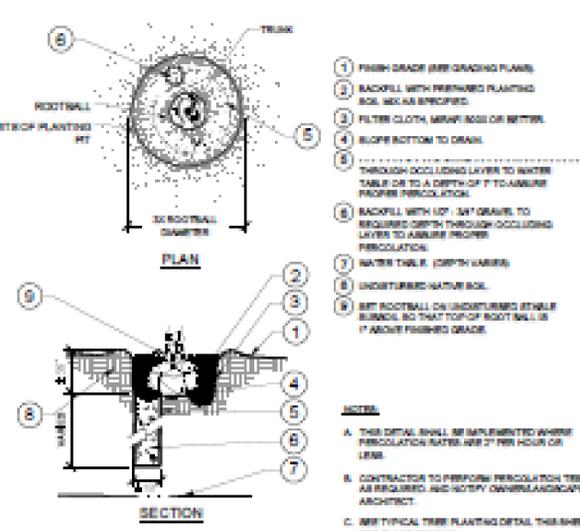
1. INSTALL CONTIGUOUS MULCH BED ADJACENT TO PARKING SPACES/AS SHOWN. MULCH SHALL BE 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 2' OF A PARKING SPACE ON ANY SIDE.
2. CURB/PARKING LOT EDGE.

7 PARKING SPACE/CURB PLANTING SECTION



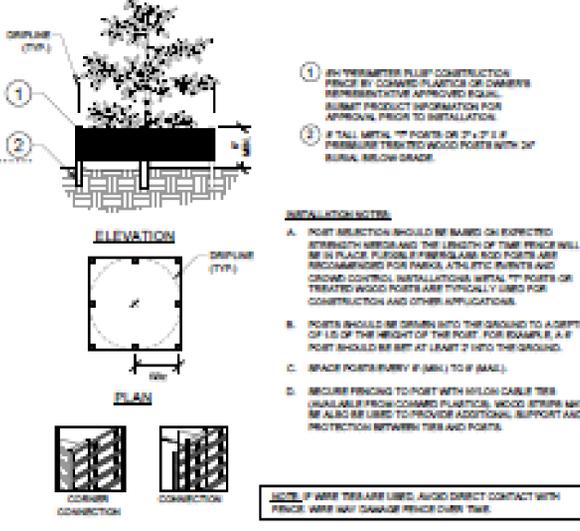
1. FIRE HYDRANT.
2. NO PLANT EXCEEDING 1/2 SHRUB HEIGHT.
3. FRONT OF HYDRANT (TOWARD CURB).

8 SHRUB PLANTING AT FIRE HYDRANT SECTION/PLAN



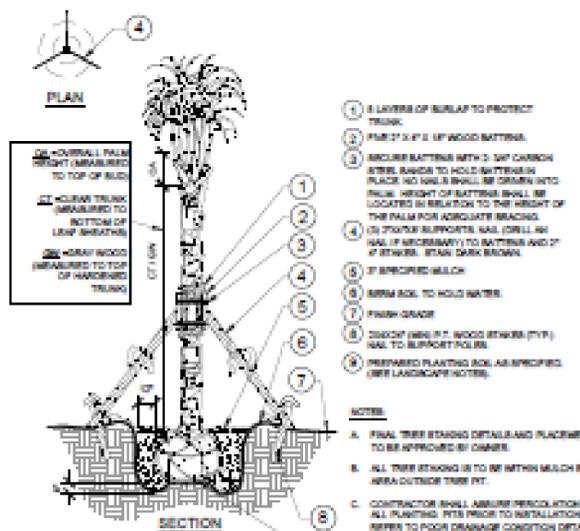
1. FINISH GRADE (SEE GRADING PLAN).
 2. BACKFILL WITH PREPARED PLANTING SOIL, 6" MIN. SPECIFIC.
 3. FILTER CLOTH, WRAP BOTTLE OR NETTING.
 4. SLOPE BOTTOM TO DRAIN.
 5. THROUGH OCCULTING LAYER TO WATER TABLE OR TO A DEPTH OF 1' TO ASSURE PROPER PERCOLATION.
 6. BACKFILL WITH 1/2" - 3/4" GRAVEL TO REQUIRED DEPTH THROUGH OCCULTING LAYER TO ASSURE PROPER PERCOLATION.
 7. WATER TABLE (DEPTH VARIES).
 8. UNDISTURBED NATIVE SOIL.
 9. SET ROOTBALL ON UNDISTURBED STABLE SUBSOIL SO THAT TOP OF ROOTBALL IS 1" ABOVE FINISHED GRADE.
- NOTES:**
- A. THIS DETAIL SHALL BE IMPLEMENTED WHERE PERCOLATION RATES ARE 2" PER HOUR OR LESS.
 - B. CONTRACTOR TO PERFORM PERCOLATION TEST AS REQUIRED, AND NOTIFY OWNER/LANDSCAPE ARCHITECT.
 - C. SEE TYPICAL TREE PLANTING DETAIL, TRUNK STAKE FOR PLANT STAKING.

9 POOR DRAINAGE CONDITION SECTION/PLAN



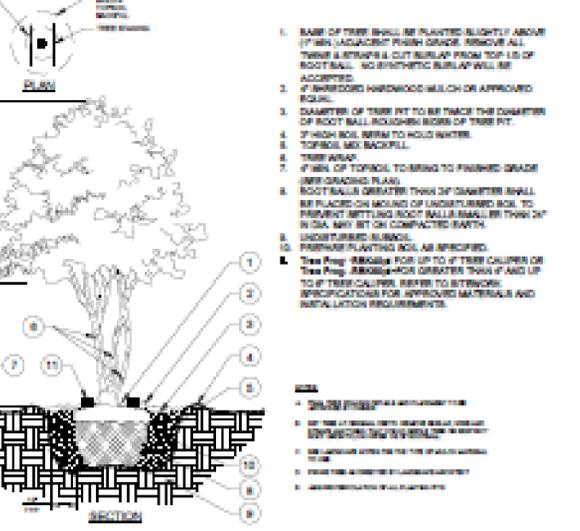
1. IN PRESENCE OF CONSTRUCTION, FENCE BY CONCRETE PIERCE OR OWNER'S REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.
 2. 4" TALL METAL TYP. POSTS @ 12' TO 15' PERPENDICULAR TO WOOD POSTS WITH 2" BURAL BELOW GRADE.
- INSTALLATION NOTES:**
- A. POST SELECTION SHOULD BE BASED ON EXISTING STRENGTH/USAGE AND THE LENGTH OF TREE PROTECT FENCE WILL BE IN PLACE. PURCHASE IF FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKING, ATHLETIC EVENTS AND OTHER CONTROL INSTALLATIONS. METAL TYP. POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.
 - B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/3 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 6' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.
 - C. BRACE POSTS FIRMLY IF (MIN) TO IF (MAX).
 - D. SECURE FENCING TO POST WITH NYLON CABLE TIE (AVAILABLE FROM CONRAD PLASTICS). WOOD STAPLES MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TREE AND POSTS.
- NOTE:** IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE CURB TREE.

10 TREE PROTECTION FENCING ELEVATION/PLAN



1. 2" LAYER OF BURLAP TO PROTECT TRUNK.
 2. FIBER 2" X 1/2" X 1/2" WOOD BATTENS.
 3. SECURE BATTENS WITH 2" CAP CARBON STEEL RINGS TO HOLD BATTENS IN PLACE. NO NAILS SHALL BE DRIVEN INTO PALM. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING.
 4. 2" PAPER SUPPORTS SHALL (BE) AS WALL IF NECESSARY TO BATTENS AND 2" IF (MIN). STAIN DARK BROWN.
 5. IF SPECIFIED MULCH.
 6. BERM SOIL TO HOLD WATER.
 7. FINISH GRADE.
 8. DRUCK (MIN 1/2" WOOD STAPLES (TYP.) NAIL TO SUPPORT POLYMER.
 9. PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES).
- NOTES:**
- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 - B. ALL TREE STAKING IS TO BE WITHIN MULCH BED AREA OUTSIDE TREE PIT.
 - C. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION. REFER TO POOR DRAINAGE CONDITION DETAIL.

11 PALM PLANTING SECTION/PLAN



1. BARK OF TREE SHALL BE PLANTED SLIGHTLY ABOVE 1" MIN. (ADJACENT FINISH GRADE). REMOVE ALL TWIGS & STRIPS & CUT BURLAP FROM TOP 1/3 OF ROOTBALL. NO EXCESSIVE BURLAP WILL BE ACCEPTED.
 2. IF SPECIFIED HARDWOOD MULCH OR APPROVED EQUAL.
 3. DIAMETER OF TREE PIT TO BE THREE TIMES THE DIAMETER OF ROOTBALL. ROUGHEN SIDES OF TREE PIT.
 4. 2" HIGH SOIL BERM TO HOLD WATER.
 5. TOPSOIL BED BACKFILL.
 6. TREE WRAP.
 7. 1" MIN. OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN).
 8. ROOTBALLS GREATER THAN 12" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" DIAMETER MAY BE ON COMPACTED SAND.
 9. UNDISTURBED NATIVE SOIL.
 10. PREPARED PLANTING SOIL AS SPECIFIED.
 11. TREE PRO-ANCHOR SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- NOTES:**
- A. TREE PRO-ANCHOR SYSTEM SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - B. TREE PRO-ANCHOR SYSTEM SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - C. TREE PRO-ANCHOR SYSTEM SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - D. TREE PRO-ANCHOR SYSTEM SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

12 MULTI-TRUNK TREE PLANTING SECTION/PLAN

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5/11/2020

DATE: 5/11/2020
 TIME: 11:00 AM
 USER: JMT

LANDSCAPE DETAILS

BELLE MEADE COMMERCIAL OUTPARCEL #2

FLORIDA

CITY OF WINTER GARDEN

PROJECT NO. 049138005
 SHEET NUMBER: L1.50

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS SPECIFIED HEREIN.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

1. ALL EXISTING BUILDINGS, WALLS, WALLS, FENCES, FENCES, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNDER OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM MISCONDUCT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO ALL REGULATORY AGENCY STANDARDS THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN UNLESS THE WORK REQUIRES NOTHING MORE THAN A DIRECT APPLICATION OF FOOT STAKES OR CONICAL BARRIERS. IF A DIRECT APPLICATION OF BARRIERS IS PROPOSED, THE CONTRACTOR SHALL SUBMIT IN WRITING A STATEMENT INDICATING THE STAKING METHOD AND PAGE NUMBER, NO LESS THAN 15 BUSINESS DAYS PRIOR TO START OF CONSTRUCTION. BARRIERS A DIRECT APPLICATION OF FOOT STAKES OR CONICAL BARRIERS IS NOT ACCEPTABLE. A PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY A FLORIDA PROFESSIONAL ENGINEER WHO HAS SUCCESSFULLY COMPLETED ADVANCED TRAINING IN MAINTENANCE OF TRAFFIC, AS DEFINED BY FOOT FOR APPROVAL BY THE COUNTY ENGINEER REPRESENTATIVE.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DETERMINING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, THE SAFETY AND PROTECTION THEREOF, REPAIRING ANY DAMAGE THEREBY RESULTING FROM THE WORK. THE COST OF ALL SUCH WORK, INCLUDING ALL NECESSARY BARRIERS, SHALL BE INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

C. PROTECTION OF EXISTING PLANT MATERIALS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE CONTRACTORS BY DRIVING OR PARKING UNDER THE CRUISE LINE AND INCLUDING CUL, GARDEN, OR OTHER DIFFERENTIAL MATERIALS WITHIN THE CRUISE LINE. NO MATERIALS SHALL BE BURIED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE UNREPAIRABLE OR UNUSABLE IMMEDIATELY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF THREE HUNDRED DOLLARS (\$300) PER CALIPER INCH ON AN EQUALING SCALE WHICH ADDS AN ADDITIONAL THIRTY (30) PERCENT PER EACH OVER FOUR (4) INCHES CALIPER PER FOOT AND ADDITIONAL THIRTY DOLLARS PER CALIPER INCH. PLANTS SHALL BE MEASURED TO THE NEAREST INCH ABOVE GROUND LEVEL, FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER, AND THREE (3) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

D. MATERIALS

1. GENERAL
MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER, UPON APPROVAL, DELIVERY OF MATERIALS TO THE SITE.

MATERIAL	SAMPLE SIZE
SOIL	ONE (1) CUBIC FOOT
TORNIAL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

2. PLANT MATERIALS

1. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
a. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS. INSECT BODIES AND LARVAE AND SMALL, HARD AGGREGATE ROOT SYSTEMS. TREES FOR PLANTING IN CONTAINERS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OBTAINED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE.
b. MEASUREMENTS: THE HEIGHT, WIDTH OR SPREAD OF TREES SHALL BE MEASURED FROM THE GROUND OR ABOVE THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OR SPREAD OF ROOTS SHALL BE MEASURED IN PROPORTION TO THE SIZE OF THE PLANT.
c. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY. SUCH INSPECTION SHALL NOT IMPAIR THE SCOPE OF INSPECTION AND SECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATEX DISEASE OR INJURIES. SELECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUIRING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
2. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TORNIAL MIX)

1. CONTRACTOR SHALL TEST EXISTING SOIL AND MIXING AS NECESSARY IN ACCORDANCE WITH THE SUGGESTIONS BELOW

2. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND IN TESTING RESULTS OF SOIL MIXTURE FOR OWNER REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FINE-SOILED, AND OF A LOAMY CHARACTER. IT SHALL BE FREE OF SUBSOIL, CLAY LUMP, BULKY WORMS AND OTHER LITTER, FREE OF ROOTS, STICKS, LIMBS, OTHER LARGER THAN 1/4" IN ANY DIRECTION, AND OTHER EXTENSIVE OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND HAVE A PH BETWEEN 6.5 AND 7.5.
b. SAND SHALL BE CORNER, CLEAN, WELL-DRAINING, NATIVE SAND.
3. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE UNLESS DETERMINED TO BE UNSUITABLE. AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNER REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION. SEE TO 2.1.1.1.

F. WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER SUPPLYING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC., IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
*WATERING RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZERS

1. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE-SPECIFIC USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY DERIVED.
*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

1. MULCH MATERIAL SHALL BE APPLIED AT THE TIME OF APPLICATION TO PREVENT WIND-EROSION, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAN MULCH FROM EACH PLANT'S CROWN (BARK). MULCH SHALL BE FLOUSALON (EUCALYPTUS MULCH) OR SIMILAR SUSTAINABLY HARVESTED MULCH UNLESS OTHERWISE SPECIFIED.
2. PROVIDE A THREE (3) INCH MINIMUM LAYER OF ACCEPTED MULCH OVER THE ENTIRE AREA OF EACH SHRUBBED, GROUND COVER, VINE BED, AND TREE PIT (IF MINIMUM) PLANTED UNDER THIS CONTRACT.

I. DOINGS AND HANDLING

1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRAVEL. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE WRAPPED WITH AN ANTI-TRANSPIRANT PRODUCT (PULTRUFLEX OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
2. BILLED AND UNPLANTED (BARK) AND FIELD GROWN (PO) PLANTS SHALL BE DUG WITH FRESH, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS DUG WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "RT" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
4. PROTECTION OF PALMS: ONLY A MINIMUM OF PRUNES SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AN SPECIFIED AFTER THE MINIMUM OF PRUNES HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTINGS AND PREPARED SUBBASES.

J. CONTAINER-GROWN STOCK

1. ALL CONTAINER-GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE BOTTLED. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
2. AN ESTABLISHED CONTAINER-GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT BALLS WILL RETAIN THEIR SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER-GROWN STOCK SHALL NOT BE HANDLED BY THESE STEMS.
3. ROOT-BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
4. BPO-TRUCK-FULL GROWERY CONTAINER PRODUCTS SHALL BE USED WHERE SPECIFIED.

K. COLLECTED STOCK

1. WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZE OF ROOT BALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY-GROWN STOCK OF THE SAME VARIETY.

L. NATIVE STOCK

1. PLANTS COLLECTED FROM WILD OR NATIVE STOCK SHALL BE CONSIDERED NURSERY-GROWN WHEN THEY HAVE BEEN SUCCESSFULLY ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE A THIRDED ADAPTED ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

M. MATERIAL LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITIES, THE OWNER REPRESENTATIVE SHALL BE NOTICED FOR CLARIFICATION PRIOR TO BEGINNING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZE SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

N. FINISH GRADING

1. FINISH GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. REFER TO DRAWINGS AS SHOWN ON THE DRAWINGS AS WELL AS THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL FINISH GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOIL AND/OR MULCH DEPTH. CONTRACTOR SHALL FINISH GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT AND REAR TIRE. FINISH GRADING SHALL BE ACCURATE TO WITHIN THE TOLERANCES SPECIFIED IN THE PLANT LIST.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE SUBSURFACE PLANT DRAIN SYSTEMS ADJACENT TO BUILDINGS SHALL BE OFF AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADING, IF APPLICABLE.

O. CLEANING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR DIRECTIONALLY MATTER DAILY. ALL MORTAR, CONCRETE, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS beneath the SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CONTRACTOR RESPONSIBLE FOR THE CORRECTIVE MEASURES.
2. VERIFY LOCATION OF ALL UTILITIES, CONDUITS, BURIED LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STEAM/HEAT EXCHANGERS, CABLE AND TELEPHONE. PROPERTY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL BUREAU STATE OR CALL OF FLORIDA, INC. (41) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED UNDERCOIL AND UNDERCOIL SUBBASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 8" OR TO NATURAL SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL WITH PLANTING AREAS TO FINISH FINISHED GRADE WITH CLEAN TORNIAL. FROM AN ON-SITE SOURCE OR AS SPECIFIED. IF UNDERCOIL OR OTHER FOREIGN CONDITIONS OCCUR IN PLANTED AREAS AFTER SET OFFER EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
4. FURNISH NURSERY CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED OUTSIDE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY WEALTHY IN FOR A PERIOD EXCEEDING TWENTY FOUR (24) HOURS. AT ALL TIMES WORKMANSHIP METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK (S). UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING MIX. NOTICES AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PRECAUTION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOFT PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL. TREES SHALL BE SET PLUMED AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN PLUMED INTO PLACE WITH A BLOW. FULL HOOR BURNING ALL PLANTING SHALL BE PERFORMED. MAKE SURE PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE PROFESSIONAL. PROPER SETTING SHALL BE ADEQUATE TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "SET STOCK" IS EQUAL IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER AFTER TAMING.
11. AMEND PINE AND OAK PLANT PITS WITH RECTANGULAR SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH BROWN CORN MEAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INSTALLATION.

12. FILL HOLES WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLES WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. IF BEING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE. ALL SURFACE, WATER, SAND, ETC., SHALL BE REMOVED FROM THE SOIL AND TOP OF BALLS, BUT NO SURFACE SHALL BE PULLED FROM UNDERNEATH.

13. TREES SHALL BE PRUNED, AT THE DISCRETION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR BUCKING GROWTH AND ALL BROKEN OR BARKY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST, IN ACCORDANCE WITH ANSI A300.

14. SHRUBS AND GROUND COVER PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIFIC REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, BROCHURES (E.G. BARKER), CULTURE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 8" AND AMEND AND DRAINAGE ALL DRAINAGE. SET TOP IF THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

15. TREE DUNING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAXIMIZE TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO BRACE THE TREE DURING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND ASSESS TO NECESSARY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERIOD OF PROPERTY.

16. ALL PLANT BEDS SHALL BE KEPT FREE OF WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER (AS ALLOWED BY JURISDICTIONAL AUTHORITY).

P. LAWN SOODING

1. THE WORK CONSISTS OF LAWN PREPARATION, SOIL PREPARATION, AND SOODING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
2. ALL AREAS THAT ARE TO BE SOODING SHALL BE CLEARED OF ANY TURF GRASS, WEEDS, AND OTHERS BY MEANS OF A SOOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL OBSTRUCTIONS CAUSED BY SETTLERS SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.

3. PREPARE LAWN BED FOUR (4) INCHES DEEP. HANG RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. VERY PREPARED AREA THOROUGHLY.

4. SOODING

4. THE CONTRACTOR SHALL SOOD ALL AREAS THAT ARE NOT PLANTED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
5. THE SOIL SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO UNIVERSAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
6. SOOD PAPER SHALL BE Laid TOGETHER IN AN AREA TO MAKE A SOLID SOODING LAWN AREA. SOOD SHALL BE Laid UNIFORMLY AGAINST THE EDGE OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS. PAPER AND PLANTING AREAS ADJACENT TO BUILDINGS, A 24 HOUR BUFFER BELTCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOODING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE GAPS BETWEEN THE SOOD PAPER AND TO FURNISH OUT HOLDING PROBLEMS IN THE SOOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOOD AND THOROUGHLY WATERED IN FERTILIZER INSTALLED SOOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

7. DURING DUNING, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOOD PAPER SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY BURNING OR EXCESSIVE HEAT AND MOISTURE.

8. LAWN MAINTENANCE

8. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PROVIDE A DRAIN, WELL, ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SEEDING OF ALL BROODS, BURNED OR BARE SPOTS LARGER THAN (70%) LOTS. CERTIFICATION OF ACCEPTANCE BY THE OWNER REPRESENTATIVE. BEFORE SOODING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING RESEEDING IF NECESSARY).
9. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOOD LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING SCHEDULE TO OWNER. OWNER ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

Q. CLEANUP

1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

R. PLANT MATERIAL MAINTENANCE

1. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS BUSH TRIMMING OR REMOVING DUT SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

S. FINAL INSPECTION AND ACCEPTANCE OF WORK

1. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE (UNLESS OTHERWISE SPECIFIED).

T. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS PRACTICABLE. CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND NOT AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS APPROVED AT NO ADDITIONAL COST TO THE OWNER.
3. IN THE EVENT THE OWNER DOES NOT CONTACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. SUCH VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF THREE (3) MONTHS FROM THE DATE OF ACCEPTANCE.

IRRIGATION SYSTEM NOTES:

1. THE IRRIGATION MAINLINE LAYOUT IS DIAGRAMMATIC. ANY CHANGES MADE IN THE IRRIGATION MAINLINE DUE TO FIELD CONDITIONS OR CONTRACTORS SUBMITTED DESIGN SHALL BE IN ACCORDANCE WITH THESE STANDARDS.
2. SET SPRAY HEADS AT AND ROTORS 17" IN FROM BACK OF CURB OR 3" IF PAVEMENT HAS NO CURB.
3. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL NECESSARY MODIFICATIONS REQUIRED TO MEET THE SCHEMATIC INTENT OF THESE PLANS PRIOR TO SUBMITTING PROPOSAL. THESE PLANS OUTLINE THE OVERALL LAYOUT OF THE SYSTEM AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT THE SYSTEM ACCORDINGLY BASED ON FLOW AND PRESSURE AVAILABLE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FOLLOWING BUT NOT LIMITED TO: AVAILABLE FLOW, AVAILABLE PRESSURE, CONNECTION ASSEMBLY, CAPACITY OF THE SYSTEM.
4. CONTRACTOR TO PROVIDE NEW AUTOMATIC CONTROLLER FOR PROPOSED SYSTEM (NO BATTERY OPERATED CONTROLLERS ALLOWED). COORDINATE LOCATION WITH OWNER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AUTOMATIC MAIN SHUT-OFF. COORDINATE LOCATION WITH OWNER.
6. IRRIGATION SHALL NOT BE COMBINED ON A SINGLE ZONE AND SHALL BE ZONED ACCORDING TO IRRIGATION TYPE, PRECIPITATION RATE, AND THE SYSTEMS AVAILABLE WATER / PRESSURE. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO OWNER FOR REVIEW PRIOR TO INSTALLATION.
7. VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS CONTRACTOR SHALL FIELD VERIFY.
8. CONTRACTOR TO FIELD VERIFY ALL POINT OF CONNECTION SOURCE INFORMATION INCLUDING PIPES AND OPEN PRIOR TO CONSTRUCTION.
9. INSTALLATION OF MAIN SHALL BE COORDINATED WITH OTHER CONTRACTORS IN SUCH A MANNER AS TO ALLOW FOR A SMOOTH AND ORDERLY COMPLETION OF ALL WORK ON SITE.
10. CONTRACTOR SHALL COORDINATE WITH THE PLANTING PLAN FOR PLANTER END AND TREE LOCATIONS TO ENSURE ALL PLANT MATERIAL IS COVERED BY 100% HEAD TO HEAD IRRIGATION.
11. CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT.
12. PROJECT SHALL BE AS SPECIFIED OR APPROVED EQUAL.

PER APPROVED MANUFACTURERS:

1. TANDY
2. HUNTER
3. BURNING

13. IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR. WORK IN THE P.L.O.W. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTION.
14. LOCATE ALL IRRIGATION LINES WITHIN LANDSCAPED AREAS WHENEVER POSSIBLE. ALL LINES UNDER PAVEMENT MUST BE BURIED WITH INCH 40 PVC 3/4" SIZE OF PIPE AND FREE OF STONES/DEBRIS. ALL VALVES SHALL BE LOCATED WITHIN LANDSCAPED AREAS.
15. MAINLINE SHALL NOT BE LOCATED WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE.
16. THE IRRIGATION CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR BURIED AND DIRECTIONAL MARKS.
17. ALL BURIES UTILIZED BY THE IRRIGATION CONTRACTOR WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE, TO THE NEAREST FOOT OF EACH END OF THE BURIE SHALL BE NOTED AT EACH BURIE LOCATION ON THE "AS-BUILT" DRAWINGS. ALL BURIES ON PLAN FOR WALL PENETRATIONS AND UNDER SIDEWALKS SHALL BE SIZED TWO PIPE SIZES GREATER THAN THE PIPE IT CARRIES.
18. ALL PRESSURIZED MAINLINES AND LATERALS UNDER PAVEMENT SHALL BE WITHIN INCH 40 PVC BURIES. WATER ELECTRIC OR HYDRAULIC VALVE CONTROL LINES PASS THROUGH A BURIE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT.
19. NUMBER THE TOP OF ALL VALVE AND LATERAL WITH MINIMUM 1" HEIGHT BLACK LETTERS TO CORRESPOND TO AUTOMATIC AND GATE VALVE DESIGNATIONS. ALL HOSE END VALVE SIZES SHALL BE LABELED IN A SIMILAR MANNER WITH THE DESIGNATION "HP" LETTER OUTSIDE OF THE CLOCK CASSETTE TO CORRESPOND WITH IRRIGATION CLOCK PROGRAM DESIGNATION.
20. THE IRRIGATION CONTRACTOR SHALL INSTALL A COLOR CODED METAL DETECTABLE MARKING TAPE WHICH CLEARLY NOTES "CAUTION IRRIGATION LINE BURIED BELOW". THE TAPE SHALL BE INSTALLED THE FULL LENGTH OF THE IRRIGATION MAINLINE.
21. ELECTRIC SERVICE TO THE CONTROLLER SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.
22. ALL 24 VAC WIRING FROM DECOILER TO VALVE SHALL BE OF DIRECT BURIAL COPPER WIRE. MINIMUM LENGTH OF WIRE FROM DECOILER TO VALVE SHALL NOT EXCEED 400 FEET. AS FOLLOWS:
CONTROL WIRE #14
COMMON WIRE #16
23. ALL VALVES, SPLICES WITHIN CONTROL LINES, AND QUICK COUPLERS SHALL BE LOCATED WITHIN HOSE VALVE BOXES AS FOLLOWS:
(RECTANGULAR 12" X 17" HEAVY DUTY BOX, PURPLE COVER FOR RISE TO BE PROVIDED WHERE APPROPRIATE).
24. ALL IRRIGATION HEADS/SPR TUBING SHALL BE LOCATED ONE (1) FOOT FROM BACK OF CURB WHEN NEXT TO A ROADWAY. (THIS SHALL NOT INCLUDE PARKING AREAS OR DRIVE AISLES).
25. HINGE, LATERALS, EMITTERS, AND VALVES ARE NOT SHOWN, BUT ARE NECESSARY FOR A FULLY FUNCTIONING IRRIGATION SYSTEM.
26. LOCATE ALL VALVES IN PLANTING BEDS WITH A MINIMUM OF 3" FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. PIPE SIZES ON EITHER SIDE OF SECTION VALVES CONNECTING MAINLINE TO SECTION LATERAL SHALL BE ONE (1) PIPE SIZE LARGER THAN VALVE SIZE. WHERE MAIN LINES RUN PARALLEL TO PAVEMENT OR CURBING, THE MAINLINE SHALL BE OFFSET 2" FROM THE EDGE OF PAVEMENT OR CURB.
27. IRRIGATION ZONES SHALL BE SEPARATED FOR HIGH AND LOW WATER USE REQUIREMENTS AND OPERATED ON DIFFERENT WATERING CYCLES. SUBSERSA, DEPLUSE, AND SPRAY HEADS SHALL BE SEPARATED ON DIFFERENT VALVES. AT NO TIME SHALL MULTIPLE IRRIGATION HEAD TYPES BE LOCATED ON THE SAME VALVE.
28. ALL DRIP ZONES SHALL BE INSTALLED WITH A FLUSH VALVE AND AN RELIEF VALVE. IN THE EVENT THAT A DRIP ZONE HAS MORE THAN ONE HIGH OR LOW POINT, MORE THAN ONE RELIEF VALVE OR FLUSH VALVE WILL BE REQUIRED FOR THAT ZONE. DEPLUSE SHALL PROVIDE 0.5 GPM EMITTERS, 17" O.C. WITH 12" LINE SPACING AT A MINIMUM.
29. ALL WIRING FOR CONNECTION OF THE VALVES TO THE CONTROLLER SHALL FOLLOW MANUFACTURERS SPECIFICATIONS. IF REQUIRED, ALL WIRING FOR A TWO WIRE PATH SHALL BE WITH BRASS/LEAD TREATED PAIR 14 AWG. ELECTRIC CONTROL LINES FROM THE DECOILER TO THE SOLINOID VALVES SHALL BE TREATED PAIR 18 AWG. ALL DECOILERS SHALL BE GROUNDED EVERY 1000 L.F. OR EVERY 10 DIVISION. ALL WIRE SHALL BE PURCHASED IN MINIMUM 2500 FEET AND SPLING SHALL BE BRASS/LEAD TREATED PAIR 14 AWG. ALL 24 VOLT WIRING SHALL BE DONE IN ACCORDANCE WITH LISTING CODES. SPLING SHALL BE IN VALVE BOXES OR CONTROLLERS ONLY. IRRIGATION SYSTEM CONTROL SHALL BE TWO WIRE PATH. CONTRACTOR SHALL FOLLOW ALL MANUFACTURERS REQUIREMENTS FOR THE INSTALLATION. TWO WIRE SYSTEMS SHALL HAVE 2-WAY COMMUNICATIONS FIELD PROGRAMMABILITY, EXISTING SPECIFICATIONS AND INTEGRATED SURGE PROTECTION.
30. ALL CONTROL WIRE SHALL BE INSTALLED IN A 1/2" ELECTRICAL CONDUIT.
31. SMALLEST DIAMETER LATERAL PIPE SHALL BE 3/4".
32. IRRIGATION SYSTEM SHALL BE CAPABLE OF SUPPLYING AN AVERAGE OF 1 GPM OF WATER PER WHEEL WITHIN WATERING RESTRICTIONS AS APPLICABLE.
33. IRRIGATION SYSTEM SHALL NOT BE INSTALLED THROUGH ROOTING, OR PRESERVED PLANT COMPONENTS. DO NOT TRENCH THROUGH EXISTING ROOT SYSTEMS OF ANY VEGETATION INTENDED TO BE PRESERVED.
34. CONTRACTOR TO MINIMIZE IRRIGATION OVERTHROW TO IMPERVIOUS AND NATURAL AREAS THROUGH FIELD ADJUSTMENTS TO INDIVIDUAL HINGES.
35. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR TO THE CONDITION SHOWN ON THE LANDSCAPE PLAN.
36. IRRIGATION PIPING INSTALLED UNDER ROADS AND SIDEWALKS SHALL BE IN SCHEDULE 40 PVC BURIED AT 24" THE PIPE SIZE. ALL BURIED SHALL BE FREE OF STONES AND DEBRIS.
37. IRRIGATION SOURCE TO BE EITHER WELL, POTABLE, OR NON-POTABLE WATER. IRRIGATION CONTRACTOR TO VERIFY SOURCE PRIOR TO DESIGN.
38. POINT OF CONNECTION TO BE DETERMINED BY OWNER. IRRIGATION SYSTEM CONNECTIONS TO THE LOCAL JURISDICTION SERVICE SHALL COMPLY WITH ALL APPLICABLE CODES.
39. IRRIGATION CONNECTION MAY REQUIRE BACKFLOW PREVENTION. VERIFY WITH LOCAL JURISDICTION.
40. IRRIGATION SYSTEM SHALL COMPLY WITH THE LOCAL JURISDICTION LAND DEVELOPMENT CODE.

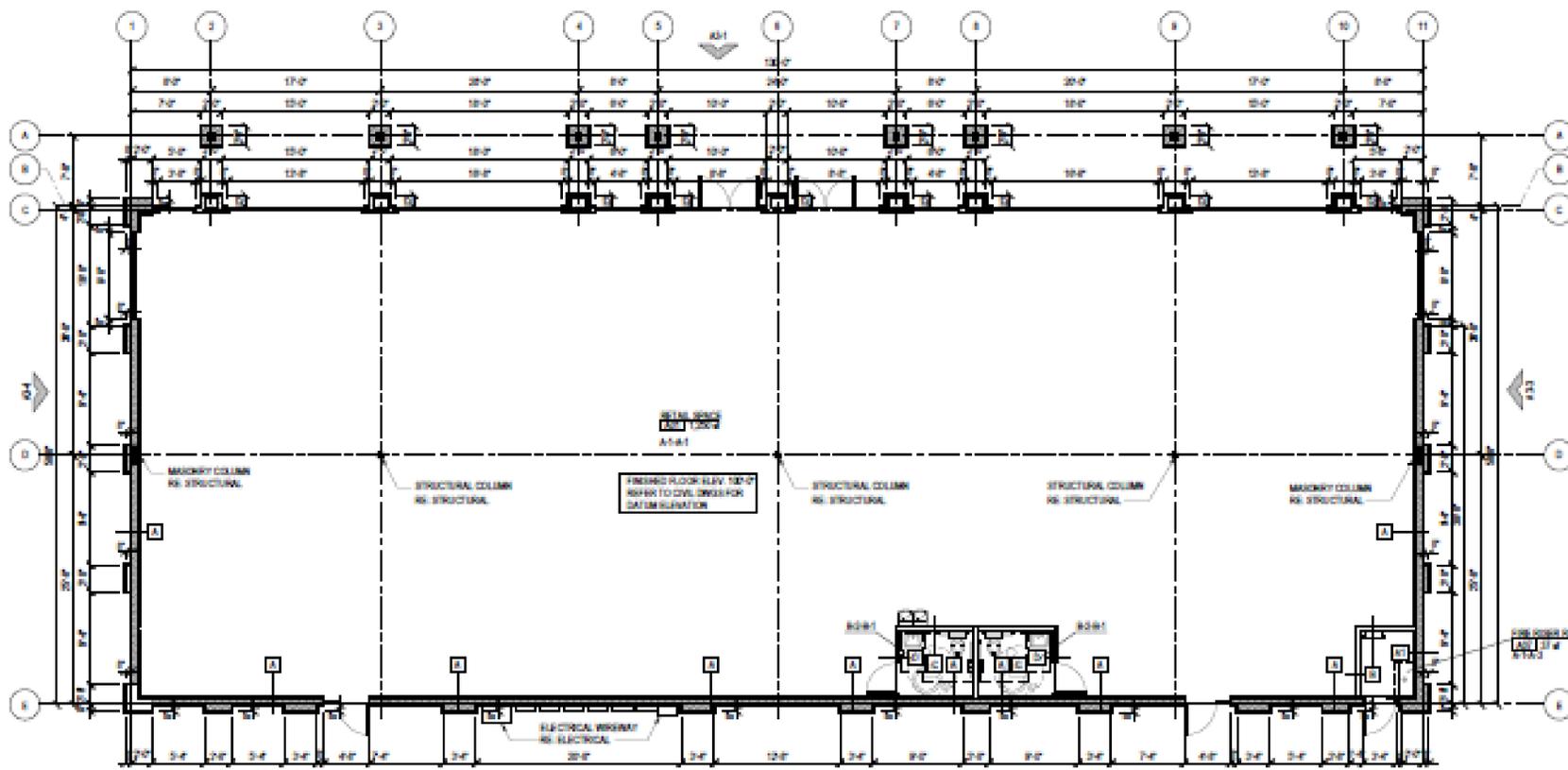
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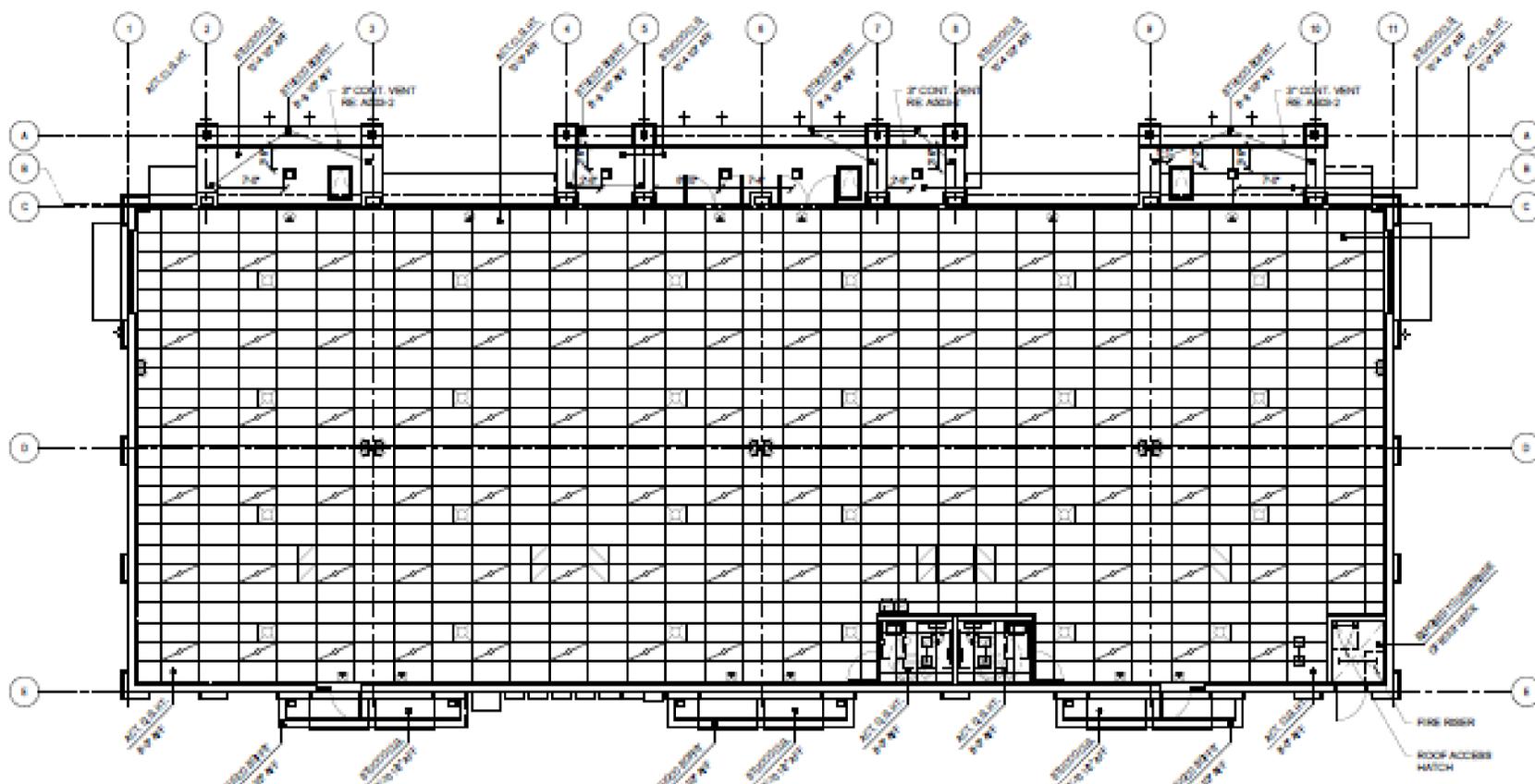
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IRRIGATION SPECIFICATION

BELLE MEADE COMMERCIAL OUTPARCEL #2
 CITY OF INTER-CARLE EV
 FLUID 4



1 Floor Plan
Scale: 1/8" = 1'-0"



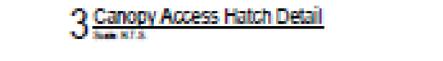
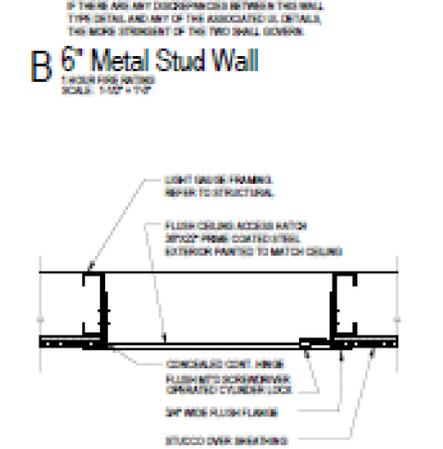
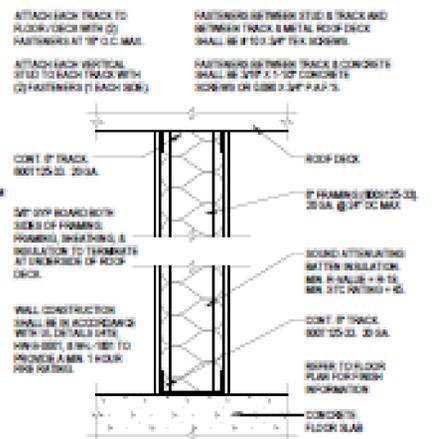
2 Reflected Ceiling Plan
Scale: 1/8" = 1'-0"

Symbol Legend

[Symbol]	INDICATES METAL STUD WALL OR FRAMING
[Symbol]	INDICATES FORM WALL
[Symbol]	WALL TYPE REFER TO DETAIL SHEET

Finish Schedule

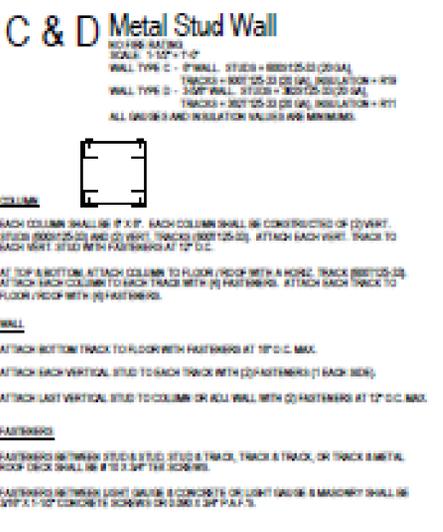
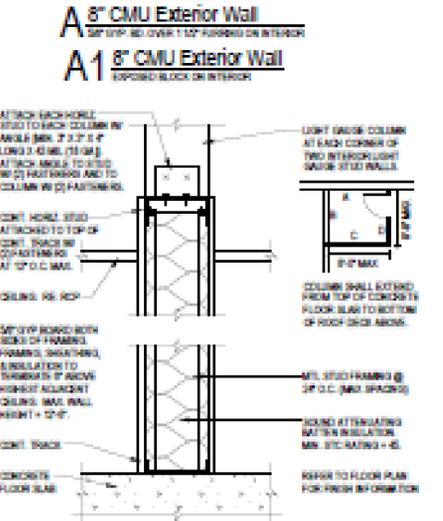
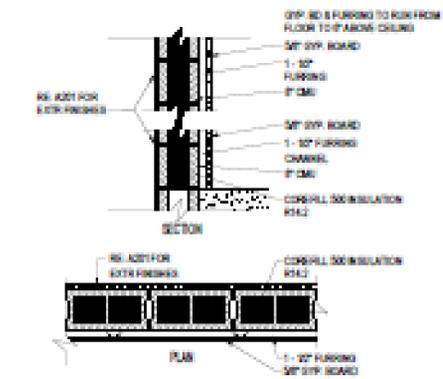
FLOOR MATERIAL	WALL BASE MATERIAL	WALL MATERIAL	CEILING MATERIAL
A CONCRETE	1 NONE	A PAINT READY	1 ACoustICAL LAY IN TILE
B VCT TILE	2 1" WOOD	B FRAMED PAINTED GYPSUM BOARD	2 PAINTED GYPSUM BOARD
C	3	C FRAMED PAINTED CONC. BLOCK	3 NONE



Reflected Ceiling Plan Legend

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	IMPERFECT LIGHTING WALL PACK	[Symbol]	2X4 FLORESCENT LIGHT
[Symbol]	EXIT LIGHT	[Symbol]	4X FLORESCENT EXIT LIGHT
[Symbol]	EXTERIOR WALL PACK LIGHT	[Symbol]	2X4 ACoustICAL CEILING TILE
[Symbol]	COACH LIGHTS	[Symbol]	HVAC SUPPLY AIR DEVICE
[Symbol]	GOODRICH LIGHTS	[Symbol]	HVAC RETURN AIR DEVICE
[Symbol]	SURFACE MOUNTED LIGHT	[Symbol]	HVAC EXHAUST AIR DEVICE
[Symbol]	RECESSED EXTERIOR LIGHT	[Symbol]	ROOF OR CEILING ACCESS HATCH

NOTE: REFERENCE ELECTRICAL AND MECHANICAL SHEETS FOR RETURN INFORMATION
ALL LIGHTING SHALL BE "DAKE SKY" COMPLIANT
ALL CEILING TO BE 12" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
BACKROOM CEILING TO BE 8" ABOVE FINISHED FLOOR.



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Bromley - Overstreet Trust
P.O. Box 3034
Orlando, Florida 32802

Belle Meade Retail
Rebuilding 74
Water Street, Palm Bay

PROJECT NAME
PROJECT NO.

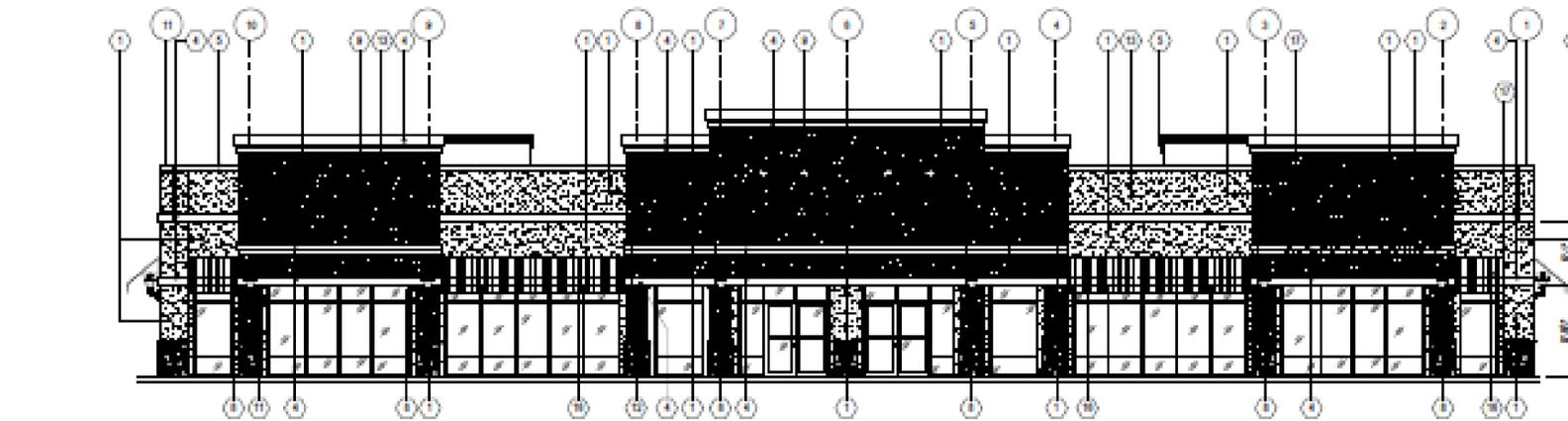
DATE:	SCALE:
DESIGNED BY:	CHECKED BY:
DRAWN BY:	DATE:
DATE:	DATE:

PROJECT NO.
DATE:
SCALE:
DESIGNED BY:
DRAWN BY:
DATE:
DATE:

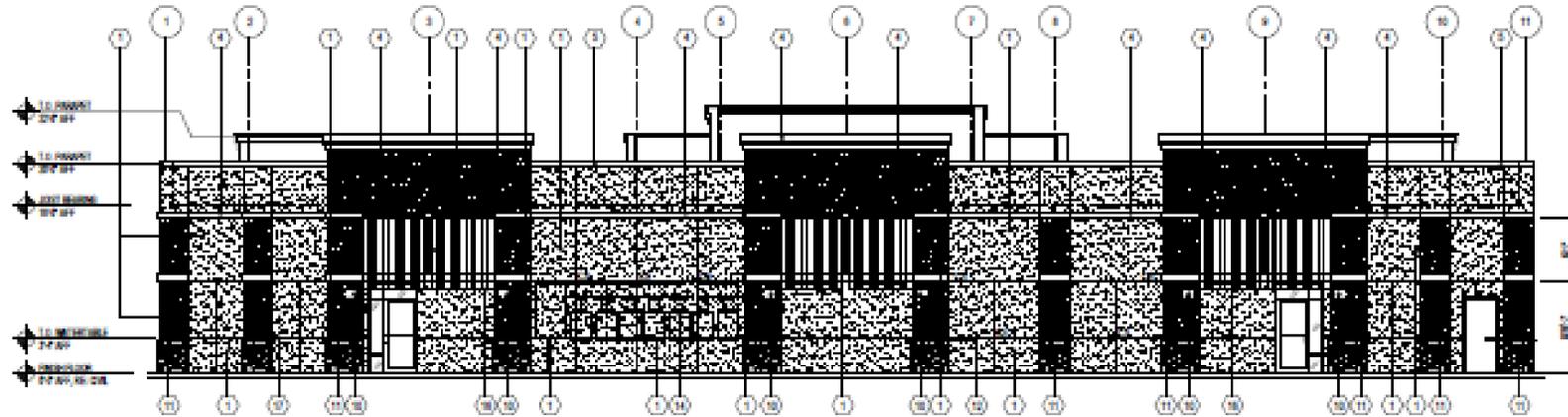
PROJECT NAME
PROJECT NO.

1 Floor Plan and Reflected Ceiling Plan

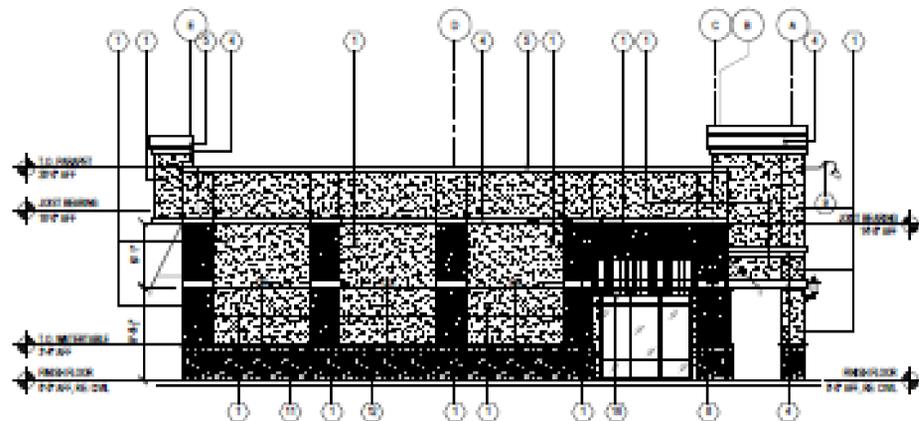
A2



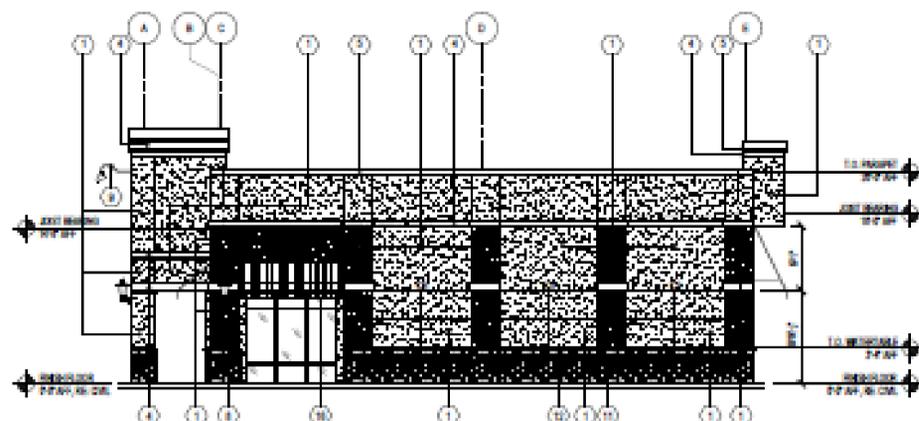
1 North Elevation
Scale: 1/8" = 1'-0"



2 South Elevation
Scale: 1/8" = 1'-0"



3 East Elevation
Scale: 1/8" = 1'-0"



4 West Elevation
Scale: 1/8" = 1'-0"

Material Schedule:			
NUMBER	DESCRIPTION	FINISH	MANUF. / REMARKS
1	STUCCO	-	-
2	NOT USED	-	-
3	NOT USED	-	-
4	SP3 MASONRY	RE: COLORED RENDERING	-
5	ALUM METAL COPING CAP	RE: COLORED RENDERING	RE: NCA
6	NOT USED	-	-
7	NOT USED	-	-
8	CORNER LIGHT FIXTURE	INSTALL CENTER LINE @ 2'-0" ON	RE: ELECTRICAL
9	DOWNROCK LIGHT FIXTURE	INSTALL CENTER LINE @ 2'-0" ON	RE: ELECTRICAL
10	WALL PACK LIGHT FIXTURE	INSTALL CENTER LINE @ 2'-0" ON	RE: ELECTRICAL
11	IMITATED STONE VENEER	CULTURED STONE "HIGH PLAIN"	ROYAL CULTURED STONE
12	IMITATED STONE WATERTABLE	RICKONOR (DRT - 127)	ROYAL CULTURED STONE
13	FUTURE TENANT SIGN BY TENANT	-	-
14	ELECTRICAL METERS	PANEL TO MATCH ADJACENT WALL	RE: ELECTRICAL
15	NOT USED	-	-
16	ANNING	CASANI REGATTA 3029-000	SUNBRELLA
17	STUCCO CHANNEL CORNICE	FACTORY FRESH	FRY REGLET PC3-7575

NOTE: S.I.C. TO PROVIDE PROJECT APPROVAL FOR ALL EXTERIOR ITEMS AS REQUIRED PER 2017 FLORIDA BUILDING CODE.

DOORS AND WINDOWS TO MEET OR EXCEED WIND LOAD DESIGN PRESSURE CRITERIA. REFERENCED STRUCTURAL DRAWINGS FOR WIND DESIGN CALCULATIONS.

REFERENCED ELECTRICAL SHEETS FOR EXTERIOR LIGHTING.

REFERENCED MECHANICAL SHEETS FOR WALL VENTS.

REFERENCED COLOR RENDERING FOR EXTERIOR PAINT COLOR.

ALL LIGHT FIXTURES SHALL BE "DAVE BRY" COMPLIANT

Elevation General Notes	
1.	USE SP3/RT PLYWOOD IN LIEU OF DARK-GLASS SHEETING FOR SUPPORT BEHIND SIGNAGE AND ANNING AREAS - SIGNAGE AREA = 12' x 4'
2.	RE: COLOR RENDERING FOR COMPLETE INFORMATION REGARDING PAINT COLORS.
3.	FINAL DESIGN OF ANNING SHALL BE PROVIDED BY THE CONTRACTOR, DURING CONSTRUCTION, AFTER THE MAIN BUILDING PERMIT HAS BEEN ISSUED THROUGH SIGNAGE AND ANNING CONCEPT DRAWINGS PREPARED BY A LICENSED ENGINEER. CONTRACTOR SHALL SUBMIT SIGNAGE AND ANNING SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW AND TO THE BLDG AS REQUIRED FOR PERMIT, INSPECTION, ETC.
4.	RE: CIVIL DRAWINGS FOR DATUM FINISHED FLOOR ELEVATION.
5.	FINISHED GRADE AT LANDSCAPE AREAS ARE TO BE MIN. 8" BELOW FINISH FLOOR.
6.	TENANT STORE ADDRESS NUMBERS ABOVE DOOR OR GLASS TO BE BY LANDLORD.
7.	S.I.C. TO PROVIDE PROJECT APPROVAL FOR ALL EXTERIOR ITEMS AS REQUIRED PER 2017 FLORIDA BUILDING CODE.
8.	DOORS AND WINDOWS TO MEET OR EXCEED WINDLOAD DESIGN PRESSURE CRITERIA. REFERENCED STRUCTURAL DRAWINGS FOR WIND DESIGN CALCULATIONS.
9.	REFERENCED ELECTRICAL SHEETS FOR EXTERIOR LIGHTING.
10.	RESERVED
11.	RESERVED
12.	T.O. PERMIT MARKS TOP OF LIGHT SHADE FRAMING OR TOP OF MASONRY AT THE PERMIT.
13.	AT MASONRY CORNICE, JOINT LOCATIONS, PROVIDE FRY REGLET CONTROL CORNICE IN THE STUCCO, PC3-7575-2-PRC2.

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Florida Registered Professional P.E. #11082



PROJECT NAME
Bromley - Overstreet Trust
PO Box 3024
Orlando, Florida 32803

PROJECT NAME
Belle Meade Retail
1400 Building "B"
Water Garden, Florida

PROJECT TITLE
Exterior Elevations & Material Schedule

DESIGNER	DATE	SCALE
PROJECT NO.	DATE	SCALE
DATE	DATE	SCALE
DATE	DATE	SCALE

PROJECT NO.	DATE	SCALE
DATE	DATE	SCALE
DATE	DATE	SCALE
DATE	DATE	SCALE



FRONT ELEVATION (NORTH)



EAST ELEVATION



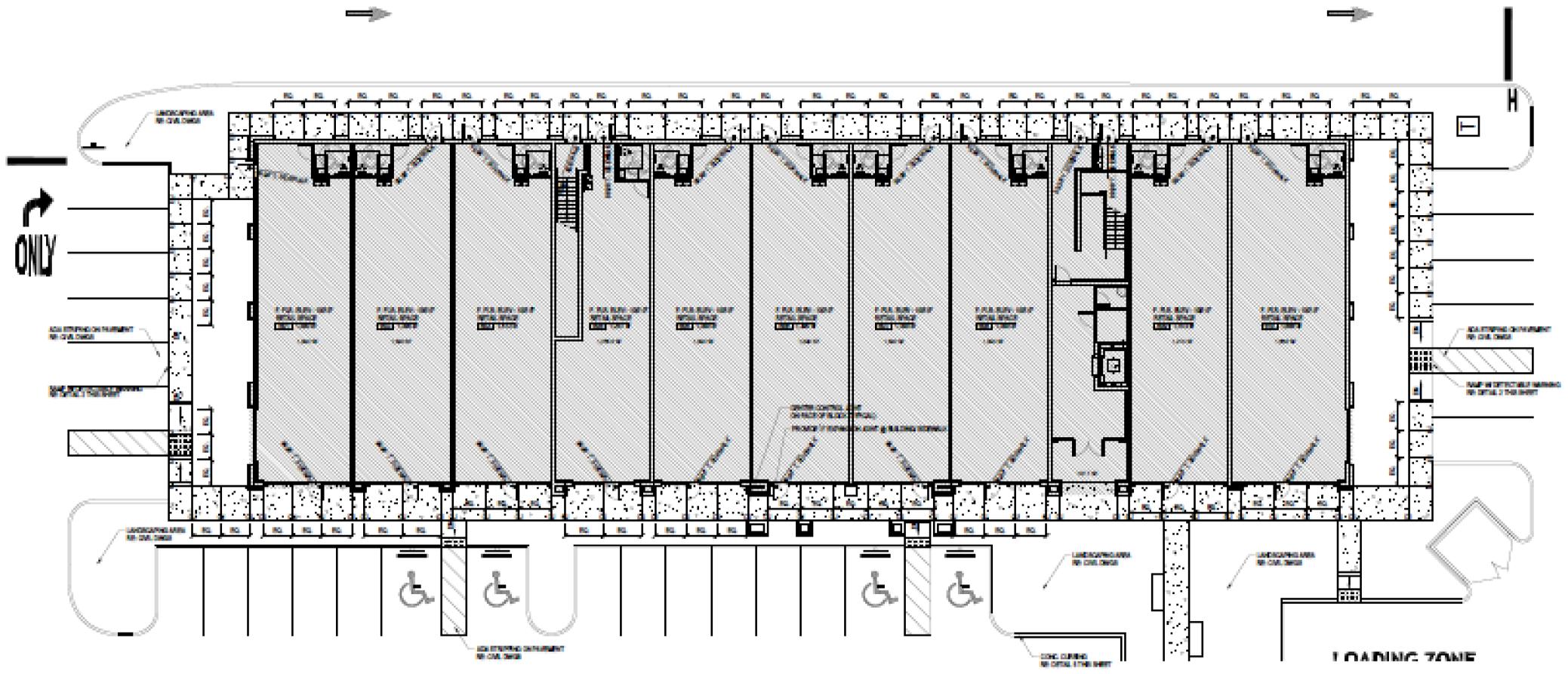
WEST ELEVATION



REAR ELEVATION (SOUTH)

MATERIALS

							
SW 6672 Morning Sun	SW 0037 Moir's Room Grey	SW 6099 Sand Dollar	SW 7047 Porpoise	SW 6097 Sturdy Brew	SW 0036 Buckram Binding	Cutlured Stone High Plains	Sanzrella Cabana Regatta

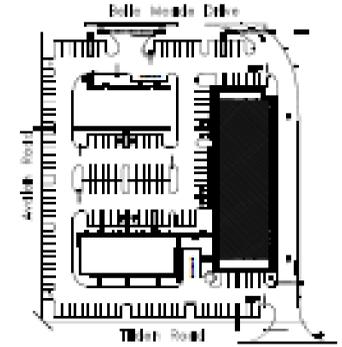


1 Sidewalk Plan

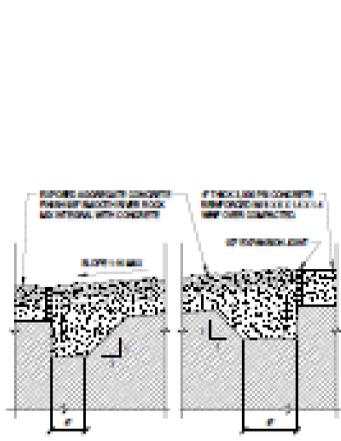
CONCRETE CURB SEE DETAIL 12
 LANDSCAPING SEE CIVIL DRAW

General Notes:

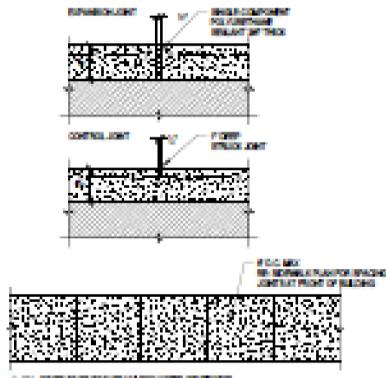
1. REFER TO PROJECT MANUAL SECTION 05100 FOR THE BUILDING FLOOR FINISH SCHEDULE FOR ACTUAL FINISH REFER TO CIVIL DRAWING
2. ALL CURB FINISHES TO NOT TO EXCEED 1/4" HEIGHT
3. ALL SIDEWALKS TO BE FINISHED WITH THE BUILDING AT A MINIMUM OF 1/4" TO 1/2"
4. ALL TOP OF CURB TO BE FINISHED TO BE 1/4" ABOVE FINISH OF ADJACENT FINISH. REFER TO CIVIL FOR EXACT FINISHES OF ADJACENT FINISH.
5. FOR ANY LOCATIONS WHERE THERE IS A CHANGE IN CURB ELEVATION, PROVIDE A 2% SLOPE TO THE LOWER ELEVATION.
6. ALL SIDEWALKS TO BE SLOPED AT 1% MAX. THE SURFACE OF ALL CURBS SHALL BE FINISHED TO BE 1/4" TO 1/2" ABOVE FINISH OF ADJACENT FINISH. REFER TO CIVIL FOR EXACT FINISHES OF ADJACENT FINISH.
7. THE BOTTOM OF ALL SIDEWALKS TO BE FINISHED WITH THE TOP OF THE ADJACENT FINISH. REFER TO CIVIL FOR EXACT FINISHES OF ADJACENT FINISH.
8. ALL SIDEWALKS TO BE FINISHED TO MATCH UP WITH THE FINISH OF ADJACENT FINISH.



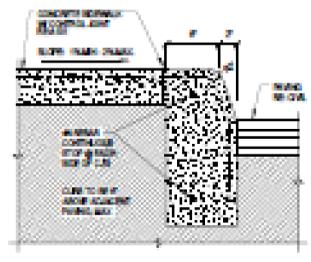
Key Plan



10 Handicap Ramp Detail



11 Sidewalk Detail



12 Curb Detail



13 Curb Detail

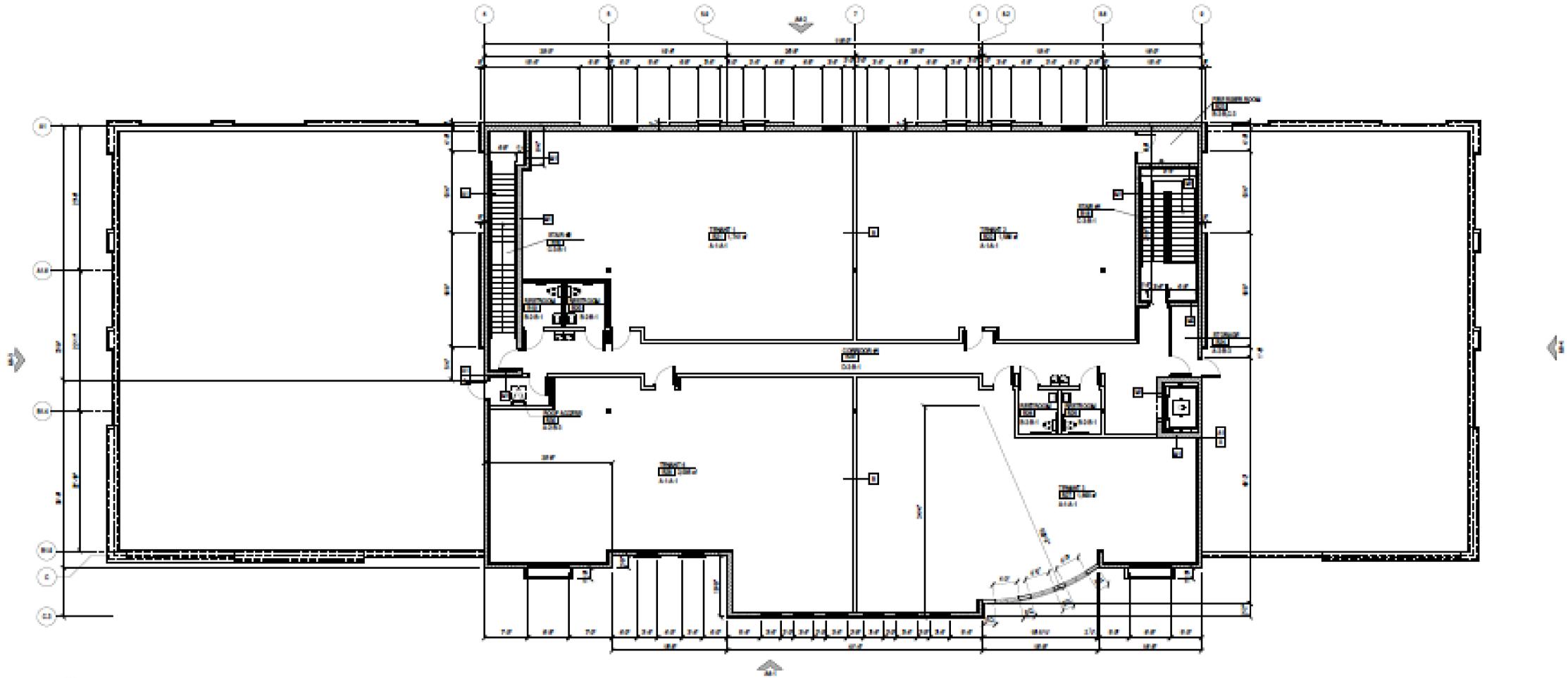
1935 Prospect Ave.
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 F: (303) 661-9101
 www.rps.com



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 101 West 10th
 Omaha, NE 68102

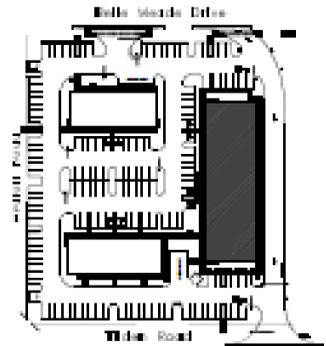
Belle Meade Retail
 Belle Meade, TN
 PROJECT NO: 10-10-10
 DATE: 10-10-10
 DRAWING NO: 10-10-10

NO.	DATE	BY	CHKD	APP'D
1	10-10-10	10-10-10	10-10-10	10-10-10
2	10-10-10	10-10-10	10-10-10	10-10-10
3	10-10-10	10-10-10	10-10-10	10-10-10
4	10-10-10	10-10-10	10-10-10	10-10-10
5	10-10-10	10-10-10	10-10-10	10-10-10
6	10-10-10	10-10-10	10-10-10	10-10-10
7	10-10-10	10-10-10	10-10-10	10-10-10
8	10-10-10	10-10-10	10-10-10	10-10-10
9	10-10-10	10-10-10	10-10-10	10-10-10
10	10-10-10	10-10-10	10-10-10	10-10-10



1 Building Floor Plan - Second Floor

Wall Legend		Finish Schedule			
		FLOOR		CEILING	
	METAL STUD WALL FRAMING	FLOOR FINISH	WALL/NOSE FINISH	WALL FINISH	CEILING FINISH
	FORM WALL	A CONCRETE	1 NONE	A PAINT/GRAB	1 ACoustICAL CEILING TILE
	BRICK WALL	B VIT TILE	1 F BRK	F PANEL PAINT	1 PAINTED GYP BOARD
	CONCRETE WALL	C ORGANIC TILE	1 F ORGANIC TILE		1 NONE
	CARPET	D CARPET			



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www.gparch.com

Charles E. Peterson
Architectural Engineers, Inc.
CORPORATE - 1000 ALA 100

PROJECT NAME
Belle Meade Retail
100 Belle Meade Drive
Orlando, Florida 32814

CLIENT NAME
Bromley - Overstreet Trust
100 Belle Meade Drive
Orlando, Florida 32814

PROJECT TYPE
Building Floor Plan - Second Floor

DATE	DESCRIPTION
10/15/14	100% COMPLETE
10/15/14	90% COMPLETE
10/15/14	80% COMPLETE
10/15/14	70% COMPLETE
10/15/14	60% COMPLETE
10/15/14	50% COMPLETE
10/15/14	40% COMPLETE
10/15/14	30% COMPLETE
10/15/14	20% COMPLETE
10/15/14	10% COMPLETE
10/15/14	START

DATE PLOTTED: 10/15/14
SCALE: AS SHOWN
DRAWN BY: JEP
CHECKED BY: JEP

A5



FRONT ELEVATION (WEST)



NORTH ELEVATION



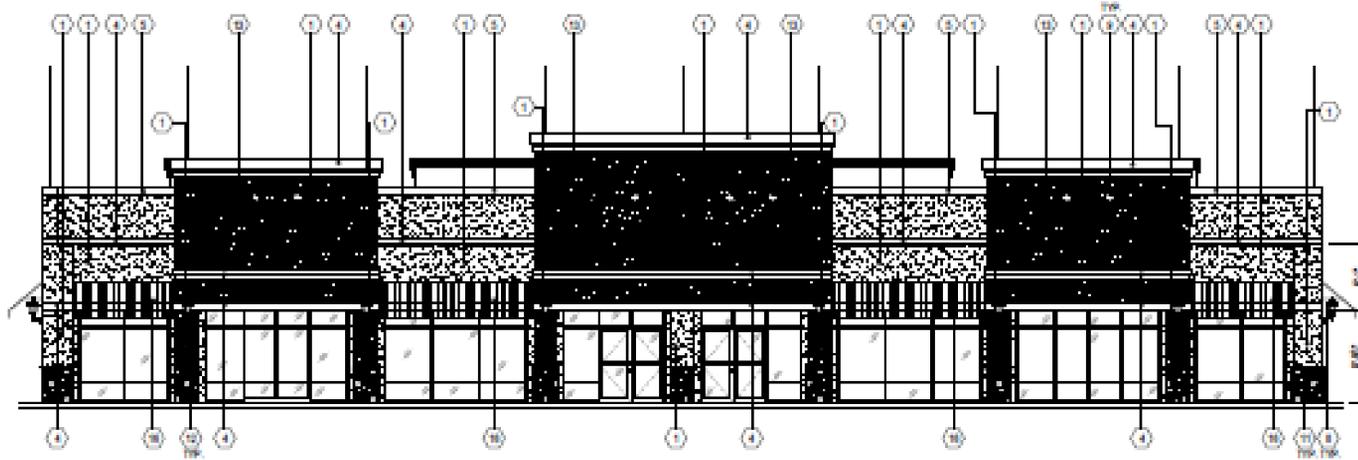
SOUTH ELEVATION



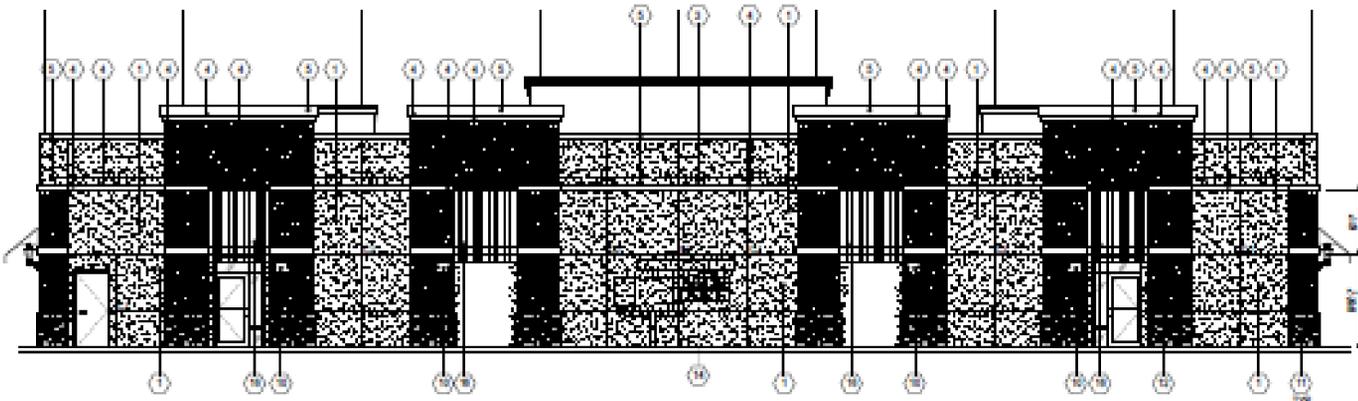
REAR ELEVATION (EAST)

MATERIALS

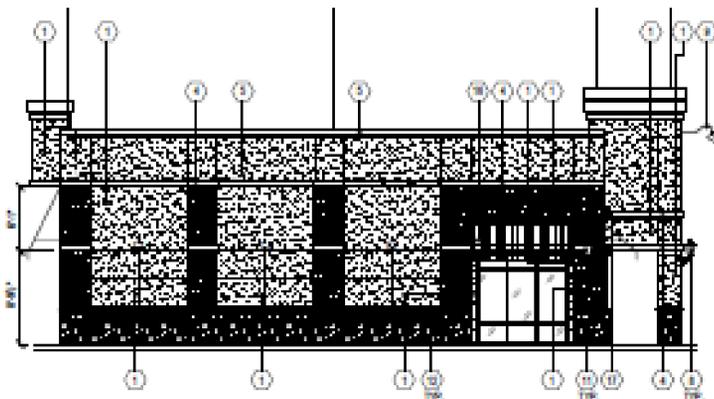
							
SW 6672 Morning Sun	SW 0037 Morris Room Grey	SW 6009 Sand Dollar	SW 7047 Popoiso	SW 6007 Sturdy Brown	SW 0016 Buckram Blending	Cultured Stone High Plains	Sunbrella Cabana Regatta



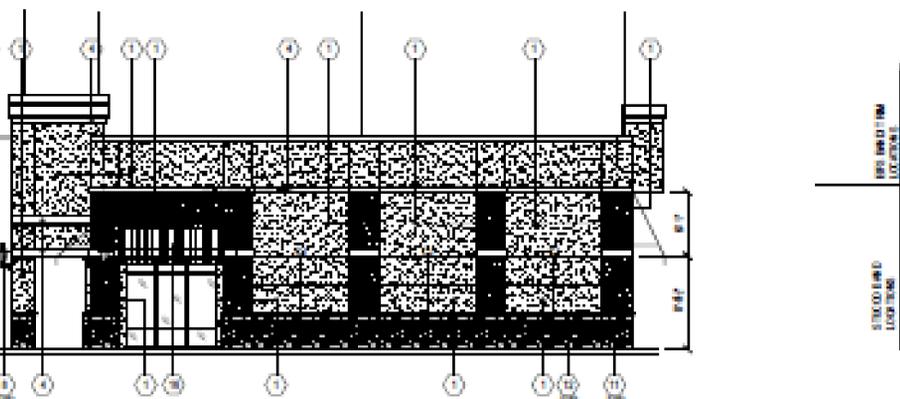
1 South Elevation
Scale: 1/8" = 1'-0"



2 North Elevation
Scale: 1/8" = 1'-0"



3 West Elevation
Scale: 1/8" = 1'-0"



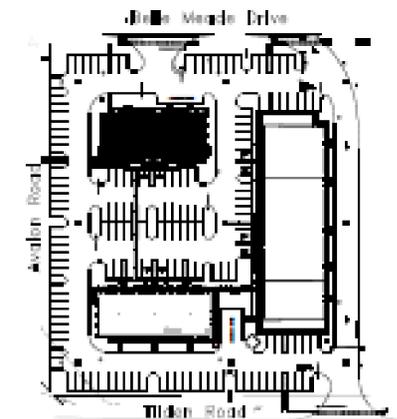
4 East Elevation
Scale: 1/8" = 1'-0"

Material Schedule:			
NUMBER	DESCRIPTION	FINISH	MANUF. / REMARKS
1	STUCCO	-	-
2	NOT USED	-	-
3	NOT USED	-	-
4	EPS INSULATION	RE: COLORED ELEVATIONS	-
5	ALUM. METAL COPING CAP	FACTORY FRESH TO MATCH COLORED ELEVATION	RE: N/A
6	NOT USED	-	-
7	NOT USED	-	-
8	COACH LIGHT FIXTURE	INSTALL CENTER LINE @ 7'-0" AFF	RE: ELECTRICAL
9	WOODGRAIN LIGHT FIXTURE	INSTALL CENTER LINE @ 2'-0" AFF	RE: ELECTRICAL
10	WALL PACK LIGHT FIXTURE	INSTALL CENTER LINE @ 7'-0" AFF	RE: ELECTRICAL
11	IMITATED STONE VENEER	COUNTRY LUGGERS/STONE MURRAY #204-2042	ROYAL CULTURED STONE
12	IMITATED STONE WATERTABLE	W/COPIER (2041-127)	ROYAL CULTURED STONE
13	ALUM. TRIMM TRIMM TRIMM	-	-
14	ELECTRICAL METERS	PAINT TO MATCH ADJACENT WALL	RE: ELECTRICAL
15	NOT USED	-	-
16	AWNING	NATURALS W/BLACK IRON	SLANDERELLA
17	STUCCO CHANNEL SCREEDS	FACTORY FRESH	FRY RESULT PCS-15-15

NOTE: G.C. TO PROVIDE PRODUCT APPROVAL FOR ALL EXTERIOR FINISHES AS REQUIRED PER 2017 FLORIDA BUILDING CODE.
DOORS AND WINDOWS TO MEET OR EXCEED WIND LOAD DESIGN PROVISIONS OUTLINE. REFERENCE STRUCTURAL DRAWINGS FOR WIND DESIGN CALCULATIONS.
REFERENCE ELECTRICAL SHEETS FOR EXTERIOR LIGHTING.
REFERENCE MECHANICAL SHEETS FOR TRIM WALL VENTS.
REFERENCE COLOR RENDERING FOR EXTERIOR PAINT COLOR.

ALL LIGHT FIXTURES SHALL BE "DAWN DRY" COMPLIANT

Elevation General Notes	
1.	USE 50% FRY FURFUR IN LIEU OF DRINK-GLASS WEATHERING FOR SUPPORT BEHIND SIGNAGE AND AWNING AREAS - SIGNAGE AREA = 12' x 4'
2.	RE: COLOR RENDERING FOR COMPLETE INFORMATION REGARDING PAINT COLORS.
3.	FINAL DESIGN OF AWNING SHALL BE PROVIDED BY THE CONTRACTOR DURING CONSTRUCTION. AFTER THE MAIN BUILDING PERMIT HAS BEEN ISSUED THROUGH SIGNING AND SEALED SHOP DRAWINGS PREPARED BY A LICENSED ENGINEER, CONTRACTOR SHALL SUBMIT SIGNING AND SEALED AWNING SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW AND TO THE AWI AS REQUIRED FOR PERMIT, INSPECTION, C.C., ETC.
4.	RE: CIVIL DRAWINGS FOR DETERMINED FLOOR ELEVATION.
5.	FINISHED GRADE AT LANDSCAPE AREAS ARE TO BE MIN. 1" BELOW FINISH FLOOR.
6.	TRIMM STONE ADDRESS NUMBER ABOVE DOOR, ON GLASS TO BE BY LANDSCAPE.
7.	G.C. TO PROVIDE PRODUCT APPROVAL FOR ALL EXTERIOR FINISHES AS REQUIRED PER 2017 FLORIDA BUILDING CODE.
8.	DOORS AND WINDOWS TO MEET OR EXCEED WIND LOAD DESIGN PROVISIONS OUTLINE. REFERENCE STRUCTURAL DRAWINGS FOR WIND DESIGN CALCULATIONS.
9.	REFERENCE ELECTRICAL SHEETS FOR EXTERIOR LIGHTING.
10.	REQUIRED
11.	REQUIRED
12.	*T.O. PERMIT MEANS TOP OF LIGHT GUIDE FRAMING OR TOP OF MASONRY AT THE PERMIT.
13.	AT MASONRY CONTROL JOINT LOCATIONS, PROVIDE FRY RESULT CONTROL SCREED IN THE STUCCO, PCS-15-15-15.



Key Plan

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F (407) 661-9101
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PROJECT NAME
Bromley - Overstreet Trust
PO Box 303
Orlando, Florida 32802

PROJECT NAME
Belle Meade Retail
Retail Building 1
Water Garden, Florida

PROJECT TITLE
Exterior Elevations and Material Schedule

DATE	10-18-2014
DESIGNED BY	CHLOE HARRIS
CHECKED BY	DAVID HARRIS
DATE	10-18-2014

PROJECT NO.	2014-001
DATE	10-18-2014
DESIGNED BY	CHLOE HARRIS
CHECKED BY	DAVID HARRIS



FRONT ELEVATION (SOUTH)



EAST ELEVATION



WEST ELEVATION



REAR ELEVATION (NORTH)

MATERIALS



SW 0672
Morning Sun

SW 0037
Merris Room Grey

SW 6099
Sand Dollar

SW 7047
Porpoise

SW 3097
Sturdy Brown

SW 0036
Buckram Binding

Cultured Stone
High Plains

Sunbrella
Cabana Regatta

CITY OF WINTER GARDEN

Development Review Committee

300 West Plant Street - Winter Garden, Florida 34787-3011

(407) 656-4111 - FAX (407) 877-2363

MEMORANDUM

TO: STEVE PASH, COMMUNITY DEVELOPMENT DIRECTOR
FROM: DEVELOPMENT REVIEW COMMITTEE
DATE: JUNE 4, 2020
SUBJECT: SITE PLAN APPROVAL
1905 AVALOND ROAD — BELLE MEADE COMMERCIAL – OUTPARCEL #2 (SOUTH PARCEL)

We recommend approval subject to the following conditions and comments:

ENGINEERING

We recommend approval subject to approval by all other departments, and the following conditions and comments (any underlined comments shall be addressed prior to pre-con or issuance of the certificate of occupancy for any building):

1. The following previous requirements shall be met: As required by the PCD and Developers Agreement, final plans shall accommodate the R/W and grading needs of the proposed CR 545 widening and Tilden Road intersection improvements. According to the City's Design Engineer for the CR 545 work, the plans accommodate the CR 545 design.
 - As shown on the PCD plan, Developer's Agreement, and site plan, a 25' "corner clip" is to be conveyed to the City at the NE corner of the intersection of CR 545 and Tilden Road (SW corner of the site). Provide draft warranty deed (to be submitted under separate cover) for review by the City; conveyance shall be made pursuant to the Developer's Agreement, but in any case shall be made prior to release of the Certificate of Occupancy for any building; a hold-harmless agreement is required prior to issuance of any site or building permits.
 - Easements shall be granted to the City pursuant to the Development Agreement. Draft easement descriptions have been provided that shall be reviewed and approved by the City Attorney and City Surveyor prior to recording. In any case, easements shall be granted to the City prior to release of the Certificate of Occupancy for any building; a hold-harmless agreement is required prior to issuance of any site or building permits.
2. Since the proposed commercial areas will drain into the HOA ponds (residential), this development shall provide provisions for participation in the pond maintenance by the commercial tract(s). A recorded easement agreement or amendment to easement showing this provision has been met has been provided. Recorded easement has been provided to the City; a hold-harmless agreement is required prior to issuance of any site or building permits.
3. Permit approval of all work within the C.R. 545 or Tilden Road R/W shall be required from Orange County and the City of Winter Garden.

Although approval from Orange County was provided, it expires on June 4, 2020 – provide additional extension or approval.

4. Platting of the project may be required if the parcel is not in one ownership or will be subdivided into more parcels. If platting is required, the final plat shall be recorded prior to issuance of any certificates of occupancy for any buildings. Response states the parcel will remain in one ownership.

5. Utilities: The water system shows a fire line master meter, water loop serving the fire protection and domestic services with individual water meters for the buildings. All on-site utilities shall be privately owned and maintained (as noted on the plans).

Provide a utility easement for the water meters located outside of the right-of-way prior to issuance of any C of O.

6. Utilities: The project will be required to provide reclaimed water lines, meters, etc. for irrigation supply as required by Code. All irrigation shall be connected to reclaimed water lines as shown.
7. 100% of all required water and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of building permits, and shall include all proposed buildings shown on the site plan. Flow calculations shall be approved by the Utility Department prior to issuance of building permit or execution of FDEP permit. Final plans will not be approved for construction until utility impact fees have been paid and FDEP permits have been issued. Any new water, sewer, or irrigation connections are required to pay utility impact fees, to be paid prior to issuance of site or building permits or execution of FDEP permits. According to the plans there will be (3) 2" potable meters, (1) 2" irrigation meter. Based on the above, the utility impact fees are as follows (**response states these have been paid in 2016**):

2" Potable water meter	3 ea. @ \$8,688.00	= \$26,064.00
Wastewater for 2" meter	3 ea. @ \$14,136.00	= \$42,408.00
2" Irrigation meter	1 ea. @ \$8,688.00	= \$8,688.00
	TOTAL	= \$77,160.00

(does not include connection/installation fee)

8. Landscape or other improvements (walls, signs, etc.) shall not encroach into the required sight distance pursuant to FDOT requirements. Design Engineer has provided certification that sight distance requirements are being met.
9. Prior to the issuance of the Certificate of Occupancy (CO) the adjacent residential lots will be checked for light pollution. Shielding may be required on the lights adjacent to the residential subdivision prior to CO (as indicated in the previous response).
10. RCP is shown on the plans. If Thermoplastic pipe is substituted, the Design Engineer shall provide the City with a signed/sealed letter stating that he consents to this substitution and has made the necessary adjustments to the plans and specs to accommodate Thermoplastic pipe. If Thermoplastic pipe is used it shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe (**not N-12**), laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).
11. Provide drainage easement for the outfall from Parcel 2 through Parcel 1 as shown on the plans. Easement shall be recorded prior to issuance of any Certificates of Occupancy for any buildings.
12. All fire hydrants, FDC's and DDCVA's shall be located a minimum of 40 feet from any structures and shall be approved by the Fire Department.
13. Any screen walls or retaining walls shall require a separate permit from the Building Department.
14. Streetlighting both internally and on all street frontages is required pursuant to City Code – dark skies lighting is required. Provide a lighting plan for the Avalon & Tilden Road frontages on or before the pre-con.
15. The City Standard Details and Specifications shall be used; updated sheets can be found on the City's website.
16. Previous permit modification approval by St. Johns River Water Management District is acknowledged as well as permits from FDEP for water, wastewater and NPDES NOI.

PLANNING

17. Repeated Comment: In accordance with Chapter 118, Article II, Division 2, Section 118-70 of the City's Code of Ordinances, "*All site plans approved by the city staff or commission pursuant to this division shall expire and become null and void if the building or improvement or other matters authorized by the site plan approval have not received an approved building permit for the principal structure or building within 365 days of the date of approval. The city engineer, if shown good cause, may extend the approval one time for a period not to exceed an additional 365 days. The extension request shall be filed with the city engineer in writing at least two weeks prior to the expiration of the initial 365-day approval period.*"
18. All tree removal will require a separate permit from the Planning Department. Coordinate with Steve Pash.
19. Note: All light poles and fixtures shall be black, dark green or some similarly dark color that is consistent with the architectural design scheme of the property. Please indicate color of light fixtures in future permitting submittals.
20. Note: Phosphor coated lamps shall be utilized in all luminaries where the lamp source is not hidden by the luminary housing or equipped with a diffused lens. Please provide relevant details of lamps/lens/luminary housing in future permitting submittals.
21. Note: Signage must conform to code Chapter 102. Please refer to City code for all signage specifications.

STANDARD GENERAL CONDITIONS

22. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
23. Fencing shall meet all City requirements for height, type, etc. Chain link fencing shall be vinyl coated per Code.
24. All work shall conform to City of Winter Garden standards and specifications.
25. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
26. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
27. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
28. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of site or building permits.

Please review this information and contact our office if you have any questions. Thank you.

END OF MEMORANDUM

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Jon C. Williams, Assistant City Manager – Public Services

Via: Mike Bollhoefer, City Manager

Date: June 4, 2020 **Meeting Date:** June 11, 2020

Subject: Approve Amendment No. 2 to Meter Replacement Services Agreement with Utility Solutions of America, Inc., through an existing piggy-back contract with the City of Callaway, Florida and authorize the issuance of purchase order to Core & Main for the purchase of the water meters, transmitters and lids.

Issue: In 2016, the City began replacing older radio read water meters with automated Sensus Iperl water meters. To date, over 20,000 water meters have been replaced, leaving 6,903 to be done. Phase 3 of The City's project consists of replacing approximately 3,000 meters with the remaining balance to be considered in future budgets.

Recommended Action:

Approve Amendment No. 2 to Meter Replacement Services Agreement with Utility Solutions of America, Inc., through an existing piggy-back contract with the City of Callaway, Florida and authorize the issuance of purchase order to Core & Main for the purchase of the water meters, transmitters and lids for a total project cost of \$1,037,736.00 which includes a 5% contingency.

Attachments/References:

- Amendment No. 2 with Utility Solutions of America, Inc.
- Exhibits 1 & B
- Cost Allocation

**AMENDMENT NO. 2 TO METER REPLACEMENT SERVICES AGREEMENT
PIGGYBACK AGREEMENT TO AGREEMENT BETWEEN THE CITY OF CALLAWAY AND
UTILITY SOLUTIONS OF AMERICA, INC. (USA) DATED APRIL 27, 2015**

This Amendment No. 2 to the Meter Replacement Services Agreement between the City of Winter Garden and Utility Solutions of America, Inc. (“Amendment No. 2”) is hereby made and entered into by and between the City of Winter Garden, a Florida municipal corporation, with its principal address at 300 West Plant Street, Winter Garden, Florida 34787 (hereinafter referred to as the “City”), and Utility Solutions of America, Inc., whose principal address is 1709 Meredith Park Drive, McDonough, GA 30253 (hereinafter referred to as “USA”).

WHEREAS, the City and USA entered into a contract for meter replacement and installation services on August 11, 2016 (the “Agreement”); and

WHEREAS, the City and USA entered into a first amendment to the Agreement for meter replacement and installation on March 28, 2017 (the “First Amendment”); and

WHEREAS, the City and USA desire to further amend the Agreement through this Amendment No. 2 by Amending Section 2. Services to provide for Phase 3 services as set forth herein.

NOW THEREFORE, in consideration of the foregoing recitals, which are incorporated herein by reference, and other specific consideration set forth in this Amendment No. 2, the receipt and sufficiency of which is acknowledged by the City and USA, the parties agree to amend the Agreement as follows:

1. RECITALS. The parties agree that the foregoing recitals are true, correct, and material to the Agreement as amended.
2. SERVICES. The parties agree to adjust the compensation to be paid pursuant to this Agreement by amending § 2. Services. of the Agreement as follows:

2. SERVICES. USA shall provide the City with meter replacement and installation services in accordance with the scope of services and other terms and conditions of the Original Government Contract between Callaway and USA, except that the “City of Winter Garden” shall be substituted for the “City” and references to “CITY OF CALLAWAY,” and shall exclude the Notice to Proceed issued by Callaway. For services rendered by USA to the City, the City shall pay to USA the unit prices specified in the Original Government Contract for the work assigned by the City and as outlined in **Exhibit B** (proposal to City dated February 23, 2017) attached hereto. USA shall not be paid for any work performed without authorization by the City. The scope of services and other terms and conditions of the Original Government Contract are hereby incorporated into this Agreement as material terms and conditions. In the event the terms of this Agreement conflict with the terms of the Original Government Contract, the terms of this Agreement shall control to

the extent of the conflict. The City shall have no liability or responsibility for or concerning USA's services performed for Callaway.

This Agreement is non-exclusive. The City does not guarantee, warrant, or represent that any number of projects or type of work will be assigned to the USA under the terms of this Agreement. The City shall have the sole discretion to select the project(s), if any, that may be given to USA. The City reserves the right to request and retain other contractors to perform any project, work, service or task within the scope of work under this Agreement.

After the completion of the initial term, USA shall be allowed an annual increase on the per meter rate for services, not to exceed 3% per year for inflationary costs of providing services as authorized within this Agreement.

The parties acknowledge the completion of Phase I of meter replacement and installation services and USA's receipt of full payment for services rendered for such Phase 1 services completed prior to **March 9, 2017**. The parties hereby agree to Phase 2 meter replacement and installation services as outlined in **Exhibit "B"** (proposal to City dated February 23, 2017) attached hereto and incorporated herein by this reference. Phase 2 services shall commence on March 9, 2017. The total compensation to be paid to USA for Phase 2 services under this Agreement shall not exceed \$330,605.00 plus a 5% contingency for services as may be agreed upon by the City Manager or his/her designee.

The parties further acknowledge the completion of Phase 2 of meter replacement and installation services completed prior to **June 9, 2020**. The parties hereby agree to Phase 3 meter replacement and installation services as outlined in **Exhibit 1** to Amendment No. 2 to the Agreement (proposal to City dated June 5, 2020) attached to Amendment No. 2 and incorporated herein by reference. Phase 3 services shall commence on **June 9, 2020**. The total compensation to be paid to USA for Phase 3 services under this Agreement shall not exceed \$121,320.00 plus a 5% contingency for services as may be agreed upon by the City Manager or his/her designee.

3. EXHIBIT 1. The Agreement is hereby amended to add **Exhibit 1**, which is attached to this Amendment No. 2.
4. ENTIRE AGREEMENT. This Amendment No. 2, including any exhibits hereto, sets forth the entire modification to the Agreement with respect to the services and deliverables provided under this Amendment No. 2, and supersedes all prior proposals, agreements, and communications, both written and oral.
5. INCORPORATION AND RATIFICATION. This Amendment No. 2 is incorporated by reference into the Agreement, including any amendments thereto, as if fully set forth therein. Except as provided herein, all other terms and conditions of the Agreement,

including any amendments thereto, remain unchanged and in full force and effect and are hereby ratified and reaffirmed by the parties hereto. In the event of any conflict or inconsistency between the provisions set forth in this Amendment No. 2 and the Agreement or any previous amendments thereto, this Amendment No. 2 shall govern and control.

6. EFFECTIVE DATE. The Effective Date of this Amendment No. 2 will be the date when the last of the parties has executed this Amendment No. 2 as of the day and year entered by the last party executing this Amendment No. 2 as written below.

IN WITNESS WHEREOF, the parties hereto have made and executed this Amendment No. 2 as of the day entered by the last party executing this Amendment as written below.

Utility Solutions of America, Inc.

**CITY OF WINTER GARDEN, a
Florida municipal corporation**

By: _____

Its: _____

Date: _____

By: Michael Bollhoefer

Its: City Manager

Date: _____



**UTILITY
SOLUTIONS OF
AMERICA, INC**

February 23, 2017

Mr. Don Cochran
City of Winter Garden, FL

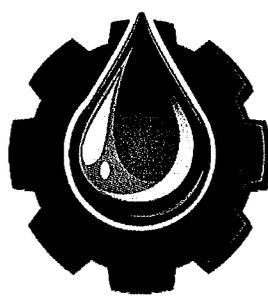
Subject: City of Winter Garden Water Meter Installation Proposal

Dear Don,

On behalf of Utility Solutions of America Inc., I would like to thank you for the opportunity to quote you on the City of Winter Garden Water Meter Installation Project. Our goal is to partner with the City of Winter Garden to offer an installation experience that is second to none. Please feel free to contact me with any questions regarding assumptions and the scope of work letter.

Thank you,

Gary St. Clair
President
Utility Solutions of America, Inc.
1074 Eagles Brooke Drive
Locust Grove, GA 30248

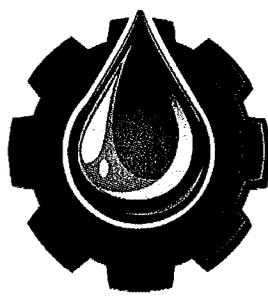


**UTILITY
SOLUTIONS OF
AMERICA, INC**

Service Offering

The pricing schedule includes:

1. Replacement of existing water meters with AMI/AMR equipped water meters
2. Restoration of site to pre-existing condition
3. Experienced installation staff
4. Project management staff
5. Provision of staff to dispatch work orders and manage work order system
6. Inventory receipt and control
7. Quality audit program
8. Certified operator qualification program
9. Health and safety program
10. Training program
11. Performance reports
12. Uniform vehicles with appropriate signage
13. Miscellaneous tools and equipment
14. Uniforms, badges, personal protective equipment
15. Employment screening: background checks, drug testing, etc.
16. Travel and accommodations
17. Adequate insurance coverage
18. One year installation warranty
19. All licenses and permits
20. Meter lid installation (Plastic and Small Quantities Only)



**UTILITY
SOLUTIONS OF
AMERICA, INC**

Quality Management Program

USA will quality audit 100% of the retrofit and exchange procedures performed by our employees during the first ten days of work and 5% thereafter. If an employee produces an error rate of equal to or greater than 1%, they will be re-trained. If an employee produces an error rate of equal to or greater than 1% after being retrained, the employee will be dismissed.

In addition to the quality audit procedure outlined above, members of the project management team and the corporate training team perform random field audits to ensure that technicians are following protocol. Deviations are addressed immediately.

Inventory Management Program

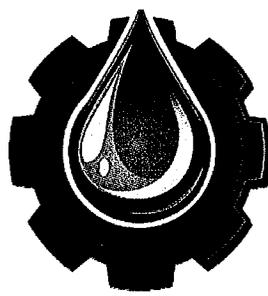
The installation technicians will sign for the inventory they receive. At the end of their shift, the installation technicians will count uninstalled inventory. Inventory retrieved from the field will be palletized or stored in large storage bins. The inventory recorded will be reconciled against the completed work order file on a periodic basis. Inventory reports will be made available on a periodic basis or upon request.



Pricing Schedule

Core Services

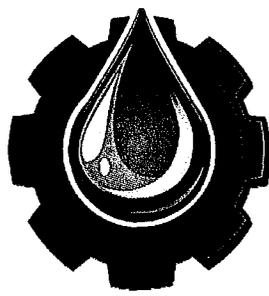
Description	Quantity	Unit Price	Total
<u>5/8" x 3/4" METER EXCHANGE –</u> Install 5/8" x 3/4" AMI/AMR equipped Sensus water meters (<i>Data Collection And Programming Included, Price Is Indicative Of Contractor Retaining Ownership Of All Scrap Meters Being Exchanged</i>)	6,500	\$30.52	\$198,380.00
<u>RETROFIT DUAL PORT TRANSMITTERS WITH MXU'S</u>	1,350	\$25.00	\$33,750.00
<u>INSTALL NEW (SINGLE) METER BOX AND LID (CONCRETE/COMPOSITE)</u>	650	\$45.00	\$29,250.00
<u>INSTALL NEW (DOUBLE) METER BOX AND LID (CONCRETE/COMPOSITE)</u>	650	\$70.00	\$45,500.00
<u>REPLACE (SINGLE) LIDS (CONCRETE/COMPOSITE)</u>	1,950	\$2.50	\$4,875.00
<u>REPLACE (DOUBLE) LIDS (CONCRETE/COMPOSITE)</u>	3,770	\$5.00	\$18,850.00
<u>TOTAL</u>		LS	\$330,605.00



Assumptions

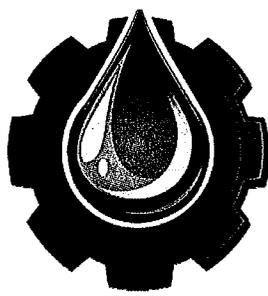
Scope of Work, General

1. USA assumes the AMI/AMR installation project will be substantially completed within the time frame agreed upon by The City of Winter Garden and USA.
2. USA will make as many as three physical attempts and three phone-call attempts in an effort to perform an installation before returning the work order to the utility (RTU).
3. USA assumes that the project RTU rate will not exceed 3%.
4. USA assumes customer phone numbers will be provided by the utility.
5. USA assumes all meters are located outside and are readily accessible.
6. USA assumes that all meters are located in close proximity and will be released in route read order.
7. USA assumes that the utility will provide initial customer communications.
8. USA assumes that all printed communication materials, such as notification letters and door hangers will be provided and distributed by the utility.
9. USA assumes it will not be responsible for extensive sorting or disposing of old material removed from the service territory.
10. USA assumes it will not be responsible for the disposal of lead seals or other hazardous waste.
11. USA assumes that it will only be responsible for the repair of damages caused directly by USA services.
12. USA assumes utility will provide keys for the removal and replacement of locking devices.
13. USA assumes that utility will provide a black-out schedule prior to the project start date.
14. USA assumes that utility will provide address and meter location data prior to the project start date.
15. Pricing assumes a seamless flow of work. USA assumes there will be no work stoppages other than designated holidays and weather days. USA requests 45 days written notice if a work stoppage is necessary that is not a result of USA performance.
16. The price proposal is based on a five day work week; however, USA reserves the right to work Saturdays as necessary in the event of delays.
17. USA assumes that the utility will provide USA with adequate storage facility for all meters and meter product.
18. Pricing does include GPS collection points. Pricing for Sub-meter GPS collection points is not included. Pricing for such services is available upon request.



Scope of Work, Water Meters

1. USA assumes that all installation material including water meters, transmitters, water-meter registers, meter-pit lids, valves, washers, gaskets, strainers, meter couplings and piping will be provided to USA and will be present at the time of need.
2. USA assumes it will transport and dump any necessary soil and debris removed from meter pits.
3. USA assumes a dumping site will be provided by the utility.
4. Pricing for large water meter retrofits assumes meter registers do not require removal of impeller shaft along with register.
5. USA assumes that it will only be responsible for the repair of damages caused directly by USA services.
6. USA will not be held responsible for damages occurring more than 6" on either side of the water meter, unless directly attributable to the negligence of USA installer.
7. USA will not be responsible for the repair of pre-existing conditions such as excessive rust, corrosive galvanized pipe or thin walled PVC.
8. The price proposal does not include additional labor or groundwork needed to access meters (including but not limited to the cutting, removal and replacement of asphalt, concrete or excessive roots). Pricing for such services may be provided upon request.
9. USA is not responsible for damage caused by excessive pressure (greater than 80 PSI).
10. USA assumes it will return all removed material including water meters, water meter registers, rubber washers, and meter-pit lids to a single location for sorting and removal by the utility.
11. Pricing assumes that meters are not located in confined space, as defined by OSHA. Pricing for additional labor to exchange or retrofit meters in confined space is \$150.00 per vault.
12. USA assumes that new meters will be factory potted with registers and transmitters.
13. USA assumes that utility will grant permission to utilize heavy equipment to perform large meter installations if necessary.
14. USA assumes that replacement meters are the same lay and length as the meters being removed.
15. USA assumes all curb stops are in good working condition.
16. Pricing for retrofitting compound meters with two registers will be priced per register.
17. Re-plumbing of large meters will be priced on an hourly basis (\$100.00 per crew hour); this is in addition to the standard exchange rate for large meters that are the same lay and length.
18. Pricing for register exchanges assumes that registers are magnetically coupled.
19. Pricing does not include meter box removal. Pricing for meter box dig up, replacement or removal is \$45.00 per box (depending upon the size and material make-up of the meter box). USA will do any box replacement that can be done with manual excavation. If it requires mechanical excavation, it is excluded from our scope of work.



20. Pricing does not include installation of curb stops, valves or backflow devices. Pricing for such services is available upon request.
21. USA assumes that backflows are not directly threaded into the meter, if so, additional charges will apply.
22. Pricing for installation of dual port transmitters assumes both meters are in the same pit. Pricing does not include installing/burying the cable between two meters in two different boxes. Additional labor and materials will be required.
23. Pricing does not include material (rebar, pvc) for remote mounting transmitters in meter pits.
24. USA assumes that there are existing standard plastic type meter boxes in place.
25. Drilling out meter box lids to accommodate MXU will be billed at \$1.50 a piece for plastic lids and \$6.00 a piece for cast iron/concrete lids.
26. USA will be “held harmless” and will not be liable for any damage incurred by performing its normal duties at an address with the electrical system grounded to the water lines.
27. USA will be “held harmless” and will not be liable for any damage incurred by installing backflow/dual check valves as part of the SOW. This includes damage to water heaters and other appurtenances when a PRV or Expansion Tank is not present.

Contract/Billing

1. USA assumes there will be a force-majeure clause in the contract.
2. USA assumes there is no prevailing wage or union requirements.
3. USA assumes no retainage will be withheld from payments.
4. USA will bill for completed installs on the 15th and 30th of each month. Net 15 day pay terms.
5. USA assumes that there are no liquidated damage penalties.
6. USA will not be responsible for performance, payment or warranty bonds.

Other

1. This quote is valid for 90 days.
2. USA warranties all installation services for a period of 12 months.

**USA / WINTER GARDEN
CONTRACT PRICING**

Item	Original Contract Price	10/1/17 - 9/30/18 (W/ 3% Yearly Increase)	10/1/18 - 9/30/19 (W/ 3% Yearly Increase)	10/1/19 - 9/30/20 (W/ 3% Yearly Increase)
5/8" x 3/4" iPerl Water Meter Exchange	\$30.52	\$31.44	\$32.38	\$33.35
1" iPerl Water Meter Exchange	\$35.02	\$36.07	\$37.15	\$38.27
1.5" Meter Exchange	\$173.02	\$178.21	\$183.56	\$189.06
2" Meter Exchange	\$223.02	\$229.71	\$236.60	\$243.70
3" Meter Exchange	\$348.02	\$358.46	\$369.21	\$380.29
4" Meter Exchange	\$448.02	\$461.46	\$475.30	\$489.56
5/8" x 3/4" through 1" Retrofit	\$18.02	\$18.56	\$19.12	\$19.69
1.5" and Larger Retrofit	\$23.02	\$23.71	\$24.42	\$25.15
Removal/Replace Turf/Sod (Per Sq Ft)	\$25.00	\$25.75	\$26.52	\$27.32
Removal/Replacement Concrete/Asphalt (Per Sq Ft)	\$25.00	\$25.75	\$26.52	\$27.32
Box Dig Up/Replace (Plastic)	\$25.00	\$25.75	\$26.52	\$27.32
Box Dig Up/Replace Single (Concrete/Composite)	\$45.00	\$46.35	\$47.74	\$49.17
Curb Stop Replace (If CS can be replaced within meter box)	\$50.00	\$51.50	\$53.05	\$54.64
Back-Flow Replace (If BF can be replaced within meter box)	\$50.00	\$51.50	\$53.05	\$54.64
Drill Lids (Plastic)	\$1.50	\$1.55	\$1.59	\$1.64
Investigation	\$15.00	\$15.45	\$15.91	\$16.39
Re-Reads For Billing Purposes -	\$8.00	\$8.24	\$8.49	\$8.74
Labor (Re-Piping/Additional Labor) (Per Crew Hour)	\$75.00	\$77.25	\$79.57	\$81.95
Box Dig Up/Replace Double (Concrete/Composite)	\$70.00	\$72.10	\$74.26	\$76.49
Replace Lids (Plastic)	\$1.50	\$1.55	\$1.59	\$1.64
Replace Single Lids (Concrete/Composite)	\$2.50	\$2.58	\$2.65	\$2.73
Replace Double Lids (Concrete/Composite)	\$5.00	\$5.15	\$5.30	\$5.46
Splice In New MXU (In addition to standard Retrofit Price)	\$10.00	\$10.30	\$10.61	\$10.93
Reprogram Resolution (In addition to standard Retrofit Price)	\$5.00	\$5.15	\$5.30	\$5.46
Dig Trench to Run Wire More Than 6" (When installing dual port transmitters where the boxes are far apart)	\$10.00	\$10.30	\$10.61	\$10.93
Drill Lids (Cast Iron/Concrete/Composite)	\$6.00	\$6.18	\$6.37	\$6.56

Total Meters	3,000	
Description	Unit Price	
3/4" Ipearl	118	354,000.00
Transmitters	135	405,000.00
lids	36	108,000.00
labor	40.44	121,320.00
Sub Total		988,320.00
5% Contingency		49,416.00
Total		1,037,736.00

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Jon Williams, Assistant City Manager – Public Services

Via: Mike Bollhoefer, City Manager

Date: June 9, 2020 **Meeting Date:** June 11, 2020

Subject: Award a contract TD Thomson, Inc. for embankment stabilization along the Teacup Springs drainage canal.

Issue: Over time, the swale embankment along the drainage canal behind the homes on Teagarden Court has eroded and encroached into the residents backyards. This project would armor and restore the embankment from further erosion behind 519, 527 & 535 Teagarden Court.

Recommended Action:

Award a contract TD Thomson, Inc. for embankment stabilization along the Teacup Springs drainage canal in the amount of \$27,039.10 which includes a 10% contingency.

Attachments/References:

- Proposal

